



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

AGENDA

Joint REGULAR Meeting

Wednesday, March 24, 2021 * 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California
This meeting will be conducted in accordance with Governor Newsom's Executive Order N-29-20 related to the COVID-19 virus.

MEETING LOCATION WILL NOT BE OPEN TO THE PUBLIC

Due to the Executive Order to stay home, in person participation at City Council meetings will not be allowed at this time. In accordance with the Executive Order to stay home, there will be no members of the public in attendance at Council Meetings. Alternatives to in-person attendance for viewing and participating in City Council meetings are being provided under provided below.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is posted online www.cityofsolanabeach.org Closed Session Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

PUBLIC COMMENTS

- Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.
- Correspondence received after the official posting of the agenda, but before 3:00 p.m. (or 3 hrs. prior to the meeting start time) on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.
- The designated location for viewing supplemental documents is on the City's website www.cityofsolanabeach.org on the posted Agenda under the relative Agenda Item.

OR

Verbal comment participation: If you wish to provide a live verbal comment during the meeting, attend the virtual meeting via your computer or call in.

Before Meeting

- Sign up (register) to speak at the virtual meeting for the Zoom webinar as early as possible and at least 3 hours prior to the start of the meeting so that Staff can manage the speaker list.
Public Participation Link: https://us02web.zoom.us/webinar/register/WN_MuqaK8NYR1urX4Ly83lxlg
-Follow the prompts to enter your name and email address and identify the item you are speaking on.
- Join the meeting by locating your confirmation email, that was sent immediately following registration, which will provide your log-in link.
- Join/Log-In to the meeting at least 15 minutes prior to the start time so that the City Clerk can verify you are ready to speak before the meeting begins.
- If your computer does not have a mic to speak or you have sound issues, you can use the call-in audio information (Zoom ID, Participant ID) from a landline or cell phone to join the meeting for the audio accessibility.
- If you call in as well for better audio, mute your computer's speakers to eliminate feedback so that you do not have two audios competing when you are speaking.

During Meeting:

- Choose Gallery View to see the presentations, when applicable.

- o Participants will be called upon from those who have Registered and their name is identified by the City Clerk calling from the registration list. You will be called on by name and unmuted by the meeting organizer and then you may provide comments for the allotted time. Allotted speaker times are listed under each [Agenda](#) section.

SPECIAL ASSISTANCE NEEDED - AMERICAN DISABILITIES ACT TITLE 2

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's office (858) 720-2400 clerkoffice@cosb.org at least 72 hours prior to the meeting.

CITY COUNCILMEMBERS			
Lesa Heebner, Mayor			
Kristi Becker Deputy Mayor	Kelly Harless Councilmember	David A. Zito Councilmember District 1	Jewel Edson Councilmember District 3

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

See Public Participation on the first page of the Agenda for publication participation options.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: Ceremonial items that do not contain in-depth discussion and no action/direction.

None at the posting of this agenda

APPROVAL OF AGENDA:

ORAL COMMUNICATIONS:

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by having submitted written comments for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda.

Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendaized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.8.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the February 24, 2021 City Council meetings.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 20, 2021– March 05, 2021.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. General Fund Budget Adjustments for Fiscal Year 2020/21. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2020-2021 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Housing Element Annual Progress Report (File 0610-10)

Recommendation: That the City Council

1. Adopt **Resolution 2021-032** approving the 2020 Housing Element Annual Progress Report and the 2019/20 Housing Successor Annual Report as submitted and direct City Staff to file the report with the California Department of Housing and Community Development and the Governor's Office of Planning and Research.

[Item A.4. Report \(click here\)](#)

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A.5. Destruction of Obsolete Records. (File 0170-50)

Recommendation: That the City Council

1. Adopt **Resolution 2021-036** authorizing the destruction of officially obsolete records.

[Item A.5. Report \(click here\)](#)

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A.6. National Wildlife Federation's Mayors' Monarch Pledge. (File 0480-75)

Recommendation: That the City Council

1. Adopt **Resolution 2021-034** authorizing the Mayor to Sign the National Wildlife Federation's Mayors' Monarch Pledge.

[Item A.6. Report \(click here\)](#)

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A.7. Temporary Art Compensation Increase (File 0910-41)

Recommendation: That the City Council

1. Adopt **Resolution 2021-035** authorizing a modification to the Temporary Public Arts Program artist compensation from \$500 to \$1,500 for a one-year loan.

[Item A.7. Report \(click here\)](#)

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A.8. SEA Long-Term Renewable Power Purchase. (File 1010-45)

Recommendation: That the City Council

1. Approve **Resolution 2021-039** authorizing the City Manager to execute a long-term power purchase agreement, in a form approved by the City Attorney, with Shell Energy to satisfy SEA's long-term procurement obligation under SB 350.

[Item A.8. Report \(click here\)](#)

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B. PUBLIC HEARINGS: (B.1. – B.2.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

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An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

B.1. Public Hearing: 537 North Granados Ave., Applicant: Gladnick, Case DRP20-005/SDP20-009. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2021-033** conditionally approving a DRP and SDP to demolish a single family residence, construct a replacement two-story, single-family residence with an attached two-car garage and single carport, and perform associated site improvements at 537 North Granados Avenue, Solana Beach.

[Item B.1. Report \(click here\)](#)

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B.2. Solana Energy Alliance Rate Schedule. (File 1010-45)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Adopt **Resolution 2021-038** amending the rate schedule for Solana Energy Alliance.

[Item B.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1. – C.2.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

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C.1. 6th Cycle Housing Element Update Status. (File 0610-10)

Recommendation: That the City Council

1. Provide comments and direction on the proposed Draft 6th Cycle Housing Element Update changes.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. La Colonia Park/Fletcher Cove Park Playground Design. (File 0720-30, 0730-40)

Recommendation: That the City Council

1. Adopt **Resolution 2021-030** authorizing the City Manager to execute a Professional Services Agreement, in an amount not to exceed \$111,250, with Van Dyke Landscape Architects for design of a new playground at La Colonia Park and design of new playground equipment at Fletcher Cove Park.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 12, 2019

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary- Harless, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-Becker, Alternate-Harless. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-Harless, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- h. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-Harless
- j. Regional Solid Waste Association (RSWA): Primary-Harless, Alternate-Zito
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-Harless, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Edson
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Heebner
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, Harless
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate Action Commission: Primary-Zito, Alternate-Becker

ADJOURN:

Next Regularly Scheduled Meeting is April 14, 2021

Always refer the City's website Event Calendar for Special Meetings or an updated schedule.

Or Contact City Hall 858-720-2400

www.cityofsolanabeach.org

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the March 24, 2021 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on March 17, 2021 at 1:20 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., May 24, 2021, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk * City of Solana Beach, CA

CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

MINUTES

Joint – Closed Session

Wednesday, February 24, 2021 ♦ 5:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

This meeting will be conducted in accordance with Governor Newsom’s
Executive Order N-29-20 related to the COVID-19 virus.

CITY COUNCILMEMBERS

Lesa Heebner, Mayor

Kristi Becker
Deputy Mayor

Kelly Harless
Councilmember

David A. Zito
Councilmember
District 1

Jewel Edson
Councilmember
District 3

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:00 p.m.

Present: Lesa Heebner, Kristi Becker, Kelly Harless, David A. Zito, Jewel Edson
Absent: None
Also Present: Gregory Wade, City Manager
Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

Report to Council Chambers and submit speaker slips to the City Clerk before
the meeting recesses to closed session.

CLOSED SESSION:

1. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION

Pursuant to Government Code Section 54956.9(d)(1)

- Coronado, Imperial Beach, Lemon Grove & Solana Beach v. SANDAG, et al
(Case No. 37-2020-00033974-CU-MC-CTL)

2. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)

ADJOURN:

Mayor Heebner adjourned the meeting at 5:46 p.m.

Angela Ivey, City Clerk

Council Approved: _____

AGENDA ITEM A.1.



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

MINUTES

Joint REGULAR Meeting

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Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California

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CITY COUNCILMEMBERS

Lesa Heebner, Mayor

Kristi Becker
Deputy Mayor

Kelly Harless
Councilmember

David A. Zito
Councilmember
District 1

Jewel Edson
Councilmember
District 3

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:00 p.m.

Present: Lesa Heebner, Kristi Becker, Kelly Harless, David A. Zito, Jewel Edson

Absent: None

Also Greg Wade, City Manager

Present: Johanna Canlas, City Attorney

Angela Ivey, City Clerk

Dan King, Assistant City Manager

Mo Sammak, City Engineer/Public Works Dir.

Ryan Smith, Finance Dir.

Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

FLAG SALUTE:

APPROVAL OF AGENDA:

Motion: Moved by Councilmember Edson and second by Councilmember Harless to approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

ORAL COMMUNICATIONS: None

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

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comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

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A. CONSENT CALENDAR: (Action Items) (A.1. - A.6.)

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Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for January 23, 2021 – February 05, 2021.

[Item A.1. Report \(click here\)](#)

Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

A.2. General Fund Budget Adjustments for Fiscal Year 2020/21. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2020/21 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

A.3. TransNet Funds Transfer. (File 0390-35)

Recommendation: That the City Council

1. Adopt **Resolution 2021-020** approving the transfer of \$29,180 of TransNet funds from SB18 Pavement Maintenance account into the SB16 Annual Pavement Maintenance Project (Congestion Relief SB16-9362.20).

[Item A.3. Report \(click here\)](#)

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Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to

approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

A.4. Solana Energy Alliance (SEA) 2019 Power Content Label and Attestation.
(File 1010-40)

Recommendation: That the City Council

1. Adopt **Resolution 2021-024** attesting to the veracity of information provided in Solana Energy Alliance's 2019 SEA Choice Power Content Label; SEA Green Power Content Label and SEA's Power Source Disclosure Report based on Staff and SEA consultant's input and review.

[Item A.4. Report \(click here\)](#)

[Item A.4. Supplemental Docs \(updated 2-18-21 at 6pm\)](#)

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Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

A.5. Americans with Disability Act (ADA) Pedestrian Ramps. (File 0820-20)

Recommendation: That the City Council

1. Adopt **Resolution 2021-022:**
 - a. Awarding a construction contract to PAL General Engineering in the amount of \$43,500 for the ADA Pedestrian Ramps, Bid No. 2021-02.
 - b. Approving an amount of \$6,000 for construction contingency.
 - c. Authorizing the City Manager to execute the construction contract on behalf of the City.
 - d. Authorizing the City Manager to approve cumulative change orders up to the construction contingency amount.
 - e. Appropriating \$49,500 to the Federal Grants revenue account and to the ADA Pedestrian Ramps CIP project, both in the CDBG fund.
 - f. Authorizing the City Treasurer to amend the FY 2020/21 Adopted Budget accordingly.

[Item A.5. Report \(click here\)](#)

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Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

A.6. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the January 27, 2021 City Council meetings.

Approved Minutes http://www.ci.solana-beach.ca.us/index.asp?SEC=F0F1200D-21C6-4A88-8AE1-0BC07C1A81A7&Type=B_BASIC

Motion: Moved by Councilmember Edson and second by Deputy Mayor Becker to

approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.1. – C.2.)

Note to Public: Refer to [Public Participation](#) for information on how to submit public comment.

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C.1. Quarterly Investment Report. (File 0350-44)

Recommendation: That the City Council

1. Accept and file the Cash and Investment Report for the quarter ended December 31, 2020.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Jennifer Meza, Public Agency Retirement Systems (PARS), and Mitch Barker, PARS, presented a PowerPoint (on file) reviewing the status of the PARS accounts for pension and other post-retirement benefits (OPEB).

Christiane Tsuda, Highmark Capital, presented a PowerPoint (on file) reviewing the City's pension liability accounts' investments.

Council and Consultants discussed economic projections as they relate to the estimates, economic impacts on investments, and the lower fees of institutional class mutual fund investments.

Genny Lynkiewicz, Chandler Asset Management, presented a PowerPoint (on file) on the City's reserves investments, economic bearings, the COVID stimulus, the Federal Reserve estimates, unemployment claims, inflation, bond yields, and investment performance.

Council, Staff, and Consultants discussed the PARS decreasing the pension liability, PERS (Public Employee Retirement System) actuarial valuation that continues to increase the liability, and that the City's contributions and PERS changes to the discount rate and mortality rate should level out in five years.

Greg Wade, City Manager, stated that this information was presented to the Budget and Finance Commission.

C.2. Mid-Year Budget Adjustments for Fiscal Year 2020/21. (File 0330-30)

Recommendation: That the City Council

1. Adopt **Resolution 2021-021** revising appropriations in the Fiscal Year 2020/21 Budget.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new

submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item.

Ryan Smith, Finance Dir., presented a PowerPoint (on file) reviewing the suggested mid-year adjustment line items for revenues, expenditures, costs and reimbursements. He said that the Budget and Finance Commission reviewed the information at their last meeting.

Motion: Moved by Councilmember Zito and second by Councilmember Edson to approve. **Approved 5/0:** Ayes: Heebner, Becker, Harless, Zito, Edson. Noes: None. Motion carried unanimously.

COMPENSATION & REIMBURSEMENT DISCLOSURE: None

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (*Permanent Committees*)

ADJOURN:

Mayor Heebner adjourned the meeting at 7:12 p.m.

Angela Ivey, City Clerk

Council Approved: _____



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 02/20/21 through 03/05/21

Check Register-Disbursement Fund (Attachment 1)		\$	1,105,119.80
Net Payroll	March 5, 2021		224,156.07
Federal & State Taxes	March 5, 2021		68,120.06
PERS Retirement (EFT)	March 5, 2021		50,660.98

TOTAL		\$	<u>1,448,056.91</u>
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DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for February 20, 2021 through March 5, 2021 reflects total expenditures of \$1,448,056.91 from various City funding sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____ _____

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund

PENTAMATION
DATE: 03/09/2021
TIME: 10:51:08

CITY OF SOLANA BEACH, CA
CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
ACCTPA21

SELECTION CRITERIA: transact.ck_date between '20210220 00:00:00.000' and '20210305 00:00:00.000'
ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98640	02/25/21	3480	BUSINESS PRINTING COMPAN	00150005300	WNDW/NON WNDW ENVLPS	0.00	1,035.90
1011	98645	02/25/21	1914	US BANK	00150005450	301097995 07/18-08/17	0.00	53.50
1011	98645	02/25/21	1914	US BANK	00150005450	301097995 08/18-09/17	0.00	53.50
1011	98645	02/25/21	1914	US BANK	00150005450	301097995 09/18-10/17	0.00	53.50
1011	98645	02/25/21	1914	US BANK	00150005450	301097995 11/18-12/17	0.00	53.50
1011	98645	02/25/21	1914	US BANK	00150005450	301097995-12/18-01/17	0.00	53.50
1011	98645	02/25/21	1914	US BANK	00150005150	COUNCIL POSTER	0.00	2.99
1011	98645	02/25/21	1914	US BANK	00150005150	MAYOR POSTER	0.00	2.99
1011	98645	02/25/21	1914	US BANK	00150005450	WATER-FOOD DIST EVNT	0.00	7.79
1011	98645	02/25/21	1914	US BANK	00150005150	COUNCIL POSTER	0.00	7.99
1011	98645	02/25/21	1914	US BANK	00150005150	MAYOR POSTER	0.00	7.99
1011	98645	02/25/21	1914	US BANK	00150005150	MAYOR POSTER	0.00	7.99
1011	98645	02/25/21	1914	US BANK	00150005450	HOSTING DOMAINS-NOV	0.00	9.95
1011	98645	02/25/21	1914	US BANK	00160006170	POSTAGE-FOGGER RTN	0.00	10.95
1011	98645	02/25/21	1914	US BANK	00160006120	TAPE	0.00	13.52
1011	98645	02/25/21	1914	US BANK	00160006170	DRY ERASE MARKERS	0.00	16.52
1011	98645	02/25/21	1914	US BANK	00165006570	PW FLASHLIGHTS	0.00	16.97
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-BAGS	0.00	21.52
1011	98645	02/25/21	1914	US BANK	00165006570	CABLE LATCHING	0.00	21.52
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-STRAWS	0.00	21.54
1011	98645	02/25/21	1914	US BANK	00150005450	INJECTOR/ADAPTOR	0.00	21.54
1011	98645	02/25/21	1914	US BANK	00170007110	SANTA PARADE BALLOONS	0.00	21.54
1011	98645	02/25/21	1914	US BANK	13550005450	ADOBE PRO SUB	0.00	21.75
1011	98645	02/25/21	1914	US BANK	00160006170	BTTY TERM CLNR/PROT	0.00	26.20
1011	98645	02/25/21	1914	US BANK	00150005450	WIRELESS KEYBOARD	0.00	26.70
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-PRIZES	0.00	30.00
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-BAGS	0.00	32.28
1011	98645	02/25/21	1914	US BANK	00165006570	CABLE LATCHING	0.00	32.28
1011	98645	02/25/21	1914	US BANK	00150005450	ETHERNET CABLE	0.00	32.28
1011	98645	02/25/21	1914	US BANK	13550005450	ADOBE SUB-BAVIN	0.00	32.33
1011	98645	02/25/21	1914	US BANK	00160006170	CLEANING SUPPLIES	0.00	33.86
1011	98645	02/25/21	1914	US BANK	00160006120	VEHICLE ADAPTOR	0.00	34.91
1011	98645	02/25/21	1914	US BANK	00160006120	CLN/DOOR STOP	0.00	37.88
1011	98645	02/25/21	1914	US BANK	00160006170	EMR REVW CLASS-BERNAL	0.00	38.00
1011	98645	02/25/21	1914	US BANK	00160006170	WATERPROOF RADIO BAG	0.00	38.95
1011	98645	02/25/21	1914	US BANK	00160006120	TRASH CAN	0.00	39.63
1011	98645	02/25/21	1914	US BANK	00165006570	LIGHT BULBS-FS	0.00	40.26
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-BISCOTTI	0.00	40.98
1011	98645	02/25/21	1914	US BANK	00150005400	DISPOSABLE MASKS	0.00	43.04
1011	98645	02/25/21	1914	US BANK	00160006170	N95 MASKS-MS	0.00	44.99
1011	98645	02/25/21	1914	US BANK	00160006120	CABLE	0.00	47.54
1011	98645	02/25/21	1914	US BANK	00170007110	TREE LIGHT DECORATNS	0.00	49.51
1011	98645	02/25/21	1914	US BANK	00160006170	LOGBOOK	0.00	53.59
1011	98645	02/25/21	1914	US BANK	00165006570	HAND SANITIZER	0.00	53.85
1011	98645	02/25/21	1914	US BANK	00160006120	TONER	0.00	53.86
1011	98645	02/25/21	1914	US BANK	00150005150	MTG TRNSCRIPTN-12/09	0.00	54.25
1011	98645	02/25/21	1914	US BANK	00160006120	SYNTHETIC GREASE	0.00	54.90
1011	98645	02/25/21	1914	US BANK	00150005450	CONSTANT CONTACT-DEC	0.00	55.00
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	55.03
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	55.85
1011	98645	02/25/21	1914	US BANK	00160006120	TONER/PENS/SHEET PROT	0.00	57.09

PENTAMATION
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CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

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SELECTION CRITERIA: transact.ck_date between '20210220 00:00:00.000' and '20210305 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	58.73
1011	98645	02/25/21	1914	US BANK	00160006120	COSTCO MMBSHP-MORGAN	0.00	60.00
1011	98645	02/25/21	1914	US BANK	00160006120	TONER/PENS/SHEET PROT	0.00	62.28
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-COFFEE	0.00	63.91
1011	98645	02/25/21	1914	US BANK	00165006570	CABLES/SPLITTERS	0.00	64.56
1011	98645	02/25/21	1914	US BANK	00165006570	CABLES/SPLITTERS	0.00	64.56
1011	98645	02/25/21	1914	US BANK	00160006120	DROP CLOTH/BOX CUTTRS	0.00	70.91
1011	98645	02/25/21	1914	US BANK	00150005400	2021 LEG UPDTE-SAMMAK	0.00	75.00
1011	98645	02/25/21	1914	US BANK	00150005450	5 ETHERNET CABLE	0.00	80.75
1011	98645	02/25/21	1914	US BANK	00160006170	PWC BATTERY	0.00	83.24
1011	98645	02/25/21	1914	US BANK	50900007700	5 PW FLASHLIGHTS	0.00	84.85
1011	98645	02/25/21	1914	US BANK	00170007110	TREELGHT VLNTR REFRSH	0.00	85.84
1011	98645	02/25/21	1914	US BANK	00160006120	CARWSH/TRSHCN/DR STOP	0.00	96.89
1011	98645	02/25/21	1914	US BANK	00150005450	INJECTOR PORT	0.00	98.24
1011	98645	02/25/21	1914	US BANK	00160006170	N95 MSKS/DISINFECTNT	0.00	98.56
1011	98645	02/25/21	1914	US BANK	00150005450	3 USB HEADSETS	0.00	108.27
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-SANITIZER	0.00	111.60
1011	98645	02/25/21	1914	US BANK	00150005450	6 ETHRNT SWTCH/SPLTTR	0.00	122.76
1011	98645	02/25/21	1914	US BANK	00150005450	WEBCAM	0.00	137.92
1011	98645	02/25/21	1914	US BANK	00150005450	24 PORT ETHRNET SWTCH	0.00	137.92
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	140.00
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	140.00
1011	98645	02/25/21	1914	US BANK	00160006170	RAIN JACKET	0.00	142.55
1011	98645	02/25/21	1914	US BANK	00160006170	2-RAIN BOOTS	0.00	144.80
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	146.85
1011	98645	02/25/21	1914	US BANK	00150005150	2020 NEW LAW-BAVIN	0.00	150.00
1011	98645	02/25/21	1914	US BANK	00160006170	2485 ELECTRICAL RPR	0.00	150.00
1011	98645	02/25/21	1914	US BANK	00150005150	NOTARY DUES/INS-IVEY	0.00	153.93
1011	98645	02/25/21	1914	US BANK	13550005450	ZOOM SUBSCRIPTION	0.00	156.71
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-GIFTS	0.00	162.98
1011	98645	02/25/21	1914	US BANK	00165006560	ETHERNET CABLE	0.00	163.30
1011	98645	02/25/21	1914	US BANK	00165006560	FCP/LCP SANITIZER	0.00	175.54
1011	98645	02/25/21	1914	US BANK	00150005450	WIRELESS ACCESS PT	0.00	185.47
1011	98645	02/25/21	1914	US BANK	00150005400	MILESTONE PLAQUES	0.00	189.29
1011	98645	02/25/21	1914	US BANK	00150005450	PHOTOSHOP SUB-MOSHKI	0.00	189.54
1011	98645	02/25/21	1914	US BANK	00165006520	PVC SUCTION HOSE	0.00	207.96
1011	98645	02/25/21	1914	US BANK	00150005400	MILESTONE GIFTS	0.00	280.00
1011	98645	02/25/21	1914	US BANK	00160006120	CLN/BAGS/TWLS/SOAP	0.00	294.27
1011	98645	02/25/21	1914	US BANK	00160006120	TWLS/BAGS/DTGNT/MOP	0.00	303.94
1011	98645	02/25/21	1914	US BANK	00160006120	ROPE WASHER/SWIVELS	0.00	311.40
1011	98645	02/25/21	1914	US BANK	00150005400	EE APPREC-COFFEE	0.00	368.88
1011	98645	02/25/21	1914	US BANK	00160006170	UTV SERVICE	0.00	370.96
1011	98645	02/25/21	1914	US BANK	00165006570	CABLES	0.00	371.74
1011	98645	02/25/21	1914	US BANK	00150005300	GFOA CAFR AWARD-FY20	0.00	460.00
1011	98645	02/25/21	1914	US BANK	00160006170	RAIN GEAR/PB PTCH KT	0.00	466.95
1011	98645	02/25/21	1914	US BANK	00150005450	2-WIRELSS ACCSS PNTS	0.00	491.21
1011	98645	02/25/21	1914	US BANK	00160006170	TIDE BOOKS	0.00	675.81
1011	98645	02/25/21	1914	US BANK	13550005450	LAPTOP-?	0.00	751.56
1011	98645	02/25/21	1914	US BANK	00160006120	PULLEY SYSTEM/ANCHOR	0.00	786.71
1011	98645	02/25/21	1914	US BANK	00150005400	CPP TEMPLATE	0.00	149.00
TOTAL CHECK							0.00	12,145.74

PENTAMATION
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CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

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 ACCTPA21

SELECTION CRITERIA: transact.ck_date between '20210220 00:00:00.000' and '20210305 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98646	02/25/21	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-PW	0.00	132.42
1011	98646	02/25/21	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-CH	0.00	175.14
1011	98646	02/25/21	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-CH	0.00	27.26
TOTAL CHECK							0.00	334.82
1011	98647	02/25/21	310	CITY OF ENCINITAS	50900007700	FY20/21 SB ANNL CPCTY	0.00	47,246.59
1011	98647	02/25/21	310	CITY OF ENCINITAS	50900007700	FY19/20 OVERPAYMENT	0.00	-1,731.27
1011	98647	02/25/21	310	CITY OF ENCINITAS	50900007700	O&M COMPONENTS	0.00	21,596.84
TOTAL CHECK							0.00	67,112.16
1011	98648	02/25/21	2631	CLEAN STREET	00165006550	STREET SWP-DEC	0.00	3,431.28
1011	98648	02/25/21	2631	CLEAN STREET	00165006550	STREET SWP-JAN	0.00	3,431.28
TOTAL CHECK							0.00	6,862.56
1011	98649	02/25/21	3710	COUNTY OF SAN DIEGO	00165006520	FY21 SDRSW CO-PERMTEE	0.00	1,291.00
1011	98650	02/25/21	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-JAN	0.00	98.50
1011	98651	02/25/21	5262	GEORGE HILLS COMPANY, IN	12050005460	CLM.1904 PROF SVC-JAN	0.00	126.00
1011	98651	02/25/21	5262	GEORGE HILLS COMPANY, IN	12050005460	CLM.2101 PROF SVC-JAN	0.00	126.00
1011	98651	02/25/21	5262	GEORGE HILLS COMPANY, IN	12050005460	CLM.GENR PROF SVC-JAN	0.00	198.00
TOTAL CHECK							0.00	450.00
1011	98652	02/25/21	4187	KRONOS	00160006120	TELESTAFF-APR21-MAR22	0.00	958.70
1011	98653	02/25/21	99	LAWNMOWERS PLUS	00160006120	FLY WHEEL REPAIR	0.00	208.56
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	VISION FEB 21	0.00	448.33
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	EE# COBRA FEB 21	0.00	11.29
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	EE# COBRA FEB 21	0.00	11.29
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	EE# TIMING FEB 21	0.00	11.29
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	EE TIMING FEB21	0.00	11.29
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	EE COBRA FEB21	0.00	20.33
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	001	EE TIMING FEB21	0.00	-20.34
1011	98654	02/25/21	4738	MEDICAL EYE SERVICES	00150005400	ROUNDING-FEB 21	0.00	-0.19
TOTAL CHECK							0.00	493.29
1011	98655	02/25/21	2106	MIKHAIL OGAWA ENGINEERIN	00165006520	STRMWTR PRK MNGMT-JAN	0.00	4,772.18
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	9.54
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	9.54
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	13.35
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	13.35
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	13.35
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	13.35
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	20.98
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	20.98
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	46.42
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	64.96
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	64.99
1011	98656	02/25/21	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	102.13
TOTAL CHECK							0.00	392.94

PENTAMATION
 DATE: 03/09/2021
 TIME: 10:51:08

CITY OF SOLANA BEACH, CA
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SELECTION CRITERIA: transact.ck_date between '20210220 00:00:00.000' and '20210305 00:00:00.000'
 ACCOUNTING PERIOD: 9/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98657	02/25/21	4708	MUNICIPAL EMERGENCY SERV	00160006120	SCBA FLOW TEST	0.00	875.00
1011	98658	02/25/21	4522	NISSHO OF CALIFORNIA	00165006530	STREET LNDSCP SVC-JAN	0.00	1,827.01
1011	98658	02/25/21	4522	NISSHO OF CALIFORNIA	00165006560	PRKS LNDSCP SVC-JAN	0.00	11,625.14
1011	98658	02/25/21	4522	NISSHO OF CALIFORNIA	00165006570	PUBFAC LNDSCP SVC-JAN	0.00	2,509.06
1011	98658	02/25/21	4522	NISSHO OF CALIFORNIA	20375007510	MID#33 LNDSCP SVC-JAN	0.00	2,078.87
1011	98658	02/25/21	4522	NISSHO OF CALIFORNIA	20875007580	CRT LNDSCP SVC-JAN	0.00	3,995.90
TOTAL CHECK							0.00	22,035.98
1011	98659	02/25/21	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-02/07	0.00	32.95
1011	98659	02/25/21	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-02/04	0.00	32.95
TOTAL CHECK							0.00	65.90
1011	98660	02/25/21	4797	PAMELA ELLIOTT LANDSCAPE	00155005550	REVIEW TREES-BRIXTON	0.00	125.00
1011	98660	02/25/21	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	1718.17/475 MARVIEW	0.00	250.00
1011	98660	02/25/21	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	1717.42/456 NARDO	0.00	250.00
1011	98660	02/25/21	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	B200008/986 SANTA FLO	0.00	300.00
1011	98660	02/25/21	4797	PAMELA ELLIOTT LANDSCAPE	21355005550	SDP21001/558 S NARDO	0.00	450.00
TOTAL CHECK							0.00	1,375.00
1011	98661	02/25/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING FEB 21	0.00	1.00
1011	98661	02/25/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING FEB 21	0.00	1.80
1011	98661	02/25/21	1087	PREFERRED BENEFIT INS AD	00150005400	ADMIN FEE FEB 21	0.00	2.25
1011	98661	02/25/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING FEB 21	0.00	-42.90
1011	98661	02/25/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING FEB 21	0.00	-42.90
1011	98661	02/25/21	1087	PREFERRED BENEFIT INS AD	001	DENTAL FEB 21	0.00	2,747.80
TOTAL CHECK							0.00	2,667.05
1011	98662	02/25/21	141	SANTA FE IRRIGATION DIST	20475007520	005979029 1216-021621	0.00	455.77
1011	98663	02/25/21	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-1/27-LC	0.00	110.00
1011	98663	02/25/21	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-2/5-CH	0.00	110.00
TOTAL CHECK							0.00	220.00
1011	98664	02/25/21	3909	SECTRAN SECURITY INC	12050005460	COURIER SCV-FEB	0.00	113.37
1011	98664	02/25/21	3909	SECTRAN SECURITY INC	12050005460	COURIER FUEL-FEB	0.00	16.38
TOTAL CHECK							0.00	129.75
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	IMPLMNTN-NON-HR-DEC	0.00	640.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	IMPLMNTN-NON-HR-JAN	0.00	3,200.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005200	PROJ MANMNT-JAN	0.00	384.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	PROJ MANMNT-JAN	0.00	896.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	IMPLMNTN-NON-HR-NOV	0.00	1,920.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	IMPLMNTN-NON-HR-DEC	0.00	3,840.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005200	PROJ MANMNT-DEC	0.00	384.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005200	PROJ MANMNT-NOV	0.00	384.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	PROJ MANMNT-NOV	0.00	896.00
1011	98665	02/25/21	5890	TYLER TECHNOLOGIES, INC.	13550005300	PROJ MANMNT-DEC	0.00	896.00
TOTAL CHECK							0.00	13,440.00
1011	98666	02/25/21	40	UNDERGROUND SVC ALERT OF	00165006510	DIG ALERT-JAN	0.00	92.50

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98667	02/25/21	1458	THE UNIFORM SPECIALIST	00160006120	SHRT/BOOTS/PNT-STYERS	0.00	1,450.45
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	21100007600	PW CELL 01/02-02/01	0.00	8.29
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	50900007700	PW CELL 01/02-02/01	0.00	8.29
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	00165006540	PW CELL 01/02-02/01	0.00	22.81
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	00165006560	PW CELL 01/02-02/01	0.00	22.81
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	00165006520	PW CELL 01/02-02/01	0.00	29.03
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	00165006530	PW CELL 01/02-02/01	0.00	29.03
1011	98668	02/25/21	30	VERIZON WIRELESS-SD	00165006510	PW CELL 01/02-02/01	0.00	29.05
TOTAL CHECK							0.00	149.31
1011	98669	02/25/21	5832	WESTERN EXTRICATION SPEC	00160006120	EXTRCTN EQPMNT SRVC	0.00	2,100.00
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	50900007700	AUTO FUEL-01/08-02/07	0.00	117.67
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00160006140	AUTO FUEL-01/08-02/07	0.00	165.98
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00160006120	AUTO FUEL-01/08-02/07	0.00	279.33
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00165006530	AUTO FUEL-01/08-02/07	0.00	284.39
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00165006520	AUTO FUEL-01/08-02/07	0.00	313.80
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00160006170	AUTO FUEL-01/08-02/07	0.00	350.75
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00165006560	AUTO FUEL-01/08-02/07	0.00	58.84
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00165006570	AUTO FUEL-01/08-02/07	0.00	98.06
1011	98670	02/25/21	5916	WEX FLEET UNIVERSAL	00165006510	AUTO FUEL-01/08-02/07	0.00	107.87
TOTAL CHECK							0.00	1,776.69
1011	98671	02/25/21	5919	WREGIS	55000007750	ENERGY TRANSACTN FEE	0.00	125.00
1011	98672	02/25/21	5987	ZOHO CORPORATION	00150005450	ANNL SUB-JAN21-JAN22	0.00	840.00
1011	98673	03/04/21	4832	AT&T CALNET 3	00165006540	9391012279 1/24-2/23	0.00	49.03
1011	98673	03/04/21	4832	AT&T CALNET 3	50900007700	9391012277 1/24-2/23	0.00	14.67
TOTAL CHECK							0.00	63.70
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	87.50
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	65278007820	PROF SERV PE 12/31/20	0.00	174.63
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	262.50
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	65278007820	PROF SERV PE 12/31/20	0.00	402.50
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	437.50
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	55000007750	PROF SERV PE 12/31/20	0.00	490.00
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	752.50
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	1,085.00
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	12050005460	PROF SERV PE 12/31/20	0.00	1,307.92
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	1,382.50
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	1,564.00
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	1,679.24
1011	98674	03/04/21	557	BURKE, WILLIAMS & SORENS	00150005250	PROF SERV PE 12/31/20	0.00	5,500.00
TOTAL CHECK							0.00	15,125.79
1011	98675	03/04/21	2631	CLEAN STREET	00165006550	STREET SWP-FEB	0.00	3,431.28
1011	98676	03/04/21	2427	COMPRESSED AIR SPECIALTI	00160006120	AIR COMPRESSOR MAINTEN	0.00	4,298.35

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98677	03/04/21	3902	CORODATA RECORDS MANAGEM	00150005150	RECORDS STRG-JAN	0.00	344.68
1011	98677	03/04/21	3902	CORODATA RECORDS MANAGEM	00150005150	RECORDS STRG-NOV	0.00	478.62
1011	98677	03/04/21	3902	CORODATA RECORDS MANAGEM	00150005150	RECORDS STRG-DEC	0.00	594.10
TOTAL CHECK							0.00	1,417.40
1011	98678	03/04/21	108	DEL MAR BLUE PRINT COMPA	00150005150	INCorp DOCS SCAN/UPLD	0.00	87.16
1011	98678	03/04/21	108	DEL MAR BLUE PRINT COMPA	00150005100	EDSON/HEGENAUER-GIFT	0.00	11.96
TOTAL CHECK							0.00	99.12
1011	98679	03/04/21	134	DIXIELINE LUMBER CO INC	00165006570	WEATHRPRF COVER	0.00	19.37
1011	98679	03/04/21	134	DIXIELINE LUMBER CO INC	00165006570	SOAP DESPNSR	0.00	35.87
1011	98679	03/04/21	134	DIXIELINE LUMBER CO INC	00165006570	REGLTR/HOSE	0.00	50.08
1011	98679	03/04/21	134	DIXIELINE LUMBER CO INC	00165006520	PLASTIC SHEETING	0.00	54.30
1011	98679	03/04/21	134	DIXIELINE LUMBER CO INC	00165006530	BLK TOP PATCH	0.00	56.83
TOTAL CHECK							0.00	216.45
1011	98680	03/04/21	1257	ELECTRO SPECIALTY SYSTEM	00150005450	SCRty BDG PROXY CARDS	0.00	333.80
1011	98681	03/04/21	223	FEDEX	00150005150	SHIPPING-12/01/20	0.00	36.87
1011	98682	03/04/21	5988	GENTRY HILL	001	RFND-ENC21-0001/325 P	0.00	543.00
1011	98683	03/04/21	5991	HALL ENERGY LAW PC	55000007750	SEA PROF SVC-DEC	0.00	2,499.00
1011	98684	03/04/21	1075	IRON MOUNTAIN	00150005150	RECORDS STRG-FEB	0.00	463.82
1011	98684	03/04/21	1075	IRON MOUNTAIN	00150005150	RECORDS STRG-JAN	0.00	517.87
TOTAL CHECK							0.00	981.69
1011	98685	03/04/21	5889	KOA HILLS CONSULTING, LL	13550005200	PROJ MANAGMNT-FEB	0.00	4,080.00
1011	98685	03/04/21	5889	KOA HILLS CONSULTING, LL	13550005300	PROJ MANAGMNT-FEB	0.00	9,520.00
TOTAL CHECK							0.00	13,600.00
1011	98686	03/04/21	2102	LEGAL SHIELD CORP	001	PPD LEGAL-FEB 21	0.00	38.86
1011	98687	03/04/21	5993	MARC SNYDER / KAREN SNYD	001	RFND-SBGR-386/729 BAR	0.00	40,465.39
1011	98688	03/04/21	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 02/03&02/10	0.00	67.73
1011	98689	03/04/21	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	9.54
1011	98689	03/04/21	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	13.35
1011	98689	03/04/21	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	13.35
1011	98689	03/04/21	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	20.98
TOTAL CHECK							0.00	57.22
1011	98690	03/04/21	191	NAPA AUTO PARTS INC	00165006530	OIL	0.00	70.99
1011	98691	03/04/21	1377	ONE DAY SIGNS	00170007110	NO SK8TBRDNG SIGN	0.00	129.30
1011	98691	03/04/21	1377	ONE DAY SIGNS	00170007100	3MM SIGN BOND	0.00	140.08
TOTAL CHECK							0.00	269.38
1011	98692	03/04/21	5361	HABITAT PROTECTION, INC	00160006130	DEAD ANML RVML-02/02	0.00	145.00

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1011	98693	03/04/21	257	SAN DIEGO COUNTY SHERIFF	00160006110	STAFF CR:12/01-12/31	0.00	-3,852.23
1011	98693	03/04/21	257	SAN DIEGO COUNTY SHERIFF	00160006110	STAFF CR:11/18-11/30	0.00	-1,615.45
1011	98693	03/04/21	257	SAN DIEGO COUNTY SHERIFF	21960006110	LAW ENFORCEMENT-DEC	0.00	12,482.02
1011	98693	03/04/21	257	SAN DIEGO COUNTY SHERIFF	00160006110	LAW ENFORCEMENT-DEC	0.00	373,283.85
1011	98693	03/04/21	257	SAN DIEGO COUNTY SHERIFF	001	CR TOW FEE-DEC	0.00	-109.42
1011	98693	03/04/21	257	SAN DIEGO COUNTY SHERIFF	00160006110	COVID-19 MASK DETAIL	0.00	652.62
TOTAL CHECK							0.00	380,841.39
1011	98694	03/04/21	169	SDG&E CO INC	00165006530	UTILITIES-01/07-02/07	0.00	731.50
1011	98694	03/04/21	169	SDG&E CO INC	00165006540	UTILITIES-01/06-02/04	0.00	438.40
1011	98694	03/04/21	169	SDG&E CO INC	00165006530	UTILITIES-01/06-02/04	0.00	473.56
1011	98694	03/04/21	169	SDG&E CO INC	00165006540	UTILITIES-01/07-02/07	0.00	936.84
1011	98694	03/04/21	169	SDG&E CO INC	00165006570	UTILITIES-01/06-02/04	0.00	1,476.09
1011	98694	03/04/21	169	SDG&E CO INC	20375007510	UTILITIES-01/07-02/07	0.00	2,339.97
1011	98694	03/04/21	169	SDG&E CO INC	00165006570	UTILITIES-01/07-02/07	0.00	4,600.38
1011	98694	03/04/21	169	SDG&E CO INC	55000007750	SEA CCA SVC-DEC	0.00	2,313.85
1011	98694	03/04/21	169	SDG&E CO INC	21100007600	UTILITIES-01/06-02/04	0.00	6,520.98
TOTAL CHECK							0.00	19,831.57
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	21100007600	ST LIGHT REPAIR-DEC	0.00	772.12
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	21100007600	ST LIGHT REPAIR-OCT	0.00	893.35
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	21100007600	MARKOUTS-DEC	0.00	135.03
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	21100007600	MARKOUTS-OCT	0.00	2,160.61
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-NOV	0.00	1,087.36
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-JAN	0.00	1,087.36
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-JAN	0.00	298.42
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-NOV	0.00	610.88
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-OCT	0.00	690.00
1011	98695	03/04/21	5725	SIEMENS MOBILITY, INC.	21100007600	MARKOUT-JAN	0.00	1,147.81
TOTAL CHECK							0.00	8,882.94
1011	98696	03/04/21	31	SOLANA BEACH CHAMBER OF	25055005570	Q1 VISITOR CENTER	0.00	3,750.00
1011	98696	03/04/21	31	SOLANA BEACH CHAMBER OF	25055005570	Q2 VISITOR CENTER	0.00	3,750.00
TOTAL CHECK							0.00	7,500.00
1011	98697	03/04/21	5915	SOUTHWEST PIPELINE & TREN	50998566510	9856.21 DRN REHB-FEB	0.00	86,450.00
1011	98697	03/04/21	5915	SOUTHWEST PIPELINE & TREN	50998566510	9856.21REHB RTN-FEB	0.00	4,550.00
1011	98697	03/04/21	5915	SOUTHWEST PIPELINE & TREN	45994566510	9456.21 DRN REHB-FEB	0.00	118,978.00
1011	98697	03/04/21	5915	SOUTHWEST PIPELINE & TREN	45994566510	9456.21REHB RTN-FEB	0.00	6,262.00
1011	98697	03/04/21	5915	SOUTHWEST PIPELINE & TREN	459	9456.21 REHB RET-FEB	0.00	-6,262.00
1011	98697	03/04/21	5915	SOUTHWEST PIPELINE & TREN	509	9856.21 DRN REHB-FEB	0.00	-4,550.00
TOTAL CHECK							0.00	205,428.00
1011	98698	03/04/21	40	UNDERGROUND SVC ALERT OF	00165006510	CA ST REGLTRY-JAN	0.00	54.29
1011	98699	03/04/21	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-DRP 1719.13	0.00	405.73
1011	98699	03/04/21	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-DRP 20-010	0.00	427.30
1011	98699	03/04/21	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-DRP 19-007	0.00	326.92
TOTAL CHECK							0.00	1,159.95
1011	98700	03/04/21	3723	WAGEWORKS	00150005400	FSA ADMIN-FEB	0.00	128.75

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98701	03/04/21	5594	WEX BANK	00160006120	AUTO FUEL-DEC 20	0.00	874.36
1011	98701	03/04/21	5594	WEX BANK	00160006120	CR EXEMPT TAX-DEC 20	0.00	-62.93
TOTAL CHECK							0.00	811.43
1011	V9000239	02/22/21	11	ICMA PLAN 302817	001	PLAN NUMBER 302817	0.00	11,811.07
1011	V9000240	02/22/21	3859	ICMA RHS 801939	001	PLAN NUMBER 801939	0.00	1,949.69
1011	V9000241	02/25/21	5843	MIDAMERICA	16053005360	CTYSOLANAG5-MAR 21	0.00	5,870.00
1011	V9000242	02/25/21	2260	REDFLEX TRAFFIC SYSTEMS,	00165006540	RED LIGHT CAMERA-JAN	0.00	7,158.00
1011	V9000243	02/25/21	5936	TC CONSTRUCTION COMPANY,	22893626510	9362.21ST MNT/RPR-JAN	0.00	4,590.25
1011	V9000243	02/25/21	5936	TC CONSTRUCTION COMPANY,	24793626510	9362.21ST MNT/RPR-JAN	0.00	191,258.37
1011	V9000243	02/25/21	5936	TC CONSTRUCTION COMPANY,	22893626510	9362.21ST M&R RT-JAN	0.00	10,307.83
1011	V9000243	02/25/21	5936	TC CONSTRUCTION COMPANY,	228	9362.21ST M&R RT-JAN	0.00	-10,307.83
TOTAL CHECK							0.00	195,848.62
1011	V9000244	03/04/21	11	ICMA PLAN 302817	001	PLAN NUMBER:302817	0.00	12,252.39
1011	V9000245	03/04/21	3859	ICMA RHS 801939	001	PLAN NUMBER: 801939	0.00	1,983.59
1011	V9000246	03/04/21	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-JAN	0.00	9,380.50
1011	V9000247	03/04/21	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 03/05/21	0.00	813.50
1011	V9000248	03/04/21	4465	SUN LIFE FINANCIAL	001	JAN 21 LTD	0.00	1,519.23
1011	V9000248	03/04/21	4465	SUN LIFE FINANCIAL	001	FEB 21 LTD	0.00	1,524.92
1011	V9000248	03/04/21	4465	SUN LIFE FINANCIAL	001	JAN 21 LIFE&ADD INS	0.00	1,082.64
1011	V9000248	03/04/21	4465	SUN LIFE FINANCIAL	001	FEB 21 LIFE&ADD INS	0.00	1,086.86
1011	V9000248	03/04/21	4465	SUN LIFE FINANCIAL	001	FEB 21 SUP LIFE INS	0.00	242.35
1011	V9000248	03/04/21	4465	SUN LIFE FINANCIAL	001	JAN 21 SUPP LIFE INS	0.00	242.35
TOTAL CHECK							0.00	5,698.35
TOTAL CASH ACCOUNT							0.00	1,105,119.80
TOTAL FUND							0.00	1,105,119.80
TOTAL REPORT							0.00	1,105,119.80



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: Finance
SUBJECT: **Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2020/21**

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through February 24, 2021.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 12, 2019 (Resolution 2019-085) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES						
As of March 10, 2021						
Action	Description	Revenues	Expenditures	Transfers from GF		Net Surplus
Reso 2019-085	Adopted Budget	19,827,600	(19,602,500)	(151,100)	(1)	\$ 74,000
Reso 2020-101	FY2020/21 Amended	(495,000)	361,000	80,000	(2)	20,000
Reso 2021-021	Mid-Year Budget Adjustments	354,000	(354,993)	-		19,007
	(1) Transfers to:		151,100			
	Debt Service for Public Facilities			151,100		
	(2) Transfer to:		(80,000)			
	City CIP Fund			(80,000)		

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

COUNCIL ACTION:

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2020-2021 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: Community Development Department
SUBJECT: **Consideration of Resolution 2021-032 Approving the Housing Element Annual Progress Report and Housing Successor Annual Report for Fiscal Year 2019/20 and Directing Submittal to the California Department of Housing and Community Development and the Governor’s Office of Planning and Research**

BACKGROUND:

Government Code¹ Section 65400 requires that each city and county planning agency prepare an annual progress report (APR) on the status of the Housing Element of its General Plan and report on the progress of the implementation of the policies in the Housing Element, using the forms and definitions adopted by the California Department of Housing and Community Development (HCD). A required part of the Report is the Housing Successor Annual Report (Housing Successor Report). Senate Bill (SB) 375, as adopted and codified under Section 65400(a)(2)(B), requires that the annual report be approved by City Council.

The issue before Council is to consider adoption of Resolution 2021-032 (Attachment 1) ratifying the Housing Element APR (Attachment 2) and Housing Successor Annual Report for Fiscal Year (FY) 2019/20 (Attachment 3) pursuant to California Health and Safety Code Section 34176.1(f). If approved, Staff will submit the final reports to HCD and the Governor’s Office of Planning and Research.

DISCUSSION:

The Housing Element is an important planning policy document. It is used to identify the projected housing needs of the community and establishes policies to support the further development of all types of housing, including affordable housing, within the City.

¹ All references are to the California Government Code unless specified otherwise.

COUNCIL ACTION:

All California municipalities are required to adopt a Housing Element as part of their General Plan. Distinct from the other General Plan elements, the Housing Element is subject to detailed statutory requirements and mandatory review by HCD.

The City Council adopted the City of Solana Beach Housing Element 2013-2020 and Negative Declaration by Resolution 2013-011 on February 13, 2013. The document was then submitted to HCD for certification. On March 4, 2013, HCD found the document in full compliance with State housing element law.

This progress report spans from January 1, 2020 through December 31, 2020 and includes statistics on the production of all housing types, including affordable housing, during the fifth cycle of the Regional Housing Needs Assessment (RHNA) for the San Diego Association of Governments (SANDAG), which began on January 1, 2010 and ended on December 31, 2020. The 2020 Housing Element APR (Attachment 2) contains the information required by state law. The data included in the APR is further described below.

Table A - Housing Development Applications Submitted

As part of the new reporting requirements, cities are required to provide data on housing developments for which an application was submitted (and deemed complete) between January 1, 2020 and December 31, 2020. Housing development applications include an application for a discretionary entitlement, which results in a newly constructed housing unit, or a building permit application when only a ministerial process is required. Only newly constructed housing units are reported. For example, an application for an addition to an existing residence would not be counted; however, an application for a demolition and replacement of a residential structure would be counted. Furthermore, only applications which were “deemed complete” in 2020 were included. Attachment 2, Table A, includes all housing applications deemed complete in 2020, the number of proposed units by affordability level, and the number of units that have been approved by affordability level. In 2020, 24 housing development applications were deemed complete for a combined total of 26 units.

Table A-2 - Annual Building Activity Report Summary

Another new reporting requirement includes the requirement for data on net new housing units and developments that have received any one of the following: an entitlement, a building permit or a certificate of occupancy. The data is included in Attachment 2, Table A2. Only developments that resulted in net new housing units are included in Table A2. For example, an application that included the demolition and replacement of a residential structure would not be counted in this table; however, a new housing application proposed on a vacant lot would be counted.

It is expected that the same projects will be reported in multiple years of APRs. For example, a project will be listed in three separate APRs if it is entitled in one year, receives a building permit next year, and the certificate of occupancy in the following year.

In 2020, 8 development projects that result in net new housing units received entitlements, for a combined total of 11 net new units; 12 development projects received building permits for a combined total of 13 net new units; and 6 development projects were finalized for a combined total of 6 net new units.

Table B - Regional Housing Needs Assessment (RHNA) Progress Report

On October 28, 2011, SANDAG adopted the RHNA allocations for each jurisdiction within the region for an 11-year cycle, beginning on January 1, 2010 and ending December 31, 2020. The RHNA allocation for all income categories for the City of Solana Beach is 340 units over this 11-year projection period.

Attachment 2, Table B identifies the number of net new dwelling units that were issued building permits from January 1, 2020 through December 31, 2020, based on income category.

As of December 31, 2020, a net total of 83 housing units were issued building permits, leaving a remainder of 257 units in the total RHNA allocation of 340 units for all income types. Of those 83 housing units, 13 were permitted during the 2020 reporting period. A breakdown of the housing units by year is depicted in Attachment 2, Table B.

For the current RHNA cycle, the number of permitted housing units by affordable category is as follows:

- The City's total RHNA allocation for above moderate income units is 131 and 54 units in this category have been permitted.
- The total RHNA allocation for moderate income units is 59 and 23 moderate income units, which are Accessory Dwelling Units, have been permitted.
- The total RHNA allocation for low income units is 65 and 6 units have been permitted.
- The total RHNA allocation for very low income units is 85 and 0 units have been permitted.

Table C – Sites Identified or Rezoned to Accommodate Shortfall Housing Need

Attachment 2, Table C is used to report rezoned or identified sites required by no net loss pursuant to Government Code Section 65863. When a city permits or causes its housing element sites inventory site capacity to be insufficient to meet its remaining unmet RHNA, they are required to identify additional sites to meet the RHNA or if needed, rezone sites to accommodate the unmet RHNA. There were no development projects approved in 2020 that resulted in the City's inability to meet its unmet RHNA; therefore, these reporting requirements do not apply to the City and were left unreported.

Table D – Housing Element Cycle and Implementation Progress Report

Attachment 2, Table D provides an itemized status report on the 2013-2020 Housing Element Implementation for nineteen programs, which were adopted with the City's Housing Element. These programs establish the policies of the City Council to encourage the construction of new affordable housing in Solana Beach, additional affordable housing opportunities using existing housing, and new housing in all income categories as identified in the RHNA and the Housing Element itself.

In compliance with Program 19 of the Housing Element, which identifies three City-owned sites in the Residential Land Inventory that are viable for affordable housing, the City Council authorized the City Manager to issue Requests for Proposals (RFP) for affordable housing development opportunities at 635 S. Highway 101, Solana Beach at the March 14, 2018 Council Meeting and at 140 S. Sierra Avenue, Solana Beach at the February 27, 2019 Council Meeting.

Information on other City regulations, which serve to facilitate affordable housing in the community, is located at the public counter in City Hall. This includes information on the City's density bonus and the City's Affordable Housing and Accessory Dwelling Unit Ordinances.

Table E – Commercial Development Bonus

Attachment 2, Table E is used to report information on commercial development bonuses approved during the reporting period. When an applicant for approval of a commercial development has entered into an agreement for partnered housing to contribute affordable housing through a joint project or two separate projects encompassing affordable housing, the city, county, or city and county shall grant to the commercial developer a development bonus as prescribed in Government Code Section 65915.7. No commercial development bonuses were requested or approved; therefore, these reporting requirements do not apply and were left unreported.

Housing Successor Annual Report

Senate Bill 341 (SB 341), which is codified in Health and Safety Code Section 34176.1 (Section 34176.1) and became effective on January 1, 2014, requires each housing successor that assumed the housing functions of a former redevelopment agency to post a report on its website that contains information regarding the low- and moderate-income housing asset fund (Fund) of the former redevelopment agency for the previous fiscal year. In this case, the City, as the housing successor (Housing Successor), is required to prepare and post the report.

In addition, the Housing Successor is required to conduct and provide to the Council an independent financial audit (Audit) of the Fund within six months of the end of the fiscal year. The Audit may be included as part of the City's independent financial audit.

The Housing Successor assumed the housing functions of the former Solana Beach Redevelopment Agency (RDA) on January 11, 2012. The transfer of the functions included the transfer of formerly designated RDA low- and moderate-income housing funds together with any funds generated by former RDA housing assets. The funds must be maintained by the City in the separate Fund and expended in accordance with Section 34176.1. Allowable expenditures include the development of affordable housing, monitoring and preservation of housing subject to affordability restrictions and covenants, and homelessness prevention and rapid rehousing services for homeless individuals.

To ensure that the monies in the Fund are expended in accordance with the law, Section 34176.1(f) requires an independent financial audit of the Fund within six months of the end of the fiscal year. The Fund has maintained a zero balance for the entirety of the fiscal year. As a result, no audit report was prepared for the fiscal year.

SB 341 also requires annual reporting and website posting of a Housing Successor Report for the fiscal year related to the Fund. The Housing Successor Report for FY 2018/19 includes the following information:

- The Fund's balance for the fiscal year ending June 30, 2019 was 0 and there was no financial activity for the fiscal year ending June 30, 2020 resulting in a 0 fund balance for fiscal year ending June 30, 2020.
- The statutory value of assets owned by the Housing Successor consists only of the value of loans receivable from the Hitzke Obligation of \$601,310;
- The Fund does not have an "excess surplus" (the aggregate of unencumbered funds deposited into the Fund during the preceding four fiscal years).

After City Council approval, the Housing Successor Report (Attachment 3) will be posted on the City's website and submitted to HCD.

In conclusion, Staff recommends that the Council consider public testimony provided during the public hearing and consider approval of Resolution 2021-032 as contained in Attachment 1. Should the Council approve and adopt Resolution 2021-032, it is further recommended that the Council direct City Staff to submit the 2019 Housing Element APR and the 2019/20 Housing Successor Annual Report to HCD as required by state law.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

N/A

WORK PLAN:

Community Character – Land Use & Planning – Housing Element

OPTIONS:

- Approve Staff's recommendation to adopt the 2020 Annual Housing Element Progress Report and the 2019/20 Housing Successor Annual Report and adopt Resolution 2021-032 directing that the reports be submitted to HCD and the Governor's Office of Planning and Research.
- Approve the reports with modifications and adopt Resolution 2021-032 directing Staff to submit the report to HCD and the Governor's Office of Planning and Research.
- Provide other direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2021-032 approving the 2020 Housing Element Annual Progress Report and the 2019/20 Housing Successor Annual Report as submitted and directing City Staff to file the report with the California Department of Housing and Community Development and the Governor's Office of Planning and Research.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-032
2. 2020 Annual Housing Element Progress Report
3. 2019/20 Housing Successor Annual Report

RESOLUTION 2021-032

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE 2020 HOUSING ELEMENT PROGRESS REPORT AND THE HOUSING SUCCESSOR ANNUAL REPORT FOR FISCAL YEAR 2019/20 AND DIRECTING SUBMITTAL TO THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT

WHEREAS, on February 13, 2013, the City Council adopted the City of Solana Beach 2013-2020 Housing Element by Resolution 2013-011; and

WHEREAS, the Housing Element is an important planning tool for the City of Solana Beach in meeting the housing needs of the community. It establishes an action plan to meet these needs pursuant to Government Code Section 65302(c) which sets forth the specific components to be contained in a community's housing element; and

WHEREAS, on October 28, 2011, the San Diego Association of Governments adopted a plan for the Regional Housing Needs Assessment (RHNA) allocating regional housing needs for the fifth RHNA cycle beginning January 1, 2010 and extending to December 31, 2020 to include adoption of Table B located within Attachment 1; and

WHEREAS, the City is required to submit to the California Department of Housing and Community Development (HCD) by April 1, 2021, the 2020 Annual Housing Element Progress Report (Housing Element Report); and

WHEREAS, the Housing Successor Annual Report for Fiscal Year 2019/20 is required by Health & Safety Code Section 34176.1(f) to be submitted to HCD with the Housing Element Report; and

WHEREAS, on March 24, 2021, the City Council considered the 2020 Annual Housing Element Progress Report and the Housing Successor Annual Report as required under Government Code Section 65400(a)(2)(B); and

WHEREAS, City Staff presented the 2020 Annual Housing Element Progress Report, including information on the Housing Element Implementation and Annual Building Activity Report for the first nine years of the RHNA reporting period including January 1, 2010 through December 31, 2020 at the March 24, 2021 meeting; and

WHEREAS, the City Council found the proposed action is not a project, and is therefore exempt from the California Environmental Quality Act; and

WHEREAS, this decision is based upon the information presented in the Staff Report.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. The 2020 Annual Housing Element Progress Report and the 2019/20 Housing Successor Annual Report are approved.
3. City Staff is directed to submit and file the 2020 Annual Housing Element Progress Report and the 2019/20 Housing Successor Annual Report with the State Department of Housing and Community Development Department, and also the Governor's Office of Planning and Research.

PASSED AND ADOPTED this 24th day of March, 2021, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

Lesa Heebner, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

Jurisdiction	Solana Beach	
Reporting Year	2020	(Jan. 1 - Dec. 31)

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	9
Above Moderate		4
Total Units		13

Note: Units serving extremely low-income households are included in the very low-income permitted units totals

Housing Applications Summary	
Total Housing Applications Submitted:	24
Number of Proposed Units in All Applications Received:	26
Total Housing Units Approved:	10
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

Units Constructed - SB 35 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Cells in grey contain auto-calculation formulas

Jurisdiction	Solana Beach	
Reporting Year	2020	(Jan. 1 - Dec. 31)

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

(CCR Title 25 §6202)

Note: "*" indicates an optional field

Cells in grey contain auto-calculation formulas

Table A

Housing Development Applications Submitted

Project Identifier					Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Notes	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA, SFD, 2 to 4, 5+ ADU, MH)	Tenure R=Rentor O=Owner	Date Application Submitted (see Instructions)	Very Low-Income Deed Restricted	Very Low-Income Non-Deed Restricted	Low-Income Deed Restricted	Low-Income Non-Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non-Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project	Was APPLICATION SUBMITTED Pursuant to GC 65913.4(b)? (SB 35 Streamlining)	Notes*
Summary Row: Start Data Entry Below								0	0	0	0	0	0	17	9	26	10	0	0
	263-392-07	308 Glenmont Dr.	Martin ADU	B20-0002	ADU	R	7/7/2020							1	1			No	Under Review as on 12/31/2
	263-062-06	603 Seabright Ln.	Zito ADU	B20-0081	ADU	R	6/6/2020							1	1			No	Under Review as on 12/31/2
	263-081-20	564 N Rios	ADU	B20-0163	ADU	R	6/18/2020							1	1			No	
	298-072-45	241 S Granados	Boyd ADU	B20-0204	ADU	R	7/20/2020							1	1			No	
	298-440-17	752 Sonoma St		B20-0214	ADU	R	7/14/2020							1	1			No	Under Review as on 12/31/2
	298-292-23	840 Avocado Pl	Morrison Residence	DRP20-004	SFD	O	12/14/2020							1	1			No	Under Review as on 12/31/2
	263-332-35	248 N Sonja Ave	ADU	B20-0238	ADU	R	6/15/2020							1	1			No	
	263-372-24	143 N Granados Ave	Ann ADU	B20-0241	ADU	R	9/25/2020							1	1			No	Under Review as on 12/31/2
	298-292-09	834 Avocado Pl	ADU	B20-0257	ADU	R	6/9/2020							1	1			No	Under Review as on 12/31/2
	298-292-21	382 Avocado Pl	Orville ADU	B20-0444	ADU	R	12/22/2020							1	1			No	Under Review as on 12/31/2
	263-081-19	617 Barbara Ave	Dunne ADU	B20-0500	ADU	R	12/17/2020							1	1			No	Under Review as on 12/31/2
	263-031-12	645 N Rios Ave	Popa ADU	B20-0513	ADU	R	12/9/2020							1	1			No	Under Review as on 12/31/2
	298-092-14	521 S Rios Ave	Margula Residence	DRP19-003	2 to 4	O	3/24/2020							1	1	2	2	No	
	298-292-24	970 Avocado Pl	McCardia Residence	DRP19-007	SFD	O	2/3/2020							1	1			No	
	263-182-02	518 Ford Ave	Landholdings LLC	DRP19-008	SFD	O	3/12/2020							1	1			No	
	263-062-23	520 N Cedros Ave	Murphy Residence	DRP19-009	SFD	O	11/13/2020							1	1			No	Under Review as on 12/31/2
	263-065-13	622 Glenmont Dr	Sansoni Residence	DRP20-002	SFD	O	10/7/2020							1	1			No	Under Review as on 12/31/2
	263-082-14	537 N Granados	Gladneck Residence	DRP20-005	2 to 4	O	10/20/2020							1	1	2	2	No	Under Review as on 12/31/2
	298-340-10	778 W Solana Circle	Wilkinson Residence	DRP20-007	SFD	O	11/16/2020							1	1			No	
	263-042-06	201 Ocean St	Capoma Residence	17-18-03	ADU	R	3/24/2020							1	1			No	
	263-193-04	514 Canyon Dr	Ewing Residence	17-18-13	SFD	O	10/23/2020							1	1			No	Under Review as on 12/31/2
	298-084-48	318 S Nardo Ave	McHale	17-18-17	ADU	R	1/14/2020							1	1			No	Under Review as on 12/31/2
	298-140-26	895 Genevieve St	Redmel ADU	B20-0344	ADU	R	6/10/2020							1	1			No	Under Review as on 12/31/2
	263-652-03	1103 Santa Rufina	Snow JADU	B20-0328	ADU	R	9/17/2020							1	1			No	Under Review as on 12/31/2

9	Affordability by Household Incomes - Certificates of Occupancy							11	12	13	14
	10										
# of Units Issued Building Permits	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) <u>Date Issued</u>	# of Units issued Certificates of Occupancy or other forms of readiness	How many of the units were Extremely Low Income?*	Was Project APPROVED using GC 65913.4(b)? (SB 35 Streamlining) Y/N
13	0	0	0	0	0	5	1		6	0	0
1									0		N
1									0		N
1									0		N
1									0		N
1									0		N
1									0		N
1									0		N
0						1		3/4/2020	1		N
0									0		N
1									0		N
2									0		N
0									0		N
0							1	1/14/2020	1		N
0									0		N
0						1		7/22/2020	1		N
0									0		N
0						1		7/10/2020	1		N
0									0		N
1									0		N
0						1		9/11/2020	1		N
0									0		N
0									0		N
0									0		N
0						1		5/22/2020	1		N
0									0		N
1									0		N
1									0		N
0									0		N
0									0		N

Jurisdiction	Solana Beach	
Reporting Year	2020	(Jan. 1 - Dec. 31)

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
 (CCR Title 25 §6202)

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
 Please contact HCD if your data is different than the material supplied here

Table B
Regional Housing Needs Allocation Progress
Permitted Units Issued by Affordability

Income Level		1 RHNA Allocation by Income Level	2								3 Total Units to Date (all years)	4 Total Remaining RHNA by Income Level	
			2013	2014	2015	2016	2017	2018	2019	2020			2021
Very Low	Deed Restricted	85											85
	Non-Deed Restricted												
Low	Deed Restricted	65			1	1	2	1				6	59
	Non-Deed Restricted		1										
Moderate	Deed Restricted	59											
	Non-Deed Restricted					3	5	6	9			23	36
Above Moderate		131	11	5	3	5	12	11	3	4		54	77
Total RHNA		340											
Total Units			12	5	4	6	17	17	9	13		83	257

Note: units serving extremely low-income households are included in the very low-income permitted units totals
 Cells in grey contain auto-calculation formulas

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction		Solana Beach	
Reporting Year		2020 (Jan. 1 - Dec. 31)	
Table D			
Program Implementation Status pursuant to GC Section 65583			
Housing Programs Progress Report			
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.			
1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
Encourage Mixed Use Development	Program 1: ABCD, inventory sites and initiate planning, encourage mixed use, look for funding.	ongoing	Two mixed-use projects netting in 33 dwelling units was approved in December 2016 and July 2018.
Encourage Accessory Living Units	Program 2: Distribute information, evaluate progress, monitor standards and process.	ongoing	Ordinance 508 was adopted on January 8, 2020 which amended the municipal code to comply with Senate Bill (SB) 13, Assembly (AB) 68, and Assembly Bill (AB) 881 related to accessory dwelling units.
Density Bonus Program	Program 3: Develop handout.	Within 12 to 18 months	A handout has been developed and is available at the front counter and on the city website.
Affordable (Inclusionary) Housing Program	Program 4: Enforce ordinance and utilize impact fees for affordable projects.	ongoing	Inclusionary provisions of Municipal Code modified to adopt new Affordable Housing Impact Fee; adopted March 23, 2011. Two mixed-use project netting in 33 dwelling units approved in 2016 and 2018 were subject to the impact fee.
Replacement Housing	Program 5: Replaces ten very low income units.	By the end of the planning period	One mixed-use application consisting of 10 very low-income units on city-owned land was approved in 2014 and received a time extension in December 2015. On August 24, 2016 the City Council conducted a public hearing under the Tax and Equity Fiscal Responsibility Act (TEFRA) and approved the use of tax exempt bonds for the financing of the project.
Address and Mitigate Constraints to Housing Development	Program 6: Monitor Inclusionary Program; B. Monitor permit processing; C. Provide public education on affordable housing; D. Amend zoning for SB2 requirements, delineate residential care facilities, revise reasonable accommodation procedures; E. Clarify SROs, hold low-income workshops for developers, apply for funding, establish reduced fee for low-income projects; F. Provide Housing Element to water authority and adopt priority sewer service for affordable housing; G. Ensure Housing Element is consistent with General Plan and other regulations and procedures; and H. Ensure compliance with Employee Housing Act.	A-C: ongoing; D & E: within 1 year, during cycle, and ongoing; F: immediately; G: on-going; H: within 1 year	A: Staff discusses the inclusionary program with all applicants proposing 5 or more units and any interested parties; B: Residential permit process review ongoing; C: Educational information regarding affordable housing was posted on the website; D: Ordinance 445 amending zoning was adopted 2/12/14; E: SRO's were clarified in zoning; F: Housing Element was sent to the Water Authority; G: Consistency review is ongoing; H: Employee Housing Act has been reviewed for compliance
Emergency Shelter Housing Site Identification	Program 7: Amend zoning to allow for emergency shelters outright in General Commercial zone with development standards.	Within 1 year	Zoning ordinance amending emergency shelters outright in General Commercial and permitting them in the Public/Institutional zone with a Director's Use Permit with development standards was adopted February 12, 2014.
Illegal Unit Conversion	Program 8: Research feasibility of implementing an amnesty program.	Within 4 years	No applications for conversion have been received.
Preserve At-Risk Units	Program 9: Monitor determination by private property owners to place affordable units at risk.	Ongoing, prior to 2019 conversion date	Received project application for Solana Highlands in 2014 with 32 affordable units, which will replace units previously monitored by the County of San Diego. The expiration date for these affordable units was 2011. The project was approved by City Council in December 2018.
Section 8 Rental Assistance	Program 10: Work with County to administer program and assist developers to apply for program.	Ongoing	Continued to coordinate with County HCD to implement and administer Section 8 Rental Assistance.
Capital Improvements Program	Program 11: Prepare and adopt capital improvements to repair and maintain public utilities.	Ongoing	Continued to implement City's CIP program, annual budget adopted each year.
Condominium Conversion Policy	Program 12: Consider requests for the conversion of existing rental property when vacancy rate exceeds 6 percent.	Ongoing	No applications for conversion have been received.
Residential Code Enforcement	Program 13: Identify housing complaints by type, action and results. Translate complaint form into Spanish.	Ongoing, 6 months to 1 year	A code action data base for housing complaints is routinely maintained and the complaint form is available in Spanish.
Residential Rehabilitation	Program 14: Provide information on County Services/HCD programs.	Ongoing	City staff provides this information to the public.
Mortgage Credit Certificate (MCC)	Program 15: Distribute information.	Ongoing	No applications have been received, MCC handout distributed at City Counter.
Distribute Fair Housing Information	Program 16: Continue to participate in the Fair Housing Council Program and distribute information, refer questions and claims to FHCSD.	Ongoing	The City distributes brochures at the Library and City Hall and participates in the Fair Housing Council. No complaints received or referred to FHC during 2016.
Energy Conservation	Program 17: Complete the development of the energy efficiency program.	During Housing Cycle	The City implemented the PACE program in 2014 and continues to identify areas and programs for reducing energy use in the development of the Climate Action Plan.
Public Participation	Program 18: Keep track of noticing and identify and implement effective communication strategies.	Ongoing	The City maintains all notices provided to the public and mails, Eblast, places information on the City website and Facebook, and has used surveys to obtain feedback and information.
Affordable Housing on City Owned Property	Program 19: Issue RFPs to develop affordable housing on City-owned sites (sites 3 & 4)	Site 3 in the fourth year and site 4 in the fifth year cycle	The City released RFPs for Site 3 (City Hall Parking Lot) and Site 4 (Distillery Parking Lot).

**HOUSING SUCCESSOR ANNUAL REPORT
REGARDING THE LOW AND MODERATE INCOME HOUSING ASSET FUND
FOR FISCAL YEAR 2019-20 PURSUANT TO
CALIFORNIA HEALTH AND SAFETY CODE SECTION 34176.1(f) FOR THE
CITY OF SOLANA BEACH, HOUSING SUCCESSOR TO THE FORMER SOLANA BEACH
REDEVELOPMENT AGENCY**

This Housing Successor Annual Report (Report) regarding the Low and Moderate Income Housing Asset Fund (LMIHAF) has been prepared pursuant to California Health and Safety Code Section 34176.1(f). This Report sets forth certain details of the activities of the City of Solana Beach, acting in its capacity as housing successor to the former Solana Beach Redevelopment Agency (Housing Successor), during Fiscal Year 2019-20 (Fiscal Year). The purpose of this Report is to provide the governing body of the Housing Successor an annual report on the housing assets and activities of the Housing Successor under Part 1.85, Division 24 of the California Health and Safety Code, in particular sections 34176 and 34176.1 (Dissolution Law).

The following Report is based upon information prepared by Housing Successor staff and information contained within the independent financial audit of the Low and Moderate Income Housing Asset Fund for Fiscal Year 2019-20 (Fiscal Year). The LMIHAF has maintained a zero balance for the entirety of the Fiscal Year. As a result, no audit report was prepared for the Fiscal Year. Further, this Report conforms with and is organized into sections I. through XI., inclusive, pursuant to Section 34176.1(f) of the Dissolution Law:

I. Amount Deposited into LMIHAF: This section provides the total amount of funds deposited into the LMIHAF during the Fiscal Year. Any amounts deposited for items listed on the Recognized Obligation Payment Schedule (ROPS) must be distinguished from the other amounts deposited.

II. Ending Balance of LMIHAF: This section provides a statement of the balance in the LMIHAF as of the close of the Fiscal Year. Any amounts deposited for items listed on the ROPS must be distinguished from the other amounts deposited.

III. Description of Expenditures from LMIHAF: This section provides a description of the expenditures made from the LMIHAF during the Fiscal Year. The expenditures are to be categorized.

IV. Statutory Value of Assets Owned by Housing Successor: This section provides the statutory value of real property owned by the Housing Successor, the value of loans and grants receivables, and the sum of these two amounts.

V. Description of Transfers: This section describes transfers, if any, to another housing successor agency made in previous Fiscal Year(s), including whether the funds are unencumbered and the status of projects, if any, for which the transferred LMIHAF will be used. The sole purpose of the transfers must be for the development of transit priority projects, permanent supportive housing, housing for agricultural employees or special needs housing.

VI. Project Descriptions: This section describes any project for which the Housing Successor receives or holds property tax revenue pursuant to the ROPS and the status of that project.

VII. Status of Compliance with Section 33334.16: This section provides a status update on compliance with Section 33334.16 for interests in real property acquired by the Former Agency prior to February 1, 2012. For interests in real property acquired on or after February 1, 2012, provide a status update on the project.

VIII. Description of Outstanding Obligations under Section 33413: This section describes the outstanding inclusionary and replacement housing obligations, if any, under Section 33413 that remained outstanding prior to dissolution of the former Solana Beach Redevelopment Agency (Former Agency) as of February 1, 2012 along with the Housing Successor's progress in meeting those prior obligations, if any, of the Former Agency and how the Housing Successor plans to meet unmet obligations, if any.

IX. Income Test: This section provides the information required by Section 34176.1(a)(3)(B), or a description of expenditures by income restriction for five year period, with the time period beginning January 1, 2014 and whether the statutory thresholds have been met. However, reporting of the Income Test is not required until 2019.

X. Senior Housing Test: This section provides the percentage of units of deed-restricted rental housing restricted to seniors and assisted individually or jointly by the Housing Successor, the Former Agency, and the City of Solana Beach within the previous 10 years in relation to the aggregate number of units of deed-restricted rental housing assisted individually or jointly by the Housing Successor, the Former Agency, and the City of Solana Beach within the same time period. For this Report the ten-year period reviewed is January 1, 2007 to January 1, 2017.

XI. Excess Surplus Test: This section provides the amount of excess surplus in the LMIHAF, if any, and the length of time that the Housing Successor has had excess surplus, and the Housing Successor's plan for eliminating the excess surplus.

REPORT

This Report and the former Solana Beach Redevelopment Agency's pre-dissolution Implementation Plan are to be made available to the public on the City's website http://www.ci.solana-beach.ca.us/index.asp?SEC=4459C1D7-9FF7-4988-92FF-D6EC8A2F593E&Type=B_BASIC.

I. AMOUNT DEPOSITED INTO LMIHAF. A total of \$0 was deposited into the LMIHAF during the Fiscal Year. Of the total funds deposited into the LMIHAF, no funds were held for items listed on the ROPS. All funds were designated to meet an enforceable obligation to the Hitzke Development Corporation to be used for ten units of very low income multifamily housing (Hitzke Obligation).

II. ENDING BALANCE OF LMIHAF. At the close of the Fiscal Year, the ending balance in the LMIHAF was \$0, of which no funds are held for items listed on the ROPS. All funds are designated to meet the Hitzke Obligation.

III. DESCRIPTION OF EXPENDITURES FROM LMIHAF. The following is a description of expenditures from the LMIHAF by category

Fiscal Year	
Monitoring & Administration Expenditures	None
Homeless Prevention and Rapid Rehousing Services Expenditures	None
Housing Development Expenditures ➤ Expenditures on Low Income Units ➤ Expenditures on Very-Low Income Units ➤ Expenditures on Extremely-Low Income Units ➤ Total Housing Development Expenditures	None
Total LMIHAF Expenditures in Fiscal Year	None

IV. STATUTORY VALUE OF ASSETS OWNED BY HOUSING SUCCESSOR IN LMIHAF. Under the Dissolution Law and for purposes of this Report, the “statutory value of real property” means the value of properties formerly held by the Former Agency as listed on the housing asset transfer schedule approved by the Department of Finance as listed in such schedule under Section 34176(a)(2), the value of the properties transferred to the Housing Successor pursuant to Section 34181(f), and the purchase price of property(ies) purchased by the Housing Successor. Further, the value of loans and grants receivable is included in these reported assets held in the LMIHAF.

The following provides the statutory value of assets owned by the Housing Successor.

As of End of Fiscal Year	
Statutory Value of Real Property Owned by Housing Authority	0
Value of Loans and Grants Receivable	\$601,310
Total Value of Housing Successor Assets	\$601,310

V. DESCRIPTION OF TRANSFERS. The Housing Successor did not make any LMIHAF transfers to other Housing Successor(s) under Section 34176.1(c)(2) during the Fiscal Year.

VI. PROJECT DESCRIPTIONS. The Housing Successor does not receive or hold property tax revenue pursuant to the ROPS.

VII. STATUS OF COMPLIANCE WITH SECTION 33334.16. The Housing Successor has no interests in real property.

VIII. DESCRIPTION OF OUTSTANDING OBLIGATIONS PURSUANT TO SECTION 33413

Replacement Housing: According to the 2009-2014 Implementation Plan for the Former Agency, no Section 33413(a) replacement housing obligations were transferred to the Housing Successor. The Former Agency’s Implementation Plan is posted on the City’s website at http://www.ci.solana-beach.ca.us/index.asp?SEC=4459C1D7-9FF7-4988-92FF-D6EC8A2F593E&Type=B_BASIC

Inclusionary/Production Housing. According to the 2009-2014 Implementation Plan for the Former Agency, the Former Agency was required to construct 2.1 units of very low income housing to meet its inclusionary requirement. The project proposed by the Hitzke Development Corporation and funded in part by the Housing Successor will provide 10 very low income housing units.

IX. EXTREMELY-LOW INCOME TEST. Section 34176.1(a)(3)(B) requires that the Housing Successor must require at least 30% of the LMIHAF to be expended for development of rental housing affordable to and occupied by households earning 30% or less of the AMI. If the Housing Successor fails to comply with the Extremely-Low Income requirement in any five-year report, then the Housing Successor must ensure that at least 50% of the funds remaining in the LMIHAF be expended in each fiscal year following the latest fiscal year following the report on households earning 30% or less of the AMI until the Housing Successor demonstrates compliance with the Extremely-Low Income requirement. This information is not required to be reported until 2019 for the 2014 – 2019 period.

All of the funds in the LMIHAF are committed under an enforceable obligation to the Hitzke Obligation, which will provide ten units of very low income housing. Because the Housing Successor receives minimal interest income, the extremely low-income test does not apply.

X. SENIOR HOUSING TEST. Neither the Housing Successor, the Former Agency nor the City provided funding to deed-restricted rental housing limited to seniors within the past 10 years.

XI. EXCESS SURPLUS TEST. Excess Surplus is defined in Section 34176.1(d) as an unencumbered amount in the account that exceeds the greater of one million dollars (\$1,000,000) or the aggregate amount deposited into the account during the Housing Successor's preceding four Fiscal Years, whichever is greater.

In the previous five fiscal years, a total of \$2,200 was deposited into the LMIHAF, in the form of interest payments. Therefore, the LMIHAF does not have an Excess Surplus.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: City Clerk's Office
SUBJECT: **Consideration of Resolution 2021-036 Destruction of Obsolete Records**

BACKGROUND:

Periodically, the City reviews its records to identify those available for official destruction. Destruction of records frees up storage space and helps Staff manage the large volume of records. Stockpiling vast amounts of public records increases the risk of misplacement and increases Staff management and time spent complying with subpoenas and records requests for documents that are no longer required to be retained. Therefore, the City conducts periodic destruction to manage its accumulation of records.

The maintenance and storage of records that are no longer required to be retained can be cumbersome due to inventory maintenance and add costs for offsite storage. It should be noted that records required and/or necessary to be retained by the City are kept for retention as needed. Destruction of approved records is important to lessen the storage needs produced by documents that are no longer needed.

This item is before Council to consider adoption of Resolution 2021-036 approving the official destruction of obsolete records.

DISCUSSION:

Destruction of records is permitted in accordance with state law and the City's Records Retention Schedule, which was adopted by Resolution 2000-34 and Resolution 2002-76. The City's Retention Schedule contains state law requirements as well as additional City retention provisions to outline retention periods for various government records.

Resolution 2021-036 (Attachment 1) contains the attached Lists of Records to be Destroyed (Exhibit A of Resolution 2021-036) itemizing the description of documents that are prepared for destruction. These documents are obsolete and may be destroyed

CITY COUNCIL ACTION:

in compliance with the City's adopted Retention Schedule as well as procedures outlined in the City's Records Management Manual including following all updated retention requirements of state regulations. After careful review of the records by the respective Department Staff, Department Heads, City Attorney and City Clerk/Custodian of Records, 11 boxes of obsolete records were carefully prepared and authorized for destruction.

CEQA COMPLIANCE: N/A

FISCAL IMPACT:

The City will save administrative and storage expenses by destroying records no longer needed. The cost of official destruction of these documents has been assessed as well as the Clerk Department's budget to accommodate this service.

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation.
- Do not approve Staff recommendation.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2021-036 authorizing the destruction of officially obsolete records.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-036

RESOLUTION 2021-036

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING DESTRUCTION OF CERTAIN OBSOLETE RECORDS

WHEREAS, the maintenance of numerous records is expensive, slows document retrieval, and is not necessary after a certain period of time, according to the Solana Beach Records Retention Schedule which adheres to various state codes and regulations; and

WHEREAS, the maintenance of these records does not provide for effective and efficient operation of the government of the City of Solana Beach; and

WHEREAS, Section 34090 of the Government Code of the State of California provides a procedure whereby any City record which has served its purpose and is no longer required may be officially destroyed; and

WHEREAS, the City Council adopted the Records Retention Schedule on June 6, 2000 and adopted a revised Records Retention Schedule on August 20, 2002; and

WHEREAS, the documents proposed for destruction were reviewed by the Department Directors and authorized for official destruction by the City Attorney and City Clerk/Custodian of Records, and are currently compliant with State Code retention requirements.

NOW, THEREFORE, the City Council of the City of Solana Beach, California does resolve as follows:

1. That the above recitations are true and correct.
2. That the records of the City of Solana Beach, as set forth in the attached Lists of Records to be Destroyed (Exhibit A) attached hereto and incorporated herein by this reference, and hereby authorized to be destroyed as provided by Section 34090 et seq. of the Government Code of the State of California and in accordance with the provision of the adopted Solana Beach Records Retention Schedule and upon the consent of the Department Heads, City Attorney, and City Clerk/Custodian of Records.
3. That the City Clerk shall certify to the passage and adoption of this resolution and enter it into the book of original resolutions.
4. That this resolution shall become effective immediately upon its passage and adoption.

PASSED AND ADOPTED this 24th day of March, 2021 at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers -
NOES: Councilmembers -
ABSTAIN: Councilmembers -
ABSENT: Councilmembers -

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

EXHIBIT A

RESOLUTION 2021-036

Lists of Records to be Officially Destroyed

11 Boxes

1	FY 2013 Cash Receipts, Direct Deposits, Cash Deposits July-October
2	FY 2013 Cash Receipts, Direct Deposits, Cash Deposits November-February
3	FY 2013 Cash Receipts, Direct Deposits, Cash Deposits March-June
4	FY 12/13 Purchase Orders
5	FY 12/13 AP Check Copies July-August 2012
6	FY 12/13 AP Check Copies September-October 2012
7	FY 12/13 AP Check Copies November-December 2012
8	FY 12/13 AP Check Copies January-February 2013
9	FY 12/13 AP Check Copies March-April 2013
10	FY 12/13 AP Check Copies May-June 2013
11	FY 12/13 AP Batch Approvals, Checklist Batches, Cash Requirements, Positive Pay Confirmations



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: City Manager's Department
SUBJECT: **Council Consideration of Resolution 2021-034 Authorizing the Mayor to Sign the National Wildlife Federation's Mayors' Monarch Pledge**

BACKGROUND:

The migration of monarch butterflies is an epic journey as they fly up to 3,000 miles from their summer homes in America's backyards and grasslands to wintering grounds in Mexico's mountain forests. But in recent years, the monarch butterfly populations have plummeted at an alarming rate. As recently as 1996, the monarch population wintering in Mexico was more than 1 billion, turning forests into seas of orange and black. Last year, the wintering population numbered only about 56 million, and gathered on fewer than three acres of forest—a decrease of more than 90 percent.

In response, the U.S. Fish and Wildlife Service, the National Wildlife Federation, and the cities of St. Louis, Missouri, and Austin, Texas, are asking all of the nation's mayors to take action by launching a nationwide "Mayors' Monarch Pledge." The hope is that working with mayors and local, state and national partners, it will be possible to restore and enhance habitat for monarchs right where people live, work, learn and play.

This item is before the City Council to consider approving Resolution 2021-034 (Attachment 1) authorizing the Mayor to sign the National Wildlife Federation's Mayor's Monarch Pledge.

DISCUSSION:

Monarch butterflies, as well as other butterfly species, bees, birds and bats, help move pollen from one plant to another, fertilizing flowers and making it possible for plants to produce food needed to feed people and wildlife. More than a third of the food that we

COUNCIL ACTION:

eat requires pollinators to grow. Yet many of these pollinators are declining in number, with habitat loss, pesticides and climate change all contributing to this decline. Cities can play a critical role to help the monarch butterfly by providing monarch habitat at public parks, median strips and municipal buildings.

The Mayor's Monarch pledge (Attachment 2) contains a list of actions a city could take to restore monarch habitat. By signing the pledge, the City commits to take at least three (3) actions per year from the Action Items list and report on those actions at the end of the year. At least one (1) action must be taken from the "Program & Demonstration Gardens" section. The SeaWeeders, a local gardening volunteer group, has expressed an interest in supporting projects listed in the pledge in coordination with the City's Climate Action Commission. Some ideas include planting monarch-friendly habitats on pockets of City property as approved by the City. They also suggested they could hold an event at which they would give away native milkweed plants with information (QR codes stickers for each planting container) on planting milkweed and attracting monarchs. In addition, the local schools could be involved by planting monarch gardens on their campuses if they have not done so already.

By signing the pledge, municipalities and other communities are committing to create habitat for the monarch butterfly and pollinators, and to educate residents about how they can make a difference at home and in their community. Locally, the Mayors from the cities of Encinitas, Escondido and San Diego have signed the pledge.

CEQA COMPLIANCE STATEMENT:

N/A

FISCAL IMPACT:

No fiscal impact as a result of the Mayor signing the Monarch Pledge, but costs could be incurred when considering planting projects and will be considered at that time.

WORKPLAN:

N/A

OPTIONS:

- Approve Staff recommendation.
- Adopt Staff recommendation with revision
- Provide further direction to Staff

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2021-034 authorizing the Mayor to Sign the National Wildlife Federation's Mayors' Monarch Pledge.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-034
2. Mayor's Monarch Pledge

RESOLUTION 2021-034

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE MAYOR TO SIGN THE NATIONAL WILDLIFE FEDERATION'S MAYORS' MONARCH PLEDGE

WHEREAS, the monarch butterfly is an iconic North American species whose multigenerational migration and metamorphosis from caterpillar to butterfly has captured the imagination of millions of Americans; and

WHEREAS, 20 years ago, more than one billion Eastern monarch butterflies migrated to Mexico, but in the winter of 2014, only 60 million made the trip; and

WHEREAS, cities, towns and counties have a critical role to play to help save the monarch butterfly; and

WHEREAS, every citizen of Solana Beach can make a difference for the monarch by planting native milkweed and nectar plants to provide habitat for the monarch and pollinators in locations where people live, work, learn, and play.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the Mayor is authorized to sign the Mayors Monarch Pledge.

PASSED AND ADOPTED this 24th day of March, 2021, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



**MAYORS
MONARCH
PLEDGE**

Mayors' Monarch Pledge Survey

Open Pledge Period: December 1 – March 31

Thanks for your interest in taking the National Wildlife Federation Mayors' Monarch Pledge this year. Only mayors and heads of local and tribal government (or their staff designees) may fill out this pledge form. Please note: the survey will not save and will need to be completed in one sitting.

Information from this form will be used to create a public community profile page to showcase your mayor's progress and efforts in the program.

Please be sure to read the pledge language and FAQ before taking the pledge. If you have any questions, you can email us at mayorsmonarchpledge@nwf.org.

Mayor's Basic Information

If you are not a "mayor," or the head of local or tribal government, please enter your name and appropriate title here.

Title

First Name

Last Name

Email Address

Community Name

*If your community doesn't have an official name, consider using the following formats:
Town of Herndon, City of Fairfax, etc.*

City

State

Mayor's Mailing Address

Address Line 1

Address Line 2

City

State

Zip Code

Staff Point of Contact Information

Please provide your professional title in the space below.

Please note that the Staff Point of Contact you entered below will be the default user for your community profile. Please make sure you enter a valid email address.

Title

First Name

Last Name

Email

Note: This email address is your log in account.

Phone Number

Pledge Summary

Please type a description of your community, your community's efforts and/or interest in committing to monarch and pollinator conservation. This information will populate on your community's profile page, but can be updated and edited after this survey is submitted. See below for a sample description.

Example Description: Exampleville is a city in central Virginia with a population of roughly 50,000. The city is nestled in the Green Ridge Mountains and is home to the beautiful Exampleville Regional Park and many community gardens. Mayor Smith of Exampleville, VA has committed to saving the monarch butterfly and other pollinators with their signing of the Mayors' Monarch Pledge and looks forward to engaging residents in building more pollinator habitat throughout the city.

Action Item Selections

Each year, you must commit to at least 3 Action Items from this list which you will report on at the end of the year. At least 1 action must be taken from the “Program & Demonstration Gardens” section.

Communications and Convening

- Issue a Proclamation to raise awareness about the decline of the monarch butterfly and the species’ need for habitat.

Example Activities:

1. *Issue a Monarch Day Pledge*
2. *Incorporate monarchs into your Earth Day, Pollinator Week or other proclamation*

- Launch or maintain a public communication effort to encourage residents to plant monarch gardens at their homes or in their neighborhoods. (If you have community members who speak a language other than English, we encourage you to also communicate in that language; Champion Pledges must communicate in that language.)
- Engage with community garden groups and urge them to plant native milkweeds and nectar-producing plants.
- Engage with city parks and recreation, public works, sustainability, and other relevant staff to identify opportunities to revise and maintain mowing programs and milkweed / native nectar plant planting programs.
- Engage with gardening leaders and partners (e.g., Master Naturalists, Master Gardeners, Nature Centers, Native Plant Society Chapters) to support monarch butterfly conservation.

Example Activities:

1. *Develop community gardens with local gardening leaders*
2. *Host programming and other activities with Nature Centers*
3. *Coordinate and collaborate with local gardening groups at schools, colleges, and universities*

- Engage with Homeowners Associations (HOAs), Community Associations or neighborhood organizations to identify opportunities to plant monarch gardens and revise maintenance and mowing programs.
- Engage with developers, planners, and landscape architects to identify opportunities to create monarch habitat.

- Create a community-driven educational conservation strategy that focuses on and benefits local, underserved residents.

Example Activities:

1. *Conduct outreach and support habitat / green space improvements in underserved communities.*
2. *Develop brochures in different languages*

- Create a community art project to enhance and promote monarch and pollinator conservation as well as cultural awareness and recognition.

Example Activities:

1. *Host photo contests*
2. *Commission murals*
3. *Create and show films and documentaries*
4. *Support public art installations*
5. *Collaborate with local artists, including school, college, and university art departments to create community-wide art*

Program and Demonstration Gardens

- Host or support a native seed or plant sale, giveaway or swap.
- Facilitate or support a milkweed seed collection and propagation effort.
- Plant or maintain a monarch and pollinator-friendly demonstration garden at City Hall or another prominent community location.
- Convert abandoned lots to monarch habitat.
- Plant milkweed and pollinator-friendly native nectar plants in medians and public rights-of-way.
- Launch or maintain an outdoor education program in school gardens that builds awareness and creates habitat by engaging students, teachers, and the community in planting native milkweed and pollinator-friendly native nectar plants (i.e., National Wildlife Federation's Eco-Schools USA Schoolyard Habitats program and Monarch Mission curriculum).

Example Activities:

1. [Eco-Schools USA Schoolyard Habitats](#)
2. [PK-12 Monarch Mission Curriculum](#) (English and Spanish)
3. [National Wildlife Federation Campus Pollinator Pledge](#)

- Earn or maintain recognition for being a wildlife-friendly city by participating in other wildlife and habitat conservation efforts (i.e., National Wildlife Federation's Community Wildlife Habitat program).

Example Activities:

1. Join the [Community Wildlife Habitat](#)

- Host or support a monarch neighborhood challenge to engage neighborhoods and homeowners' associations within the community to increase awareness and/or create habitat for the monarch butterfly.

Example Activities:

1. Host photo challenges
2. Create property certification challenges
3. Collaborate with schools, universities, and colleges to host joint awareness and habitat creation challenges

- Initiate or support community science (or citizen science) efforts that help monitor monarch migration and health.

Example Activities:

1. [Citizen Science Opportunities](#) (Monarch Joint Venture)
2. NWF's Monarch Stewards Program Certification
3. Engage with local colleges and universities science departments to host community-wide opportunities

- Add or maintain native milkweed and nectar producing plants in public community gardens.

- Launch, expand, or continue an invasive species removal program that will support the re-establishment of native habitats for monarch butterflies and other pollinators.

- Host or support a city monarch butterfly festival to promote monarch and pollinator conservation, as well as cultural awareness and recognition

- Display educational signage at monarch gardens and pollinator habitat beyond monarch demonstration gardens.

Example Activities:

1. [Neighborhood Garden Signs \(Victory Garden of Tomorrow\)](#)
2. Create plant labels or interpretive language for community gardens, parks, prairie habitat, rights-of-way, etc.

Systems Change

Please select the actions that you will begin to work on this year, are in progress, or have already been completed.

- Remove milkweed from the list of noxious plants in city weed / landscaping ordinances (if applicable).
- Change weed or mowing ordinances to allow for native prairie and plant habitats.
- Increase the percentage of native plants, shrubs and trees that must be used in city landscaping ordinances and encourage use of milkweed, where appropriate.
- Direct city property managers to consider the use of native milkweed and nectar plants at city properties, where appropriate.
- Integrate monarch butterfly conservation into the city's Park Master Plan, Sustainability Plan, Climate Resiliency Plan or other city plans.
- Change ordinances so pesticide, herbicide, insecticide or other chemicals used in the community are not harmful to pollinators.

Example Activities:

1. *Work with local school districts to eliminate or minimize the use of pesticides, herbicides, and insecticides on school properties*
2. *Adopt Integrated Pest Management (IPM) practices*

- Adopt ordinances that support reducing light pollution.
- California Specific: Pass a resolution to protect over-wintering monarch butterfly habitat on public and private lands.

Questions or Comments

Do you have any questions or comments?



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: City Manager's Department
SUBJECT: **Consideration of Resolution 2021-035 Approving a Modification to the City's Temporary Public Arts Program Artist Compensation**

BACKGROUND:

On October 8, 2008, the City Council approved the initiation of the Temporary Public Arts Program. Immediately after approval, three (3) sites had concrete art bases installed, with the intent to start slow and build the program over time. Since 2008, the City Council has approved various modifications to the program that helped the program adapt and grow into a successful public art program.

On July 12, 2017, the City Council approved modifications to the Temporary Public Arts Program which included the addition of three (3) more approved locations to the program. With the success of those locations, the City Council approved the addition of one (1) more location on May 9, 2018. Then, on October 14, 2020, due to positive community response to the temporary art piece at the El Viento pocket park, the City Council approved the purchase of *Fleur de Lumiere* as a permanent art piece to be added to the City's collection, therefore, removing that location as a temporary art location. With the modifications, the current six (6) approved sites for the Temporary Public Arts Program are:

1. Lomas Santa Fe median across from Chase Bank
2. Intersection of San Andreas and Las Banderas (south side adjacent to slope)
3. Cliff Street Bridge (at intersection of N. Cedros and Cliff Street)
4. Southwest corner of the four-way stop intersection on San Rodolfo Drive (first driveway heading east from Steven's Avenue to Lomas Santa Fe Drive)
5. Tide Park Beach access entrance on Pacific Avenue and Solana Vista Drive
6. Seascape Sur beach access entrance off South Sierra Avenue

CITY COUNCIL ACTION:

Due to the success of the current Temporary Public Arts Program, the Public Arts Commission (PAC) is requesting that the City Council consider modifying the artist's compensation from \$500 to \$1,500 per one-year installation to increase the quality of submissions and further grow the program's success. This item is before the City Council to consider Resolution 2021-035 (Attachment 1) approving a modification to the Temporary Public Arts Program artist compensation from \$500 to \$1,500 for a one-year loan.

DISCUSSION:

At the January 26, 2021 PAC meeting, the PAC's Temporary Public Arts Subcommittee presented the draft 2021 Call to Artists to the Commission. After the presentation, the PAC discussed increasing the artist's compensation from \$500 for a one-year loan, which hasn't been modified since the start of the program in 2008, to \$1,500. As previously mentioned in this Staff Report, the current program has proven to be a success and the PAC believes it is time to consider adjusting the program's compensation to be more desirable and competitive with other cities' temporary arts programs. The PAC unanimously voted to recommend that the City Council modify the Temporary Public Arts Program artist compensation from \$500 to \$1,500. As a reminder, the compensation includes the installation and de-installation of the art pieces by the artists.

Many cities in San Diego County have raised their artist compensation for their public art programs. The City of Vista and the City of Carlsbad have a compensation of \$2,500 for a one-year loan of an art piece under their programs.

Public Arts Reserve and Funding

As stated in the Master Arts Policy (MAP), in order to sustain annual funding for the Public Art Programs, the City has implemented a combination of funding options that enables the City to coordinate a consistent and enriching public art program. The primary funding sources, as described below, are allocated to the City's Public Art Account Reserve to cover short-term and long-term capital, operations, and maintenance costs. These funds can only be used in accordance with the MAP.

1. **Transient Occupancy Tax** – In 2006, Solana Beach voters approved an increase in the Transient Occupancy Tax (TOT), the tax that is charged for hotel and motel room nights, which increased TOT by one percent per year to a maximum of 13% starting January 1, 2007. One third of the increase, up to a maximum one percent, is collected in a fund entitled Coastal Area Business/Visitor Assistance and Enhancement Fund (CABVAE Fund). Annually, 30% of the revenues from the CABVAE Fund are designated to support public art in Solana Beach. Another 20% of the revenues from the CABVAE Fund are allocated for communications and outreach efforts to support cultural tourism and marketing in the City.

2. **Public Art Fee - One-half Percent (0.5%)** – A Public Art Fee program for development of public art in accordance with the MAP, sets aside one-half percent (0.5%) of the total construction budget of covered private development projects initiated in the City of Solana Beach. This fee can be paid into the City-controlled Public Art Account Reserve or be used by the developer to incorporate or purchase City-approved public art for their project.

a. **Covered Private Development Projects** - The Public Art Fee, equivalent to 0.5% of the total building permit valuation, shall be applied to all covered private development projects as described below. Total building valuation is computed by using the latest Building Valuation Data as set forth by the International Conference of Building Officials (ICBO) and applied by the City's Building Services Division. This fee must be paid at the start of the project and will be placed in the Reserve Public Art Account. The following types of private development projects will be required to pay the Public Art Fee:

- i. Commercial and Industrial Development Projects with a building permit valuation of \$500,000 or more. This includes all new construction and all remodels/reconstruction projects.
- ii. Residential Projects with a building permit valuation of \$500,000 or more and five (5) or more dwelling units. Single-family residential projects of four (4) dwelling units or less are exempt from the Public Art Fee regardless of building permit valuation.

As a result of these funding sources, as of December 2020 there is a total of \$176,753 in the Public Art Account Reserve, with \$26,857 in the General Fund and \$149,896 in the Transient Occupancy Tax (TOT) - Coastal/Visitors Fund. Should Council support increasing the artist compensation, given that there are six (6) temporary art locations in the City, the impact to the Public Arts Reserve would be a maximum of \$9,000 every year. Currently, the City budgets \$3,000 in the annual budget for artist compensation for the temporary art program. In recent years, the City has received as high as \$46,000 and as low as \$33,000 per year in Public Arts TOT revenue.

CEQA COMPLIANCE:

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 - New construction or conversion of small structures.

FISCAL IMPACT:

The MAP established the Public Art Account Reserve "to be used to provide Solana Beach a rich artistic environment" and it designates that the City can use the Reserve Public Art Account funds for public art installations and maintenance. The cost of

increasing the artist compensation would be \$6,000 per year. If authorized by Council, the program will be funded with the City's Public Art Account Reserve. As of December 2020, there is a total of \$176,753 in the Public Art Account Reserve, with \$26,857 in the General Fund and \$149,896 in the Transient Occupancy Tax (TOT) - Coastal/Visitors Fund. As noted above, over the years, this Fund has received between \$33,000 and \$46,000 in annual TOT revenue.

WORK PLAN:

N/A

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modification.
- Deny Staff recommendation and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2021-035 authorizing a modification to the Temporary Public Arts Program artist compensation from \$500 to \$1,500 for a one-year loan.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-035

RESOLUTION 2021-035

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A MODIFICATION TO THE CITY'S TEMPORARY PUBLIC ARTS PROGRAM ARTIST COMPENSATION

WHEREAS, the residents of the City of Solana Beach have expressed a desire to further enhance the identity of their City as an artistic community; and

WHEREAS, on October 8, 2008, the City Council approved five (5) sites to initiate the Temporary Public Arts Program, with the intent to start slow and build the program over time; and

WHEREAS, on July 12, 2017, City Council approved modifications to the Temporary Public Arts Program, which included the removal of two (2) previously approved locations and the addition of three (3) more locations to the program; and

WHEREAS, on October 14, 2020, the City Council approved the purchase of *Fleur de Lumiere* as a permanent art piece to be added to the City's collection, therefore, removing El Viento pocket park as a temporary art location; and

WHEREAS, the artist's compensation of \$500 for a one-year loan hasn't been modified since the start of the program in 2008; and

WHEREAS, the Master Art Policy (MAP) established the Reserve Public Art Account "to be used to provide Solana Beach a rich artistic environment" and designates that the City can use the Reserve Public Art Account funds for public art installations and maintenance.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.

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2. That the Council approves modifying the Temporary Public Arts Program artist compensation from \$500 to \$1,500 for a one-year loan.

PASSED AND ADOPTED this 24th day of March, 2021 at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers -
NOES: Councilmembers -
ABSTAIN: Councilmembers -
ABSENT: Councilmembers -

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: City Manager's Department
SUBJECT: **Council Consideration of Resolution 2021-039
Approving a Long-term Renewable Power Purchase
Agreement with Shell Energy**

BACKGROUND:

The Clean Energy and Pollution Reduction Act of 2015 (SB 350) put into law the requirement to serve 50% of the State's electricity use with renewable resources by 2030. SB 350 sets additional multi-year compliance periods between 2021 and 2030, with three-year compliance periods continuing indefinitely thereafter. SB 350 also continues portfolio content category procurement requirements and further encourages long-term development of renewable technologies by requiring long-term contracts to comprise at least 65% of a retail seller's procurement beginning in the Compliance Period 4 (CP4). This compliance period runs from January 1, 2021 through December 31, 2024. A long-term agreement must be for a term of at least 10 years.

Consistent with City Council direction, the Solana Energy Alliance (SEA) will continue meeting its commitment to supply SEA Choice customers with a power supply sourced from 50% renewable and 75% carbon free sources until customers transition to Clean Energy Alliance (CEA) in May 2021. However, SB 350 adds a unique challenge in that a portion of the renewable energy SEA procures in 2021 will need to be purchased under a long-term agreement. At present, SEA does not have a long-term agreement satisfying the SB 350 requirement.

SEA's long-term purchase requirement in 2021 is shown in the following table:

Item	MWh	Comment
Retail Sales	20,950	Forecast for 1/1/21 – 5/31/21
CA RPS Requirement	7,500	35.8% of retail sales
In-state RPS Procurement ("PCC1")	5,625	75% of CA RPS Requirement
SB 350 LT Requirement	4,875	65% of CA RPS Requirement

Before considering voluntary over-procurement, SEA forecasts that it will need to procure 7,500 MWh of renewable energy in 2021 of which 4,875 MWh will need to be procured under a long-term contract. SEA is proposing to purchase 6,000 MWh of renewable energy under a long-term agreement. The recommended higher purchase

COUNCIL ACTION:

amount provides a contingency against higher than expected retail sales, while also satisfying the additional requirement that at least 75% of state mandated renewable energy purchases be sourced from in-state (Portfolio Content Category 1 or PCC1) renewable generation. Potential sellers of short-term PCC1 energy are unlikely to have interest in selling the very small amount that SEA could theoretically procure under a short-term agreement.

This item is before City Council to consider approving Resolution 2020–039 (Attachment 1) authorizing the City Manager to execute a long-term power purchase agreement (Attachment 2) with Shell Energy to satisfy SEA’s long-term procurement obligation under SB 350. At the time of writing this Staff Report, the agreement is unavailable. It will be submitted as a Blue Folder when available.

DISCUSSION:

For the past several months, The Energy Authority (TEA) has been exploring with CEA and potential sellers of long-term renewable energy different alternatives for meeting SEA’s long-term purchase requirements. TEA has pursued direct, bilateral discussions with possible sellers given the need to explain and discuss SEA’s unique requirements, which are summarized below:

- The 6,000 MWh of renewable energy that SEA requires is very small. Most suppliers want to sell at least 50,000 – 100,000 MWh per year.
- Normal seller obligations governing the timing of renewable energy deliveries does not work in SEA’s situation. SEA must take delivery of the full 6,000 MWh of renewable energy while it is serving customers (i.e., no later than May 2021). Conversely, renewable energy agreements commonly provide the seller with either flexibility to set the timing of energy deliveries (particularly in short-term agreements where supply is sourced from a pool of pre-defined resources) or deliveries are unit contingent and linked to the actual generation of a specific generator(s).

Additionally, proposals being submitted by generators in response to most (if not all) recent Request for Offers issued by CCAs and other Load Serving Entities propose to supply renewable energy beginning in late-2022 or early-2023.

- Finally, a seller of long-term renewable energy to SEA must be willing to consider non-traditional credit provisions due to the fact that SEA will serve customers (and realize a revenue stream) during only the first 5 months of the agreement.

After conversations with multiple entities, SEA has reached agreement with Shell Energy North America on a long-term agreement that will meet SEA’s long-term contract requirements. Key commercial terms of the agreement are summarized as follows:

- Term: 14-years (2021-2034)
- Volume: 6,000 MWh per year, with delivered 2021 volumes by April 30th
- Price: SP15 Trading Hub Index plus \$14.50/MWh
- Credit: SEA to pre-pay for 2021 renewable energy
Automatic assignment to CEA following delivery of 2021 volumes

One additional commercial component of the agreement that has potential compliance implications for SEA – and which was anticipated at the start of negotiations – is the use of “bridge renewable energy credits” during the 2021-24 period. Under the terms of the agreement, Shell will deliver 6,000 MWh, annually, of PCC1 renewable energy from its renewable portfolio during the 2021-24 period. During the period 2025-34, PCC1 renewable energy will be delivered from a specific generating asset.

Renewable energy supply during the bridge period is expected to count toward SEA’s compliance need for long-term renewable energy, as it is contemplated and delivered as part of this long-term agreement. However, while this contract structure has been discussed with CPUC staff – and is the strategy that a number of CCAs are using to meet compliance during CP4 – it has not yet been officially approved by the California Public Utility Commission (CPUC) and likely will not be formally approved until after SEA winds down operations. TEA and SEA legal counsel will continue to discuss this procurement approach with CPUC staff as part of reporting provided to the CPUC on SEA’s efforts to meet its CP4 compliance obligations.

Concurrent with SEA’s purchase from Shell, CEA is purchasing 44,000 MWh per year during the 2025-34 period. CEA’s purchase is a requirement of Shell in entering into an agreement with SEA.

CEQA COMPLIANCE STATEMENT:

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a “project” under Section 15378(b)(5) of CEQA Guidelines.

FISCAL IMPACT:

Revenues generated by SEA rates will cover the costs of the long-term agreement in 2021. The agreement will be assigned to CEA in subsequent years.

WORK PLAN:

Environmental Sustainability – Policy Development – Implement Solana Energy Alliance

OPTIONS:

- Approve Staff recommendations

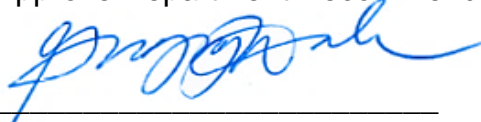
- Do not approve Staff recommendations
- Provide alternative direction to Staff

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council approve Resolution 2021-039 authorizing the City Manager to execute a long-term power purchase agreement, in a form approved by the City Attorney, with Shell Energy to satisfy SEA's long-term procurement obligation under SB 350.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-039
2. Shell Long Term Agreement (To be inserted as a Blue Folder item at a later date)

RESOLUTION 2021-039

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE A LONG-TERM POWER PURCHASE AGREEMENT WITH SHELL ENERGY TO SATISFY SEA'S LONG-TERM PROCUREMENT OBLIGATION UNDER SB 350

WHEREAS, the Clean Energy and Pollution Reduction Act of 2015 (SB 350) put into law the requirement to serve 50% of the State's electricity use with renewable resources by 2030; and

WHEREAS, SB 350 sets additional multi-year compliance periods between 2021 and 2030, with three-year compliance periods continuing indefinitely thereafter; and

WHEREAS, consistent with City Council direction, the Solana Energy Alliance (SEA) will continue meeting its commitment to supply SEA Choice customers with a power supply sourced from 50% renewable and 75% carbon free sources until customers transition to Clean Energy Alliance (CEA) in May 2021; and

WHEREAS, SEA has reached agreement with Shell Energy North America on a long-term agreement that will meet SEA's long-term contract requirements.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.

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2. That the Council authorizes the City Manager to execute a long-term power purchase agreement, in a form approved by the City Attorney, with Shell Energy to satisfy SEA's long-term procurement obligation under SB350.

PASSED AND ADOPTED this 24th day of March, 2021 at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers -
NOES: Councilmembers -
ABSTAIN: Councilmembers -
ABSENT: Councilmembers -

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for DRP and SDP to Demolish a Single-Family Residence, Construct a Replacement Two-Story Single-Family Residence with an Attached Garage and Carport, and Perform Associated Site Improvements at 537 North Granados Avenue (Case #: DRP20-005/SDP20-009 Applicants: Ronald and Jo Gladnick; APN: 298-082-14; Resolution No. 2021-033)**

BACKGROUND:

The Applicants, Ronald and Jo Gladnick, are requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish an existing single-family residence, construct a replacement two-story, single-family residence with an attached garage and carport, and perform associated site improvements at 537 North Granados Avenue. The 12,435 square-foot lot is located within the Low Residential (LR) Zone and the Scaled Residential Overlay Zone (SROZ).

The project proposes a main level living area of 2,597 square feet, a lower level living area of 1,396 square feet with an attached lower level garage of 533 square feet, and grading in the amounts of 345 yd³ of cut, 340 yd³ of fill, 11 yd³ cut for footings, 16 yd³ of export, and 74 yd³ for removal and recompaction. The tallest point of the proposed residence would be 24.0 feet above the proposed (lowered) grade and the highest point of the structure at 171.33 feet above Mean Sea Level (MSL). The project requires a DRP for 1) an aggregate grading quantity in excess of 100 cubic yards, 2) a structure that exceeds 60 percent of the maximum allowable floor area, and 3) a second floor that exceeds 35% of the square footage of the first floor.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2021-033 (Attachment 1).

CITY COUNCIL ACTION:

DISCUSSION:

The subject property is located on the west side of North Granados Avenue, two properties south of the intersection of North Granados Avenue and Lynwood Avenue. The lot is rectangular with 61.5 feet of frontage along North Granados Avenue and a lot depth of approximately 200 feet.

The existing topography slopes down from the North Granados Avenue right-of-way to the rear (western) property line with an approximate 28-foot change in elevation. There are existing retaining walls and a hardscape stairway in the northern side of the front yard supporting the approximate 5.5-foot change in elevation from the street to the main entrance to the existing residence. A sloping asphalt driveway exists on the southern side of the property accessing a garage. The driveway continues along the south side of the residence to additional parking on the west side of the residence with an additional 8.5-foot change in elevation. The rear (western) portion of the lot slopes down approximately 14 feet from the parking area to the rear property line and consists of a garden. Two tiered retaining walls exist along the rear (west) property line, which were constructed after the City's incorporation.

The Applicants propose to demolish all existing improvements, relocate the driveway to the northern side of the lot, and construct a replacement two-story residence located in the eastern two-thirds of the buildable area of the lot. The finished floor of the upper (or main) level of the residence would be approximately 9 inches lower than that of the existing residence. The proposal includes excavation to construct the lower level of the residence, which would daylight to the west. Additional yard improvements are proposed in the west end of the property including outdoor patios, shade structures, outdoor kitchen and pool/spa as well as retaining walls, fencing, hardscape, drainage, and landscape throughout the property. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicants' proposed design.

Table 1	
LOT INFORMATION	
Property Address:	537 N. Granados
Lot Size (Net):	12,435 ft ²
Max. Allowable Floor area:	4,126 ft ²
Proposed Floor area:	4,126 ft ²
Below Max. Floor area by:	0 ft ²
Max. Allowable Height:	25.0 ft.
Max. Proposed Height:	24.0 ft.
Highest Point/Ridge:	171.33 MSL
Zoning Designation:	LR (3 du/ac)
# of Units Allowed:	1 SFR, 1 ADU, 1 JADU
# of Units Requested:	1 SFR, 1 ADU
Setbacks:	Required Proposed
	Front (E) 25 ft. 25.0 ft.
	Interior Side (N) 10 ft. 10.0 ft.
	Interior Side (S) 10 ft. 10.2 ft.
	Rear (W) 25 ft. 50.0 ft.
PROPOSED PROJECT INFORMATION	
Floor area Breakdown:	Requested Permits:
Upper (Main) Level Living Area 2,597 ft ²	DRP: A DRP is required for:
Lower Level Living Area 1,396 ft ²	1) grading in excess of 100 cubic yards (aggregate);
Lower Level Attached Garage 533 ft ²	2) a structure that exceeds 60% of the maximum allowable floor area; and
Subtotal 4,526 ft ²	3) a second floor that exceeds 35% of the floor area of the first floor.
Off-Street Parking Exemption - 400 ft ²	SDP: required for construction in excess of 16 above the existing grade.
Total Floor Area 4,126 ft²	
Proposed Grading: 345 yd ³ of cut, 340 yd ³ of fill, 11 yd ³ cut for footings, 16 yd ³ of export, and 74 yd ³ for removal and recompaction	
Proposed Parking: 2-Car Garage 1-Car Carport	Existing Development:
Proposed Fences and Walls: Yes	Single-Family Residence with attached garage to be demolished
Proposed Accessory Dwelling Unit: Yes, however it is not subject to discretionary review.	
Proposed Accessory Structure: Yes	

Staff has prepared draft findings for approval of the project in the attached Resolution 2021-033 for Council’s consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2021-033.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required for the following reasons: 1) grading in excess of 100 cubic yards (aggregate); 2) a structure that exceeds 60% of the maximum allowable floor area; and 3) a second floor that exceeds 35% of the floor area of the main floor.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2021-033 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the LR Zone. Properties located on the west side of North Granados Avenue as well as those to the west along Barbara Avenue are also located within the LR Zone. Properties located on the east side of North Granados Avenue are located in the Low-Medium Residential (LMR) Zone. The surrounding properties are developed with one and two-story, single-family residences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of 3 dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages

the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further later in this report. As a condition of project approval, the Applicants would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

Building and Structure Placement:

The Applicants are proposing to construct a replacement two-story single-family residence that would appear as a single-story residence from the street and include a daylighting lower level living area with an attached garage and carport on the lower level. The replacement residence, as designed, would be located within the buildable area.

The existing driveway would be relocated to the northern side of the property and descend between the proposed residence and northern property line accessing the proposed two-car garage and attached single carport located on the west side of the proposed lower level of the residence in the center of the lot. A sliding driveway gate would be constructed behind the front-yard setback. The pedestrian access to the residence would be relocated to the southern side of the property and would include a descending hardscape walkway from the street to the south side of the upper (main) level of the residence. The entry walkway would be bordered by a water feature located in the side yard setback. A trash and recycling enclosure would be located on the east side of the residence adjacent to the driveway and screened by fencing.

The Applicants are proposing a 2,597 square-foot upper (main) level living area that would include the primary suite, a second bedroom with private bathroom, a laundry room, powder room, and living room. The upper level would step down 10 inches to the kitchen and dining room and would open to a partially covered deck on the west side of the residence. The primary suite would also have deck access and an exterior stairway would provide access from the deck to the lower level outdoor areas. A staircase and elevator would provide interior access from the upper to the lower level of the residence. The 1,396 square-foot lower level of the residence would be partially built into the existing grade though the design would not meet the qualifications of a basement pursuant to the SROZ. The lower level would include a bedroom with a private bathroom, a second bedroom, bathroom, sauna, office, and family room. The family room would have access to the attached two-car garage and carport. Exterior access to the lower yard would be available from the family room, office and one of the bedrooms.

The grade would step down approximately 4 feet from the lower level of the residence to the yard improvements, which would include landscape and hardscape areas, an outdoor kitchen, covered patio, seating areas, and a pool. The Applicants are also proposing a detached single-story Accessory Dwelling Unit (ADU) of 693 square feet located in the

lower yard and partially within the rear yard setback. It should be noted that the attached ADU is not subject to discretionary review, pursuant to SBMC Section 17.20.040(D). The surrounding yard improvements, however, would be accessible by the tenants of both the ADU and primary residence and, therefore, are subject to the discretionary review.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The project includes a single-family residence with a two-car garage and a single carport, therefore, the project is afforded a 400 square-foot exemption for the two garage spaces. The total proposed floor area would be 4,126 square feet, which is the exact maximum allowable floor area for the 12,435 square-foot lot, pursuant to the SROZ regulations.

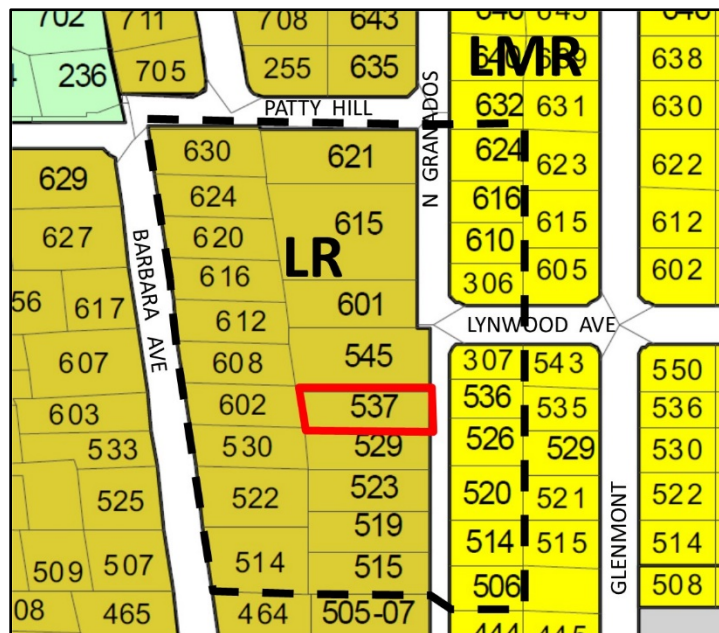
The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,001 to 15,000 ft ²	1,126 ft ²
Total Allowable Floor area:	4,126 ft²

The proposed project, as designed, meets the minimum required setbacks, meets the minimum required off-street parking, and is at the maximum allowable floor area for the property.

Neighborhood Comparison:

Staff compared the proposed project to 28 other properties within the surrounding area. This area includes properties along both sides of North Granados Avenue and the east side of Barbara Avenue south of the intersections with Patty Hill Drive, as shown on the following map:



The properties evaluated in this comparison are located in the LR Zone. The existing homes range in size from 877 square feet to 5,137 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garages, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garages, the covered porch, and ceiling height over 15 feet as follows:

Project Gross Building Area:	4,526 ft ²
Delete Garage:	- 533 ft ²
Project Area for Comparison to Assessor's Data:	3,993 ft ²

#	Property Address	Lot Size in ft ² (SanGis)	Existing ft ² (Assessor)	Proposed / Recently Approved ft ²	Max. Allowable ft ²	Zone
1	621 N Granados Ave	21,100	4,088		5,185	LR
2	615 N Granados Ave	32,670	3,261		6,342	LR
3	601 N Granados Ave	15,800	--		4,715	LR
4	545 N Granados Ave	20,400	5,137		5,115	LR
5	537 N Granados Ave	12,435	2,074	3,993	4,126	LR
6	529 N Granados Ave	11,200	3,891		3,910	LR
7	523 N Granados Ave	11,400	2,130		3,945	LR
8	519 N Granados Ave	12,200	2,631		4,085	LR
9	515 N Granados Ave	12,400	3,753		4,120	LR
10	624 N Granados Ave	8,900	3,247		3,508	LMR
11	616 N Granados Ave	7,800	958		3,315	LMR
12	610 N Granados Ave	7,800	3,036		3,315	LMR
13	306 Lynwood Ave	7,600	2,196		3,280	LMR
14	307 Lynwood Ave	7,100	1,793		3,193	LMR
15	536 N Granados Ave	7,200	1,492		3,210	LMR
16	526 N Granados Ave	9,000	1,903		3,525	LMR
17	520 N Granados Ave	10,200	2,916		3,735	LMR
18	514 N Granados Ave	8,400	2,430		3,420	LMR
19	506 N Granados Ave	8,400	2,435		3,420	LMR
20	630 Barbara Ave	13,500	4,102		4,313	LR
21	624 Barbara Ave	11,000	3,538		3,875	LR
22	620 Barbara Ave	11,000	877		3,875	LR
23	616 Barbara Ave	11,000	2,609		3,875	LR
24	612 Barbara Ave	11,200	2,685		3,910	LR
25	608 Barbara Ave	11,200	1,405		3,910	LR
26	602 Barbara Ave	11,200	1,483		3,910	LR
27	530 Barbara Ave	11,800	4,313		4,015	LR
28	522 Barbara Ave	15,300	2,326		4,628	LR
29	514 Barbara Ave	15,300	3,923		4,628	LR

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

A combination of retaining walls and horizontal panel fences are proposed along the north and south property lines in order to support the change in topography between the neighboring properties and provide privacy and pool safety fencing. Additional retaining walls would run north to south through the property to support the change in elevation from the street to the main entry, from the garage/carport to the lower yard area, and from the lower yard area to the rear property line and adjacent property. Additional retaining walls are proposed within the structure to support the lower level, which would be partially built into the existing grade. The proposed walls and fences, as designed, comply with the maximum building heights for walls and fences as measured from the existing grade.

Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants propose to relocate the driveway to the north side of the property and access a two-car garage and single carport located in the center of the lot at the lower level of the proposed residence. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will

accommodate the two required off-street parking spaces, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

Grading:

The project includes grading in the amount 345 yd³ of cut, 340 yd³ of fill, 11 yd³ cut for footings, 16 yd³ of export, and 74 yd³ for removal and recompaction. Excavation is proposed in order to create the driveway along the north property line and build the lower level of the residence partially into the existing grade. The project includes fill on the south side of the property to raise the grade of a portion of the existing driveway to accommodate the pedestrian entrance to the upper level of the residence. Additional fill is proposed to create a flat usable yard area in the lower yard area for outdoor improvements including a covered patio and outdoor kitchen.

Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Usable Open Space:

The project consists of the construction of a replacement two-story, single-family residence with an attached garage and carport on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicants will be required to pay the applicable Park Development Fee.

Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicants were required to complete the SDP process. The Applicants had story poles installed onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on November 7, 2020, which showed the highest story pole certified at 171.33 MSL and 24.0 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on February 11, 2021. Two applications for View Assessment were received by the City, however, the Applicants and Claimants were able to reach a private agreement before the project was scheduled for a View Assessment Commission (VAC) meeting and both claims were officially withdrawn. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed

residence will not exceed 24.0 feet above the proposed grade and the highest point of the structure will not exceed 171.33 feet above the Mean Sea Level (MSL).

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on March 12, 2021. As of the date of preparation of this Staff Report, Staff has not received any official correspondence.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2021-033 for Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.

The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolutions 2021-033.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet

the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2021-033 conditionally approving a DRP and SDP to demolish a single-family residence, construct a replacement two-story, single-family residence with an attached two-car garage and single carport, and perform associated site improvements at 537 North Granados Avenue, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-033
2. Project Plans

RESOLUTION NO. 2021-033

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH A SINGLE-FAMILY RESIDENCE AND CONSTRUCT A REPLACEMENT TWO-STORY, SINGLE-FAMILY RESIDENCE WITH A TWO-CAR GARAGE AND SINGLE CARPORT, AND PERFORM ASSOCIATED IMPROVEMENTS AT 537 NORTH GRANADOS AVENUE, SOLANA BEACH

**APPLICANTS: RONALD AND JO GLADNICK
APPLICATION: DRP20-005/SDP20-009**

WHEREAS, Ronald and Jo Gladnick (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on March 24, 2021, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the Public Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to demolish an existing single-family residence, construct a replacement two-story, 4,126 square foot single-family residence with a two-car garage and carport, and perform associated site improvements at 537 North Granados Avenue, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Density Residential, which allows for a maximum of three dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Low Residential (LR) Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks), maximum allowable floor area, maximum building height, and required off-street parking.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone. Properties located on the west side of North Granados as well as those to the west along Barbara Avenue are also located within the LR Zone. Properties located on the east side of North Granados Avenue are located in the Low-Medium Residential (LMR) Zone. The surrounding properties are developed with one and two-story, single-family residences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and

17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and is found to be in conformance with, the regulations of the SROZ. As a condition of project approval, the Applicants are required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicants are proposing to construct a replacement two-story single-family residence that will appear as a single-story residence from the street and include a daylighting lower level living area with an attached garage and carport on the lower level. The replacement residence, as designed, will be located within the buildable area.

The existing driveway will be relocated to the northern side of the property and descend between the proposed residence and northern property line accessing the proposed two-car garage and attached single carport located on the west side of the proposed lower level of the residence in the center of the lot. A sliding driveway gate will be constructed behind the front-yard setback. The pedestrian access to the residence will be relocated to the southern side of the property and will include a descending hardscape walkway from the street to the south side of the upper (main) level of the residence. The entry walkway will be bordered by a water feature located in the side yard setback. A trash and recycling enclosure will be located on the east side of the residence adjacent to the driveway and screened by fencing.

The Applicants are proposing a 2,597 square-foot upper (main) level living area that will include the primary suite, a second

bedroom with a private bathroom, a laundry room, powder room, and living room. The upper level will step down 10 inches to the kitchen and dining room, which will open to a partially covered deck on the west side of the residence. The primary suite would also have deck access and an exterior stairway would provide access to the lower level outdoor areas. A staircase and elevator will provide interior access from the upper to the lower level of the residence. The 1,396 square-foot lower level of the residence will be partially built into the existing grade though the design would not meet the qualifications of a basement pursuant to the SROZ. The lower level will include a bedroom with a private bathroom, a second bedroom, bathroom, sauna, office, and family room. The family room will have access to the attached two-car garage and carport. Exterior access to the lower yard will be available from the family room, office and one of the bedrooms.

The grade will step down approximately 4 feet from the lower level of the residence to the yard improvements, which will include landscape and hardscape areas, an outdoor kitchen, covered patio, seating areas, and a pool. The Applicants are also proposing a detached single-story Accessory Dwelling Unit (ADU) of 693 square feet located in the lower yard and partially within the rear yard setback. It should be noted that the attached ADU is not subject to discretionary review, pursuant to SBMC Section 17.20.040(D). The surrounding yard improvements, however, will be accessible by the tenants of both the ADU and primary residence and, therefore, are subject to the discretionary review.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The project includes a single-family residence with a two-car garage and a single carport, therefore, the project is afforded a 400 square-foot exemption for the two garage spaces. The total proposed floor area would be 4,126 square feet, which is the exact maximum allowable floor area for the 12,435 square-foot lot, pursuant to the SROZ regulations.

The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,001 to 15,000 ft ²	1,126 ft ²
Total Allowable Floor area:	4,126 ft ²

The project, as designed, meets the minimum required setbacks, is below the maximum allowable floor area for the property, and meets the required off-street parking.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform a final inspection during the construction phase of the project.

A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants will relocate the driveway to the north side of the property and access a two-car garage and single carport located in the center of the lot at the lower level of the proposed residence. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will accommodate the two required off-

street parking spaces, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project includes grading in the amount 345 yd³ of cut, 340 yd³ of fill, 11 yd³ cut for footings, 16 yd³ of export, and 74 yd³ for removal and recompaction. Excavation is proposed in order to create the driveway along the north property line and to build the lower level of the residence partially into the existing grade. The project includes fill on the south side of the property to raise the grade of a portion of the existing driveway to accommodate the pedestrian entrance to the upper level of the residence. Additional fill is proposed to create a flat usable yard area in the lower yard area for outdoor improvements including a covered patio and outdoor kitchen.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures will comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a replacement two-story, single-family residence with a two-car garage and single carport on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor

required according to SBMC Section 17.20.040. The Applicants are required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicants are required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicants were required to complete the SDP process. The Applicants had story poles installed onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on November 7, 2020, which showed the highest story pole certified at 171.33 feet above Mean Sea Level (MSL) and 24.0 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on February 11, 2021. Two applications for View Assessment were received by the City, however, the Applicants and Claimants were able to reach a private agreement before the project was scheduled for a View Assessment Commission (VAC) meeting and both claims were officially withdrawn.

A height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.0 feet above the proposed grade and the highest point of the structure will not exceed 171.33 feet above MSL.

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on March 24, 2021, and located in the project file with a submittal date of March 11, 2021.
- III. Prior to requesting a framing inspection, the Applicants shall submit a height certificate prepared by a licensed land surveyor prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.0 feet above the proposed grade and the highest point of the structure will not exceed 171.33 feet above the Mean Sea Level (MSL) in conformance with the plans as approved by the City Council on March 24, 2021.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. The Applicants shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 prior to Grading Permit issuance, which will be reviewed and inspected by the City's third party landscape professional.
- VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked

in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.

- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. DEAD ENDS: All dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. A cul-de-sac shall be provided in residential areas where the access roadway serves more than four (4) structures. The minimum unobstructed paved radius width for a cul-de-sac shall be 36 feet in residential areas with no parking. In lieu of 150 foot hose pull, fire sprinklers will be required in the main residence and ADU. Fire sprinklers shall be installed on exterior patios, attic spaces, and any room regardless of size.
- III. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.
- IV. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- V. FIRE HYDRANTS AND FIRE FLOWS: The Applicants shall provide fire hydrants of a type, number, and location satisfactory to the Solana Beach Fire Department. A letter from the water agency serving the

area shall be provided that states the required fire flow is available. Fire hydrants shall be of a bronze type. Multi-family residential or industrial fire hydrants shall have two (2) 4" inch and two (2) 2 ½" inch NST outlets. Residential fire hydrants shall have one (1) 4" inch NST outlet, and one (1) 2 ½" inch NST outlets.

- VI. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- VII. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- VIII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.
- IX. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per the California Fire Code and Solana Beach Fire Department requirements.

C. Engineering Department Conditions:

- I. The Applicants are required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the below improvements being done in the public right-of-way. The improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
 - a. Construction of the 9" X 9" X 12" concrete curb along the property frontage for drainage purposes.
 - b. Installation of the Decomposed Granite (D.G.) area compacted and graded at 2% towards the flow line for walking and parking purposes.
 - c. Removal of the existing gravel.

- II. Per current rates, the Applicants shall pay in full the one-time sewer capacity fee of \$4,500.00 per Equivalent Dwelling Unit (EDU) prior to Building Permit Issuance. The EDU assignment is determined by SBMC 14.08.060. The proposed ADU unit would increase the property's EDU assignment by 0.8 EDU. The cost the Applicants are responsible for is \$3,600.00 concurrently with Building Permit Issuance (0.8 EDU multiplied by \$4,500.00).
- III. A 20-foot width of property frontage along North Granados Avenue shall be dedicated to the City of Solana Beach as Public Right-Of-Way. The Applicants shall provide the Plat and Legal Description prepared by a Registered Civil Engineer. The document shall be recorded with the County of San Diego prior to Final Inspection of the Building Permit.
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- V. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- VI. The Applicants shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
 - a. The Applicants shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
 - b. The Applicants shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
 - c. The Applicants shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the

detention basins by the property owner(s) in perpetuity, prior to Final Inspection of the Building Permit.

- d. The Applicants shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicants are responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicants shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicants shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicants shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicants shall obtain haul permit for import / export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- i. The Applicants shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicants. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during

excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.

- k. The Applicants shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. The Applicants shall submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.
- n. No increased cross lot drainage shall be allowed.
- o. The Applicant shall record a document holding the City of Solana Beach harmless in case of a sanitary sewer backup due to a blockage in the public sewer main. A backflow prevention device shall be installed on private property.

D. City Council Conditions:

- I. N/A

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 24th day of March, 2021, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, MAYOR

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

GLADNICK RESIDENCE

537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

All work, design, and arrangements indicated on these drawings are the property of EOS Architecture, Inc. and are intended to be used in connection with the specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the architect. There shall be no change or alterations, form, these drawings or the accompanying specifications without the written consent of the architect.

GLADNICK RESIDENCE
537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

PROJECT DIRECTORY	SHEET INDEX	PROJECT INFORMATION		GOVERNING CODE																																																									
<p>OWNER RONALD AND JO GLADNICK 537 NORTH GRANADOS AVENUE SOLANA BEACH, CA 92075</p> <p>ARCHITECT EOS ARCHITECTURE INC. CONTACT: JENNIFER BOLYN 7542 FAY AVE. LA JOLLA, CA 92037 (858) 459-0575 PHONE</p> <p>CIVIL PASCO LARET SUITE & ASSOCIATES CONTACT: BRIAN ARDOLINO 535 N HIGHWAY 101 STE A SOLANA BEACH, CA 92075</p> <p>LANDSCAPE CARSON DOUGLAS LANDSCAPE ARCHITECTURE CONTACT: MICHAEL DOUGLAS BRENNAN 3051 BROADWAY SAN DIEGO, CA 92102 (619) 995-1306 PHONE</p>	<p>ARCHITECTURAL CS1.0 COVER SHEET SP1 SITE PLAN A1.0 LOWER LEVEL FLOOR PLAN A1.1 UPPER LEVEL FLOOR PLAN A1.2 DETACHED ADU FLOOR PLAN AND ROOF PLAN A2.0 F.A.R. DIAGRAM A3.0 ROOF PLAN A4.0 EXTERIOR ELEVATIONS A4.1 EXTERIOR ELEVATIONS A4.2 EXTERIOR ELEVATIONS A4.3 EXTERIOR ELEVATIONS A5.0 BUILDING SECTIONS A5.1 BUILDING SECTIONS A5.2 BUILDING SECTIONS A5.3 SITE SECTION A6.0 MAIN RESIDENCE STORY POLES PLAN A6.1 MAIN RESIDENCE STORY POLE ELEVATIONS A6.2 MAIN RESIDENCE STORY POLE ELEVATIONS A6.3 ADU STORY POLES PLAN AND ELEVATIONS A7.0 MAIN RESIDENCE 3D VIEWS A7.1 ADU 3D VIEWS</p> <p>CIVIL C0.0 1985 TOPOGRAPHIC EXHIBIT C1.0 TOPOGRAPHIC / SURVEY C1.1 PRELIMINARY GRADING NOTES AND DETAILS C1.2 PRELIMINARY GRADING PLAN</p> <p>LANDSCAPE L-1 LANDSCAPE CONCEPT PLAN L-2 HYDROZONE PLAN & WATER USE CALCULATION L-3 PROPERTY LINE ELEVATIONS</p>	<p>SCOPE OF WORK: CONSTRUCT NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED TWO CAR GARAGE, DETACHED ACCESSORY DWELLING UNIT, DECKS, COVERED OUTDOOR AREA AND ASSOCIATED LANDSCAPE, HARDSCAPE AND RETAINING WALLS</p> <p>LEGAL: THE PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA</p> <p>A.P.N. 263-082-14 EXISTING USE: RESIDENTIAL ZONE: LRC, SROZ SPRINKLERED: YES, PER CFC SECTION 903.2.1.1 AND INSTALLED PER NFPA 13D.</p> <p>PROPOSED GRADING: PER CIVIL DRAWINGS</p> <p>GROSS LOT SIZE: 12,435 SF NET LOT SIZE: 12,435 SF</p>	<p>FAR CALCULATION: FAR - ALLOWABLE - FIRST 6,000 50%: 6,000 x .5 = 3,000 SF NEXT 6,001-15,000 17.5%: 6,435 x .175 = 1,126 SF BUILDING AREA - ALLOWABLE TOTAL: 4,126 SF GARAGE EXEMPTION 400 SF 4,526 SF</p> <p>BUILDING AREA CALCULATION</p> <table border="1"> <tr><td>LOWER LEVEL</td><td>1,929 SF</td></tr> <tr><td>LIVING:</td><td>1,396 SF</td></tr> <tr><td>GARAGE:</td><td>533 SF</td></tr> <tr><td>UPPER LEVEL</td><td></td></tr> <tr><td>LIVING:</td><td>2,597 SF</td></tr> <tr><td>TOTAL MAIN BUILDING AREA</td><td>4,526 SF</td></tr> <tr><td>GARAGE EXEMPTION</td><td>-400 SF</td></tr> <tr><td>TOTAL BUILDING AREA INCLUDED IN FAR</td><td>4,126 SF</td></tr> </table> <p>DETACHED ADU (FAR EXEMPT) LIVING: 693 SF</p>	LOWER LEVEL	1,929 SF	LIVING:	1,396 SF	GARAGE:	533 SF	UPPER LEVEL		LIVING:	2,597 SF	TOTAL MAIN BUILDING AREA	4,526 SF	GARAGE EXEMPTION	-400 SF	TOTAL BUILDING AREA INCLUDED IN FAR	4,126 SF	<p>COVERED PATIOS</p> <table border="1"> <tr><td>LOWER LEVEL COVERED PATIO:</td><td>918 SF</td></tr> <tr><td>UPPER LEVEL COVERED PATIO:</td><td>171 SF</td></tr> <tr><td>ADU COVERED PATIO:</td><td>251 SF</td></tr> <tr><td>TOTAL COVERED PATIO AREA:</td><td>1,340 SF</td></tr> </table> <p>PROPERTY BREAKDOWN</p> <table border="1"> <tr><td>IMPERVIOUS:</td><td>7,748 SF</td></tr> <tr><td>HARDSCAPE AREA:</td><td>3,120 SF</td></tr> <tr><td>MAIN RESIDENCE FOOTPRINT:</td><td>3,482 SF</td></tr> <tr><td>ADU FOOTPRINT:</td><td>698 SF</td></tr> <tr><td>HARDSCAPE AREA:</td><td>448 SF</td></tr> <tr><td>PERVIOUS:</td><td>4,434 SF</td></tr> <tr><td>IRRIGATED LANDSCAPE:</td><td>2,929 SF</td></tr> <tr><td>LANDSCAPE:</td><td>1,186 SF</td></tr> <tr><td>WATER FEATURE:</td><td>310 SF</td></tr> <tr><td>Basin:</td><td>170 SF</td></tr> <tr><td>NON - LANDSCAPE:</td><td>92 SF</td></tr> </table> <p>GRADING QUANTITIES</p> <table border="1"> <tr><td>SITE GRADING:</td><td></td></tr> <tr><td>CUT:</td><td>345 CY</td></tr> <tr><td>FILL:</td><td>340 CY</td></tr> <tr><td>REMOVAL & RECOMPACTION</td><td>74 CY</td></tr> <tr><td>EXPORT:</td><td>16 CY</td></tr> </table>	LOWER LEVEL COVERED PATIO:	918 SF	UPPER LEVEL COVERED PATIO:	171 SF	ADU COVERED PATIO:	251 SF	TOTAL COVERED PATIO AREA:	1,340 SF	IMPERVIOUS:	7,748 SF	HARDSCAPE AREA:	3,120 SF	MAIN RESIDENCE FOOTPRINT:	3,482 SF	ADU FOOTPRINT:	698 SF	HARDSCAPE AREA:	448 SF	PERVIOUS:	4,434 SF	IRRIGATED LANDSCAPE:	2,929 SF	LANDSCAPE:	1,186 SF	WATER FEATURE:	310 SF	Basin:	170 SF	NON - LANDSCAPE:	92 SF	SITE GRADING:		CUT:	345 CY	FILL:	340 CY	REMOVAL & RECOMPACTION	74 CY	EXPORT:	16 CY	<p>2019 CA BUILDING STANDARD CODE 2019 CA RESIDENTIAL CODE 2019 CA GREEN BUILDING CODE</p> <p>2019 CA ELECTRICAL CODE 2019 CA MECHANICAL CODE 2019 CA PLUMBING CODE</p>
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		<p>NOTES:</p> <ol style="list-style-type: none"> OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: ALL ROADWAYS SHALL BE A MINIMUM OF 24' IN WIDTH DURING CONSTRUCTION AND MAINTAINED FREE AND CLEAR, INCLUDING THE PARKING OF VEHICLES, IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AND THE FIRE DEPARTMENT. ADDRESS NUMBERS: STREET NUMBERS: APPROVED NUMBERS AND/ OR ADDRESSES SHALL BE PLACES ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MIN. STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS AND ENTRANCES TO COMMERCIAL CENTERS. AUTOMATIC FIRE SPRINKLERS SYSTEMS: ONE AND TWO FAMILY DWELLINGS: STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT. SMOKE DETECTORS/ CARBON MONOXIDE ALARMS/ FIRE SPRINKLER SYSTEMS: SMOKE DETECTORS/ CARBON MONOXIDE ALARMS/FIRE SPRINKLERS SHALL BE INSPECTED BY THE SOLANA BEACH FIRE DEPARTMENT CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT. SOLAR PHOTOVOLTAIC INSTALLATIONS (SOLAR PANELS): SOLAR PHOTOVOLTAIC SYSTEMS SHALL BE INSTALLED PER THE CALIFORNIA FIRE CODE AND SOLANA BEACH FIRE DEPARTMENT REQUIREMENTS. 	<p>VICINITY MAP</p> <p>ATTACHMENT 2</p>																																																										

REVISIONS

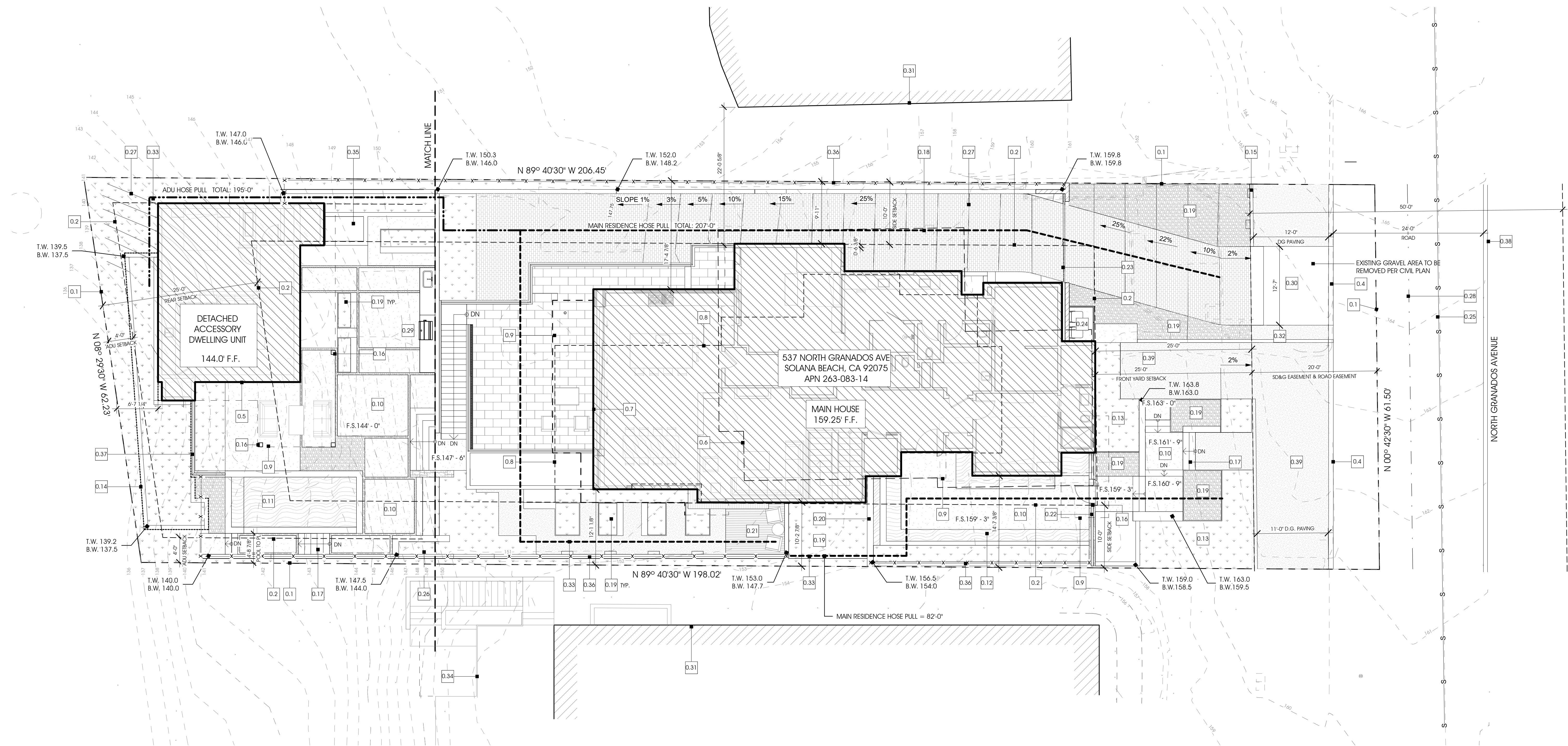
09/25/2020	1ST DRP/SDP REVIEW
07/07/2020	2ND DRP/SDP REVIEW
10/06/2020	3RD DRP/SDP REVIEW
11/30/2020	4TH DRP/SDP REVIEW

PHASE
PLANNING SET

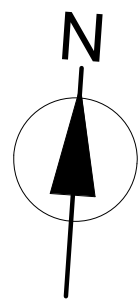
DATE	09/25/2020
JOB NO.	19-09

COVER SHEET

CS1.0



SITE PLAN
1/8" = 1'-0"



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537 NORTH GRANADOS,
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REVISIONS
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SITE PLAN

SP1

KEYNOTES

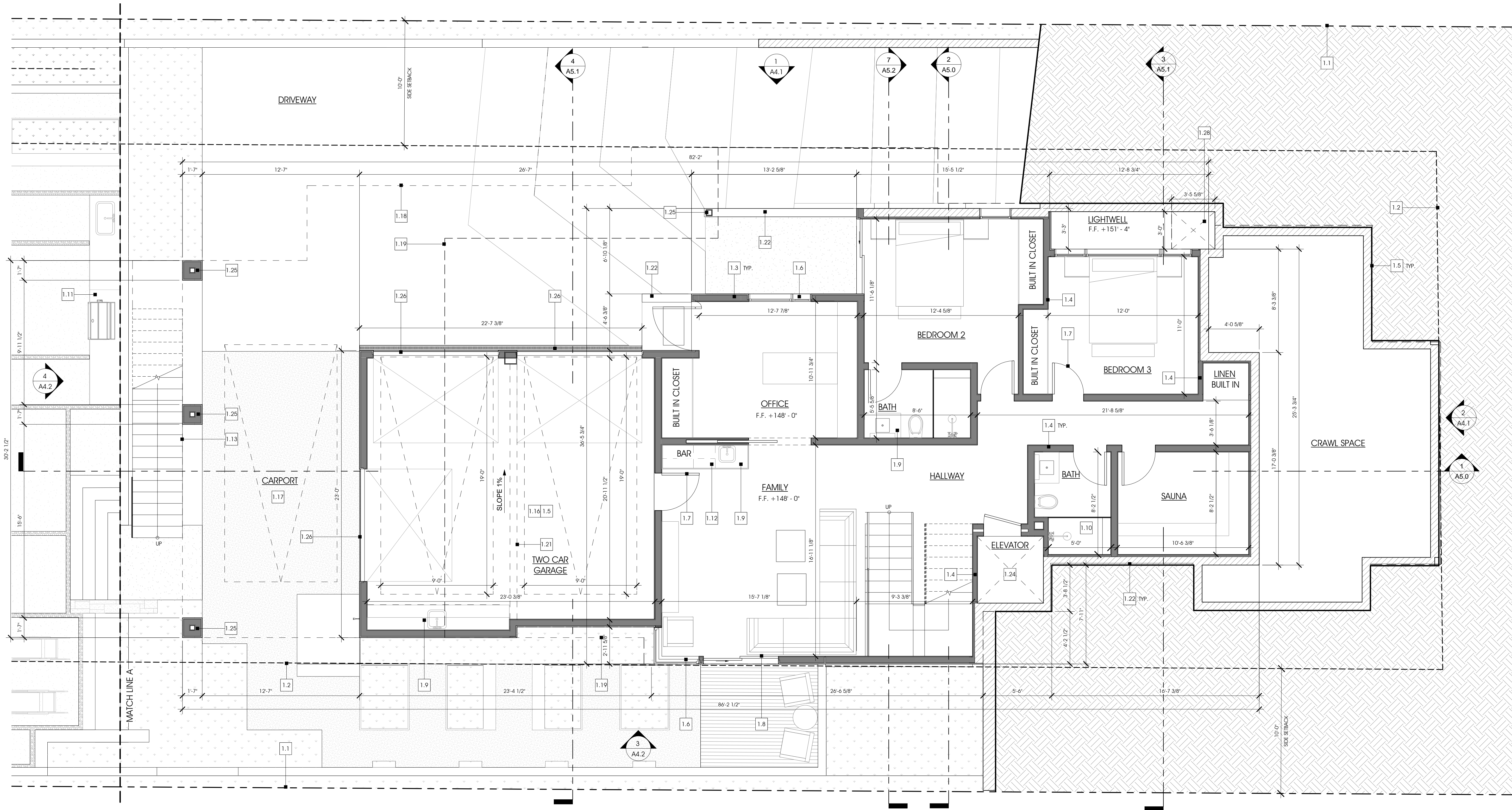
0.1 PROPERTY LINE, TYP.	0.16 SUPPORT COLUMNS PER ELEVATION	0.29 BBQ AREA
0.2 SETBACK LINE, TYP.	0.17 CONCRETE SITE STAIR - AT GRADE LEVEL PER LANDSCAPE AND CIVIL	0.30 CONCRETE DRIVEWAY, ACID ETCHED EXPOSED AGGREGATE COLORED CONCRETE
0.4 ROLLED CURB PER CIVIL	0.18 HEAVY DASHED LINE INDICATING - HOSE PULL TO FURTHER STRUCTURE FROM LEVEL AREA ON STREET, LENGTH PER PLAN, SEE KEYNOTE 0.33	0.31 ADJACENT PROPERTY, NAP.
0.5 LINE OF PROPOSED ADU	0.19 LANDSCAPE PER LANDSCAPE PLAN	0.32 EASEMENT TO BE DEDICATED TO THE CITY, SEE CIVIL DRAWINGS FOR MORE INFORMATION
0.6 LINE OF EXISTING RESIDENCE TO BE REMOVED	0.20 NEW RETAINING WALL PER CIVIL PLANS, WITH STUCCO FINISH WHERE EXPOSED TO VIEW	0.33 IN LIEU OF THE 150FT HOSE PULL REQUIREMENT FIRE SPRINKLERS ARE REQUIRED TO BE INSTALLED ON THE EXTERIOR PATIOS/DECKS, IN THE ATTIC SPACE, AND IN ALL ROOMS REGARDLESS OF SIZE OR USE IN THE MAIN HOUSE AND THE DETACHED ACCESSORY DWELLING UNIT
0.7 LINE OF PROPOSED UPPER LEVEL	0.21 WOOD TILES SET ON CONCRETE, AT GRADE	0.34 LINE OF ADJACENT DECK, NAP.
0.8 LINE OF PROPOSED LOWER LEVEL	0.22 FENCE & GATE PER LANDSCAPE PLANS NOT EXCEED 6'-0" HEIGHT IN SIDE SETBACKS 42" IN FRONT SETBACK, WITH AN ADDITIONAL 24" ALLOWABLE ABOVE IF AT LEAST 50% OPEN TO LIGHT & AIR	0.35 POOL EQUIPMENT LOCATION WITH 6'-0" HIGH SOLID CMU WALL SURROUNDING AND SOLID WOOD GATE WITH STUCCO FINISH
0.9 LINE OF ROOF/ OVERHANG	0.23 AUTOMATIC SLIDING GATE PER LANDSCAPE PLAN - 12'-0" WIDE 6'-0" TALL ALLOWABLE IF MORE THAN 50% OPEN TO LIGHT & AIR	0.36 FENCE PER LANDSCAPE PLANS.
0.10 HARDSCAPE PER CIVIL AND LANDSCAPE PLANS	0.24 TRASH AND RECYCLING ENCLOSURE PER LANDSCAPE PLANS	0.37 6' HIGH LANDSCAPE TRELLIS WITH PLANTING PER LANDSCAPE PLAN
0.11 PROPOSED VANISHING EDGE POOL UNDER SEPARATE PERMIT	0.25 EXISTING SEWER MAIN	0.38 EXISTING EDGE OF PAVEMENT PER CIVIL
0.12 PROPOSED WATER FEATURE PER LANDSCAPE PLANS	0.26 EXISTING TOPOGRAPHY PER CIVIL PLAN	0.39 DG PARKING AREA PER CIVIL/LANDSCAPE
0.13 RAISED PLANTER PER LANDSCAPE	0.27 PROPOSED TOPOGRAPHY PER CIVIL PLAN	
0.14 PROPOSED BIO RETENTION BASIN PER CIVIL DRAWINGS	0.28 CENTER LINE OF THE STREET	
0.15 EXISTING WATER METER TO REMAIN		

REVISIONS
09/25/2020 1ST DRP/SDP REVIEW
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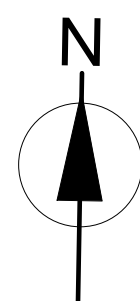
LOWER LEVEL FLOOR PLAN

A1.0



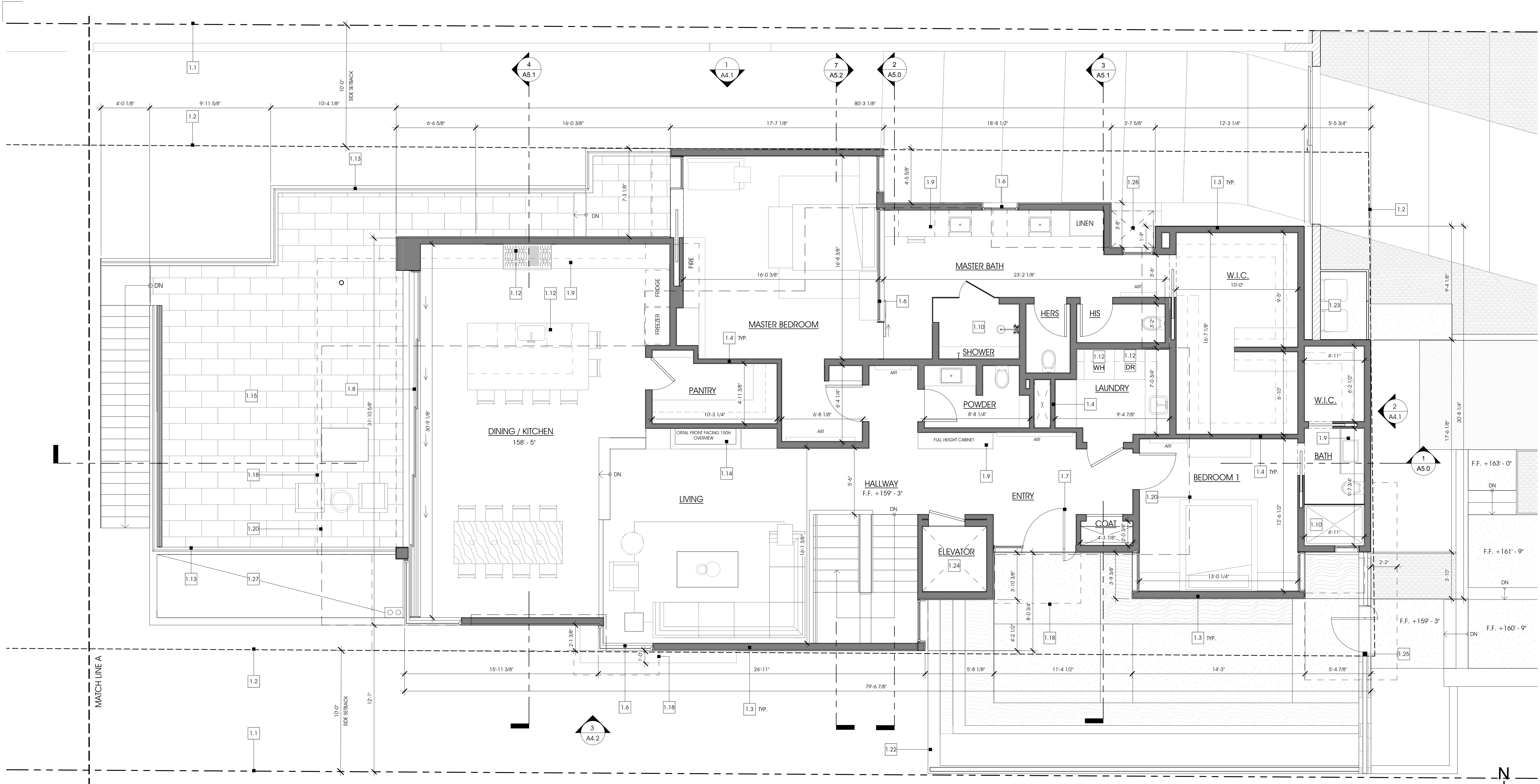
LOWER LEVEL FLOOR PLAN

1/4" = 1'-0"



KEYNOTES

- | | |
|--|---|
| 1.1 PROPERTY LINES, TYP | 1.12 APPLIANCE PER OWNER |
| 1.2 SETBACK LINE, TYP | 1.13 42" HIGH GUARDRAIL |
| 1.3 EXTERIOR WALL: 2x WOOD STUD FRAMING PER STRUCTURAL W/ R-19 BATT INSULATION AT 2 X 6, R-13 BATT INSULATION AT 2 X 4 WALLS. EXTERIOR FINISH PER EXTERIOR ELEVATIONS O/ 2 LAYERS MIN. GRADE 'D' BUILDING PAPER. INSIDE 5/8" GWB UON PER INTERIOR ELEVATIONS | 1.16 PARKING SPACES TO BE 19' X 9' CLEAR |
| 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING W/ R-19 BATT INSULATION @ 2X6 & R-13 BATT INSULATION @ 2X4. 5/8" GWB THROUGHOUT | 1.17 CARPORT |
| 1.5 PROVIDE 5/8" TYPE 'X' GYP. BOARD (1-HOUR CONSTRUCTION) AT THE WALLS AND CEILINGS OF ATTACHED GARAGE ASSEMBLY SUPPORTIVE HABITABLE SPACE, MECHANICAL SPACES AND ACCESSIBLE UNDER STAIRS. | 1.18 LINE OF ROOF / DECK ABOVE |
| 1.6 WINDOW, TYP. | 1.19 LINE OF BUILDING ABOVE |
| 1.7 DOOR, TYP. | 1.21 LINE OF SOFFIT/ CEILING/BEAM ABOVE |
| 1.8 LIFT AND SLIDE DOOR, | 1.22 RETAINING WALL |
| 1.9 BUILT IN/ CABINETRY | 1.24 ELEVATOR |
| 1.10 WALK IN SHOWER | 1.25 SUPPORT COLUMNS |
| 1.11 BBQ | 1.26 GARAGE DOOR |
| | 1.28 OPEN TO SKY ABOVE FOR EGRESS FROM BASEMENT |



UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"

KEYNOTES

- | | |
|--|--|
| <ul style="list-style-type: none"> 1.1 PROPERTY LINES, TYP. 1.2 SETBACK LINE, TYP. 1.3 EXTERIOR WALL: 2x WOOD STUD FRAMING PER STRUCTURAL W/ R-19 BATT INSULATION AT 2 X 6, R-13 BATT INSULATION AT 2 X 4 WALLS. EXTERIOR FINISH PER EXTERIOR ELEVATIONS O/ 2 LAYERS MIN. GRADE 'D' BUILDING PAPER. INSIDE 5/8" GWB UCN PER INTERIOR ELEVATIONS 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING W/ R-19 BATT INSULATION @ 2X6 & R-13 BATT INSULATION @ 2X4. 5/8" GWB THROUGHOUT 1.6 WINDOW, TYP. 1.7 DOOR, TYP. 1.8 LIFT AND SLIDE DOOR. 1.9 BUILT IN/ CABINETRY 1.10 WALK-IN SHOWER 1.12 APPLIANCE PER OWNER 1.13 42" HIGH GUARDRAIL 1.14 FIREPLACE | <ul style="list-style-type: none"> 1.15 TILE DECK 1.18 LINE OF ROOF / DECK ABOVE 1.20 LINE OF BUILDING BELOW 1.22 RETAINING WALL 1.23 TRASH AND RECYCLING LOCATION 1.24 ELEVATOR 1.25 SUPPORT COLUMNS 1.27 B.U.R. ROOF WITH GRAVEL FOR AESTHETICS 1.28 OPEN TO SKY ABOVE FOR EGRESS FROM BASEMENT |
|--|--|

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GLADNICK RESIDENCE
537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

REVISIONS

- 09/25/2020 1ST DRP/SDP REVIEW
- 07/07/2020 2ND DRP/SDP REVIEW
- 10/06/2020 3RD DRP/SDP REVIEW
- 11/30/2020 4TH DRP/SDP REVIEW

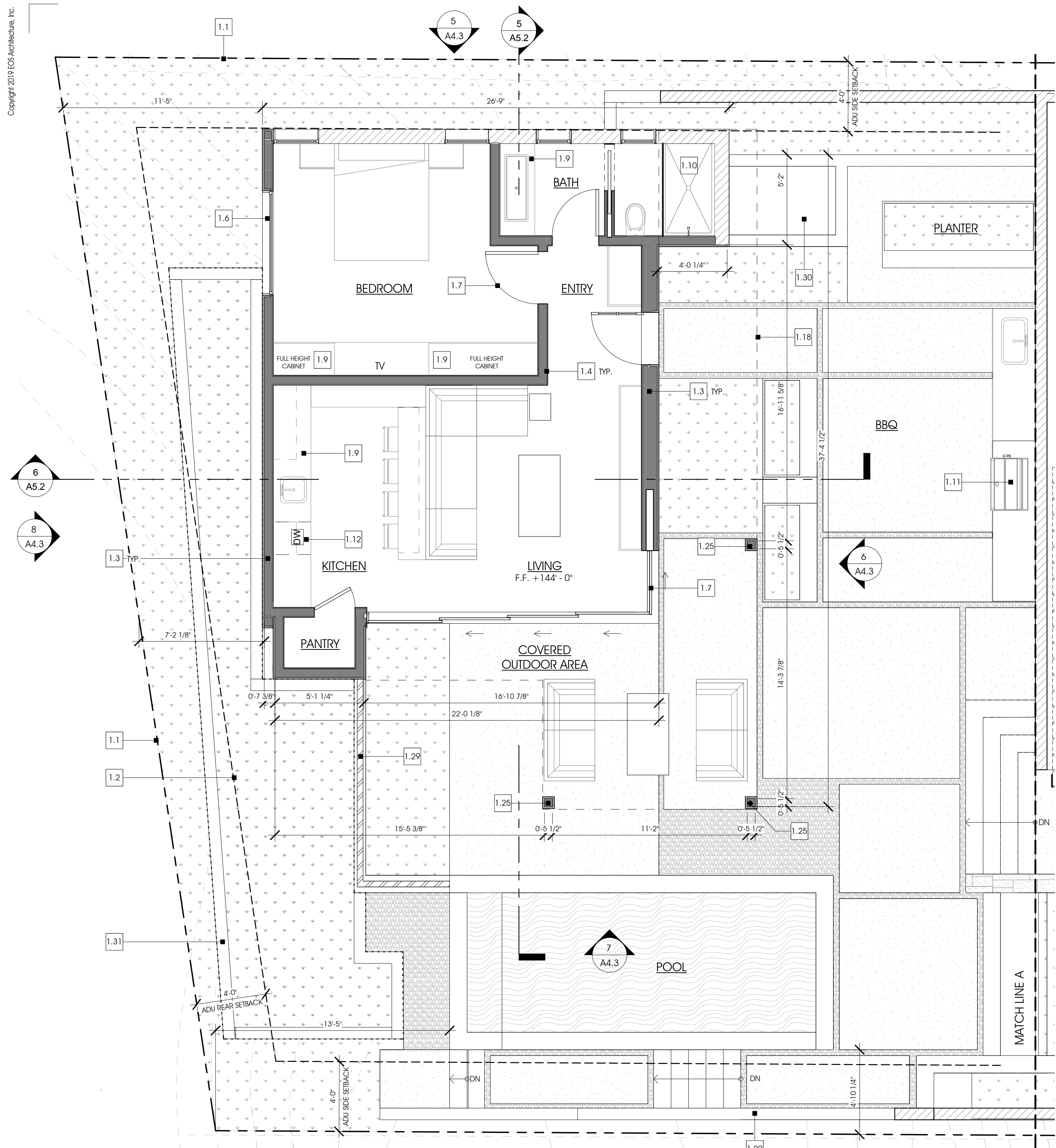
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DATE
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19-09

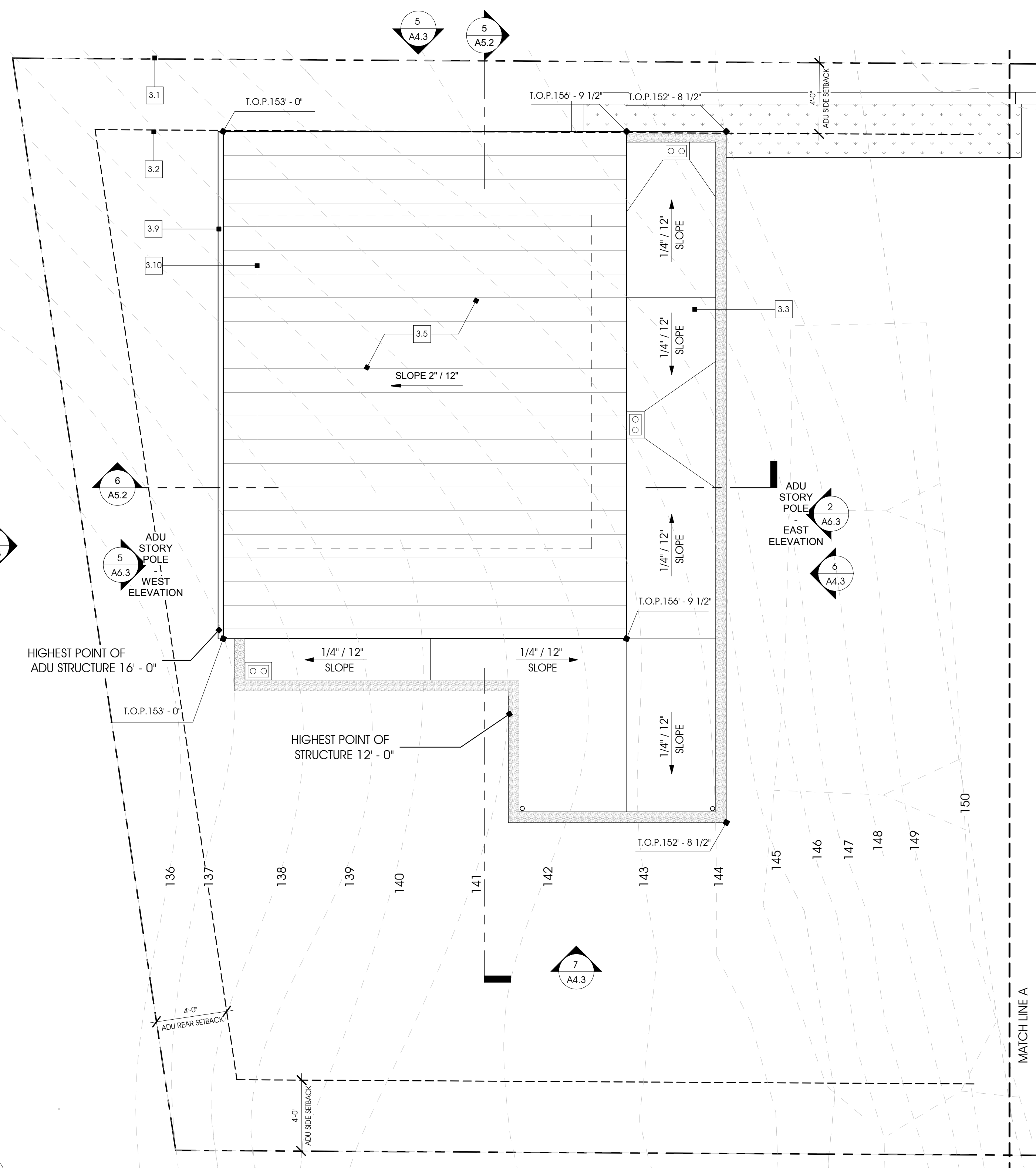
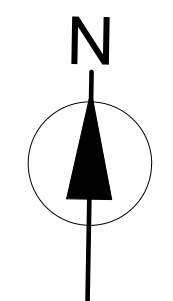
UPPER LEVEL FLOOR
PLAN

A1.1



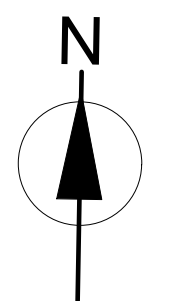
DETACHED ADU FLOOR PLAN

1/4" = 1'-0"



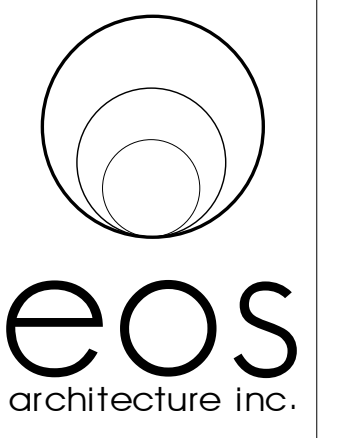
DETACHED ADU ROOF PLAN

1/4" = 1'-0"



KEYNOTES

- | | |
|--|---|
| 1.1 PROPERTY LINES, TYP | 1.25 SUPPORT COLUMNS |
| 1.2 SETBACK LINE, TYP | 1.29 6'-0" HIGH TRELIS PER LANDSCAPE PLAN |
| 1.3 EXTERIOR WALL: 2x WOOD STUD FRAMING PER STRUCTURAL W/ R-19 BATT INSULATION AT 2 X 6, R-13 BATT INSULATION AT 2 X 4 WALLS. EXTERIOR FINISH PER EXTERIOR ELEVATIONS O/ 2 LAYERS MIN. GRADE 'D' BUILDING PAPER. INSIDE 5/8" GWB UON PER INTERIOR ELEVATIONS | 1.30 POOL EQUIPMENT LOCATION |
| 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING W/ R-19 BATT INSULATION @ 2X6 & R-13 BATT INSULATION @ 2X4. 5/8" GWB THROUGHOUT | 3.1 PROPERTY LINE, TYP. |
| 1.6 WINDOW, TYP. | 3.2 SETBACK LINE, TYP. |
| 1.7 DOOR, TYP. | 3.3 OVERHANG |
| 1.9 BUILT IN CABINETRY | 3.5 METAL ROOF |
| 1.10 WALK-IN SHOWER | 3.9 GUTTER, TYP. |
| 1.11 BBQ | 3.10 SOLAR PANELS, TYP. |
| 1.12 APPLIANCE PER OWNER | |
| 1.18 LINE OF ROOF / DECK ABOVE | |
| 1.22 RETAINING WALL | |



7542 FAY AVENUE
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JENNIFER BOLYN
Architect

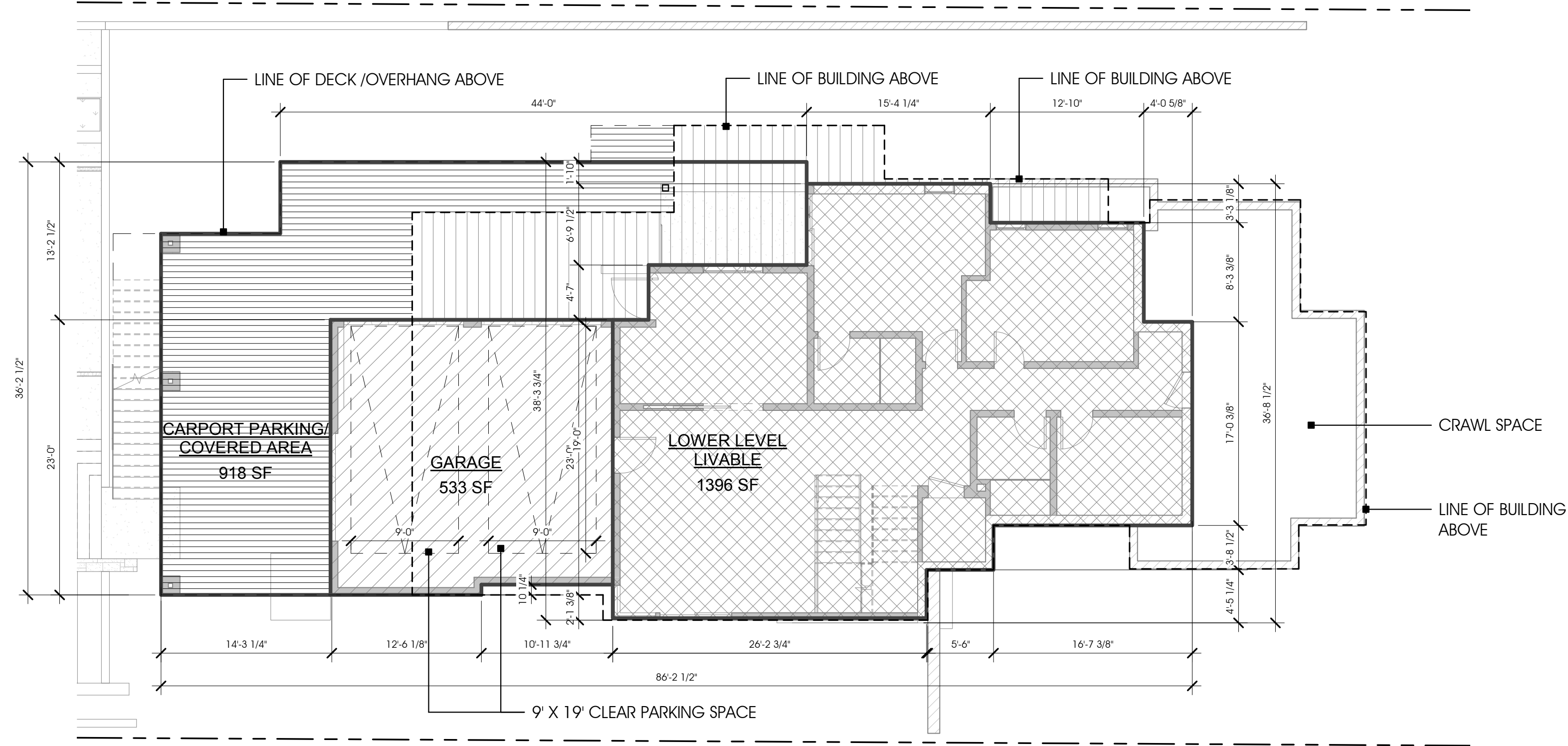
GLADNICK RESIDENCE
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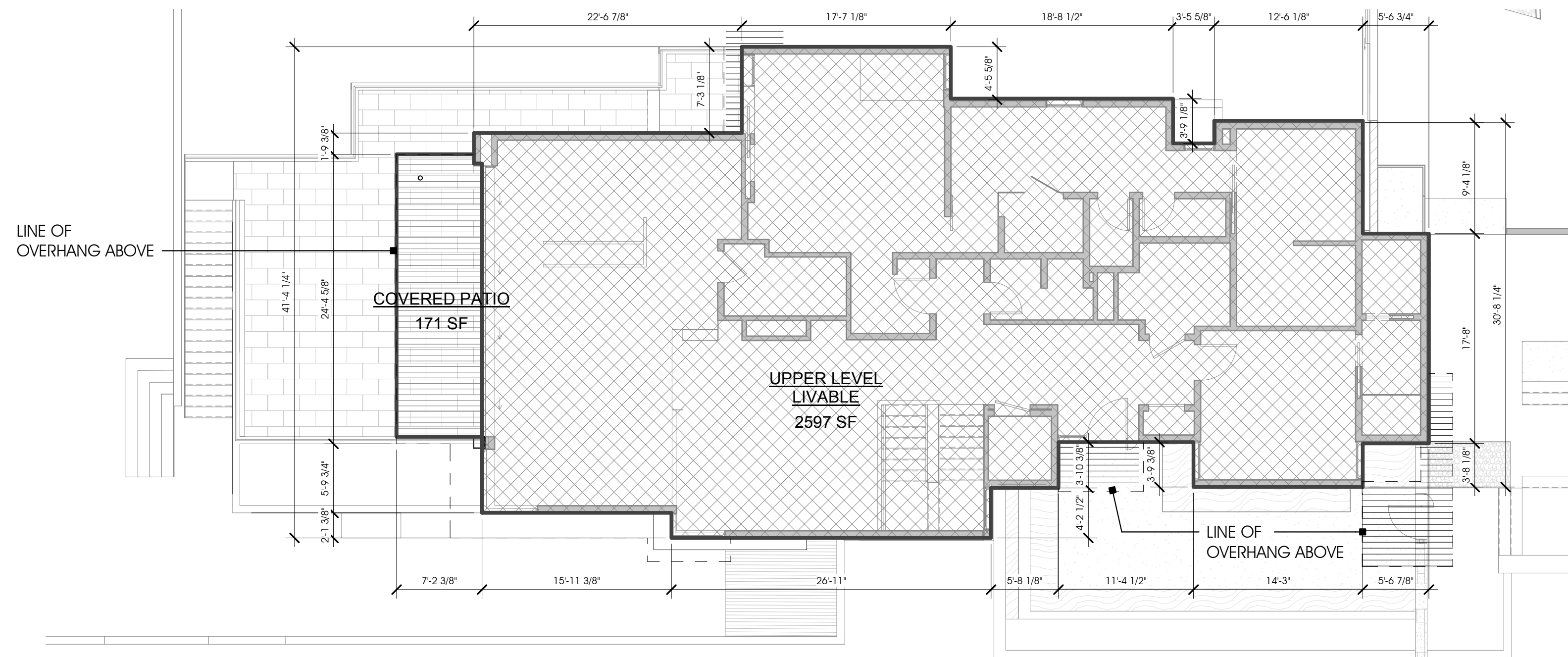
DETACHED ADU FLOOR
PLAN AND ROOF PLAN

A1.2



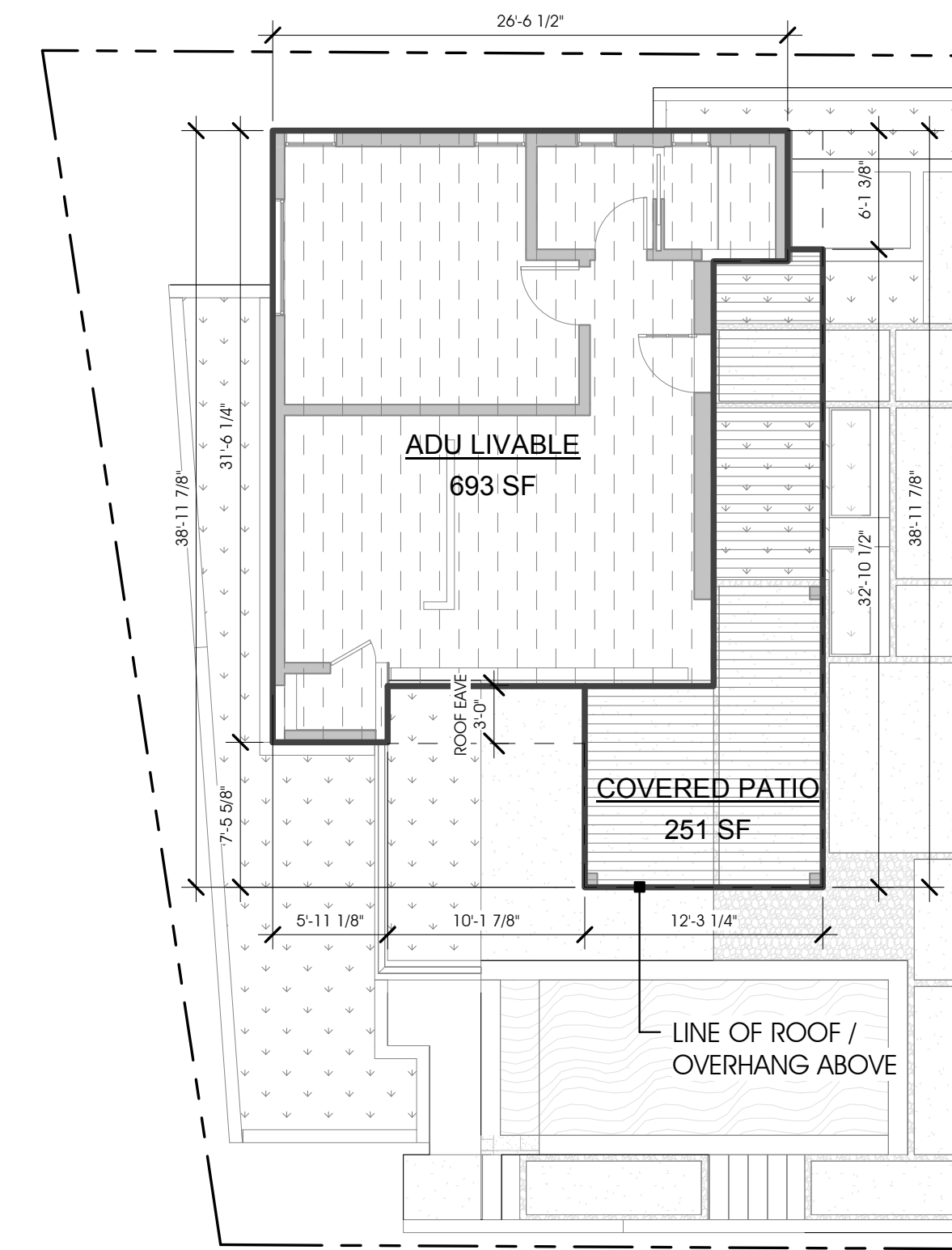
LOWER LEVEL FAR DIAGRAM

1/8" = 1'-0"



UPPER LEVEL FAR DIAGRAM

1/8" = 1'-0"



ADU FAR DIAGRAM

1/8" = 1'-0"

PROJECT INFORMATION

SCOPE OF WORK:	CONSTRUCT NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED TWO CAR GARAGE, DETACHED ACCESSORY DWELLING UNIT, DECKS, COVERED OUTDOOR AREA AND ASSOCIATED LANDSCAPE, HARDSCAPE AND RETAINING WALLS
LEGAL:	THE PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA
A.P.N.	263-082-14
EXISTING USE:	RESIDENTIAL
ZONE:	LRC, SROZ
SPRINKLERED:	YES, PER CFC SECTION 903.2.1.1 AND INSTALLED PER NFPA 13D.
PROPOSED GRADING:	PER CIVIL DRAWINGS
GROSS LOT SIZE:	12,435 SF
NET LOT SIZE:	12,435 SF

F.A.R. CALCULATION

FAR CALCULATION:	
FAR - ALLOWABLE - FIRST 6,000 50%:	6,000 x .5 = 3,000 SF
NEXT 6,001-15,000 17.5%:	6,435 x .175 = 1,126 SF
BUILDING AREA - ALLOWABLE TOTAL:	4,126 SF
GARAGE EXEMPTION	400 SF
	4,526 SF
BUILDING AREA CALCULATION	
LOWER LEVEL	1,929 SF
LIVING:	1,396 SF
GARAGE:	533 SF
UPPER LEVEL	
LIVING:	2,597 SF
TOTAL MAIN BUILDING AREA	4,526 SF
GARAGE EXEMPTION	-400 SF
TOTAL BUILDING AREA INCLUDED IN FAR	4,126 SF
DETACHED ADU (FAR EXEMPT)	
LIVING:	693 SF

COVERED PATIOS	
LOWER LEVEL COVERED PATIO:	918 SF
UPPER LEVEL COVERED PATIO:	171 SF
ADU COVERED PATIO:	251 SF
TOTAL COVERED PATIO AREA:	1,340 SF
PROPERTY BREAKDOWN	
IMPERVIOUS:	7,748 SF
HARDSCAPE AREA:	3,120 SF
MAIN RESIDENCE FOOTPRINT:	3,482 SF
ADU FOOTPRINT:	698 SF
HARDSCAPE AREA:	448 SF
PERVIOUS:	4,434 SF
IRRIGATED LANDSCAPE:	2,988 SF
LANDSCAPE:	1,186 SF
WATER FEATURE:	310 SF
BASIN:	170 SF
NON - LANDSCAPE:	33 SF
GRADING QUANTITIES	
SITE GRADING:	
CUT:	345 CY
FILL:	340 CY
REMOVAL & RECOMPACTION	74 CY
EXPORT:	16 CY

LEGEND

	PRIMARY RESIDENTIAL LIVABLE AREA
	GARAGE AREA
	ADU LIVABLE AREA

NOTES

ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

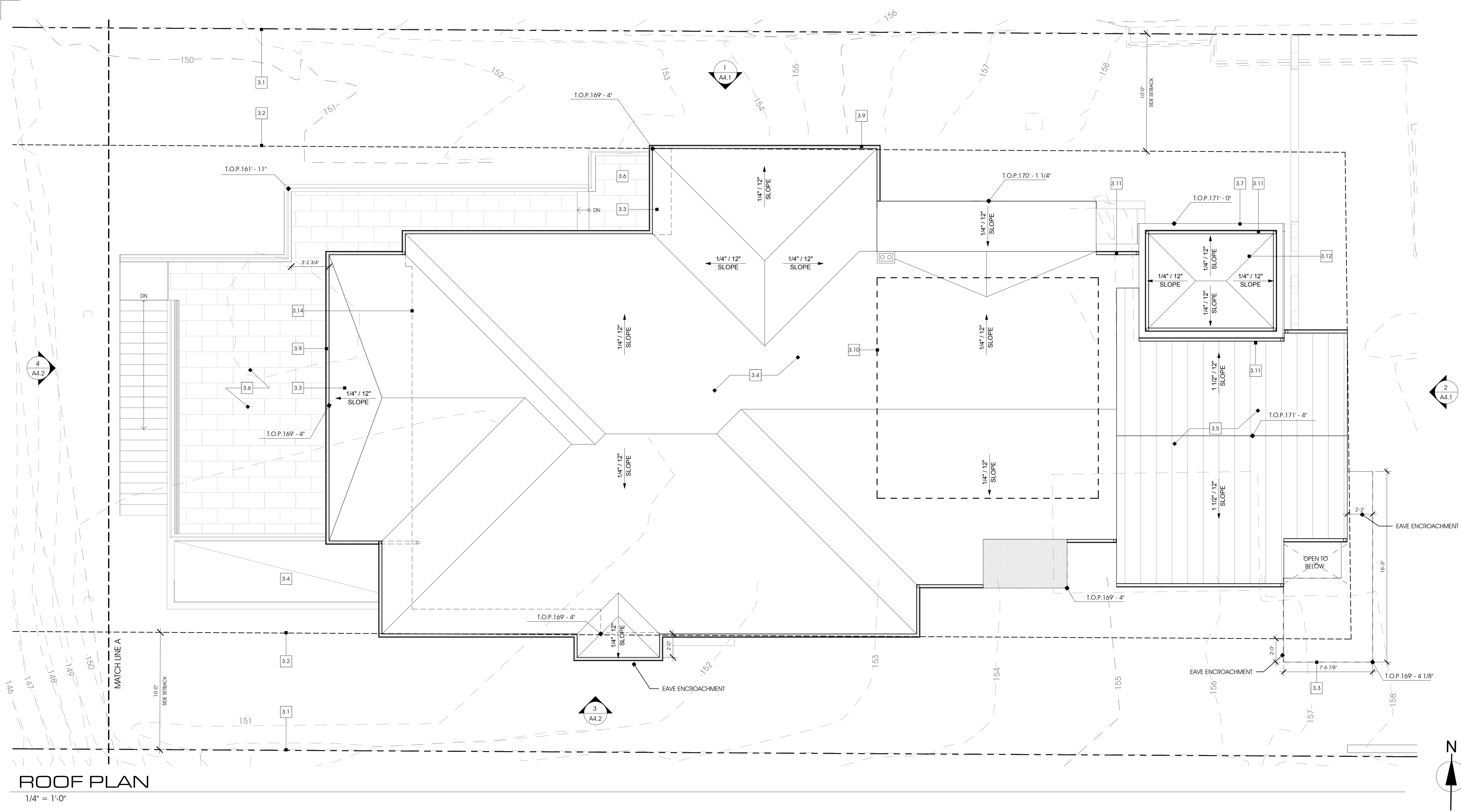
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11/30/2020	4TH DRP/SDP REVIEW

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F.A.R. DIAGRAM

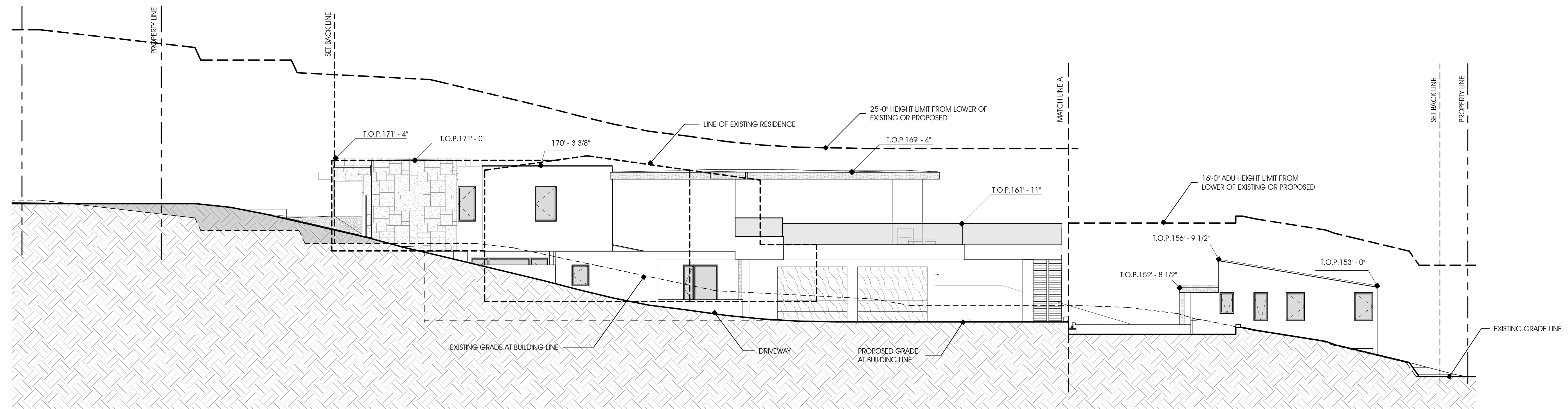
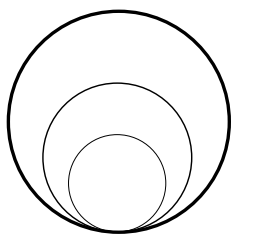


ROOF PLAN

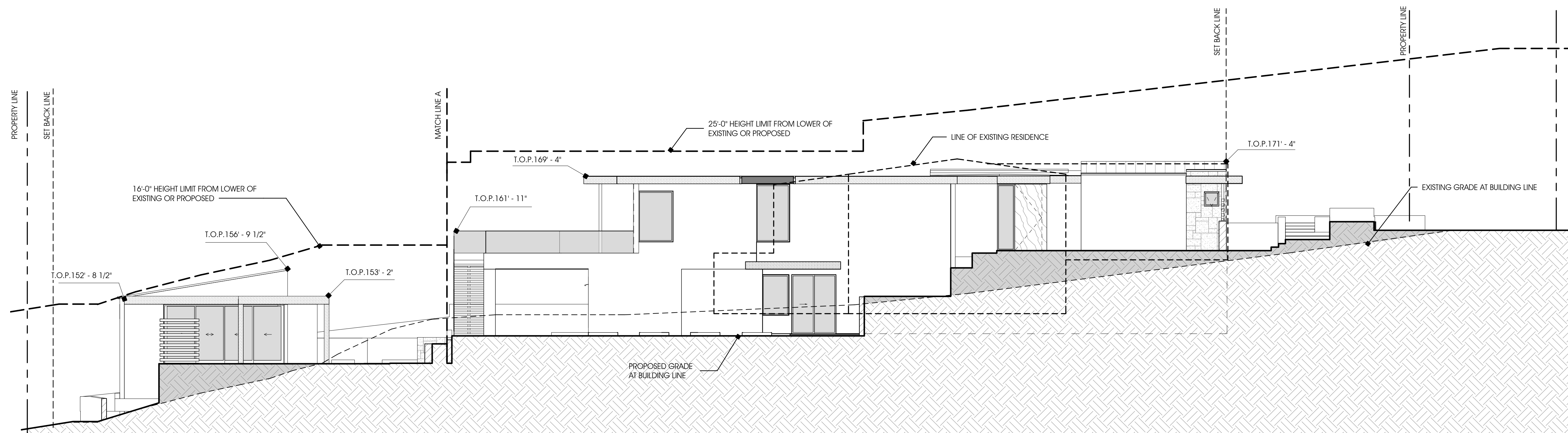
1/4" = 1'-0"

KEYNOTES

- 3.1 PROPERTY LINE, TYP.
- 3.2 SETBACK LINE, TYP.
- 3.3 OVERHANG
- 3.4 B.U.R. ROOFING WITH DECORATIVE GRAVEL TOPPING
- 3.5 METAL ROOF
- 3.6 TILE DECK BELOW
- 3.7 PARAPET WALL
- 3.9 GUTTER, TYP.
- 3.10 SOLAR PANELS, TYP.
- 3.11 CONCEALED GUTTER, TYP.
- 3.12 STONE TILE CLADDING, SLOPE TO DRAIN



1 NORTH SIDE ELEVATION
1/8" = 1'-0"



2 SOUTH SIDE ELEVATION
1/8" = 1'-0"

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GLADNICK RESIDENCE
537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

REVISIONS

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PHASE
PLANNING SET

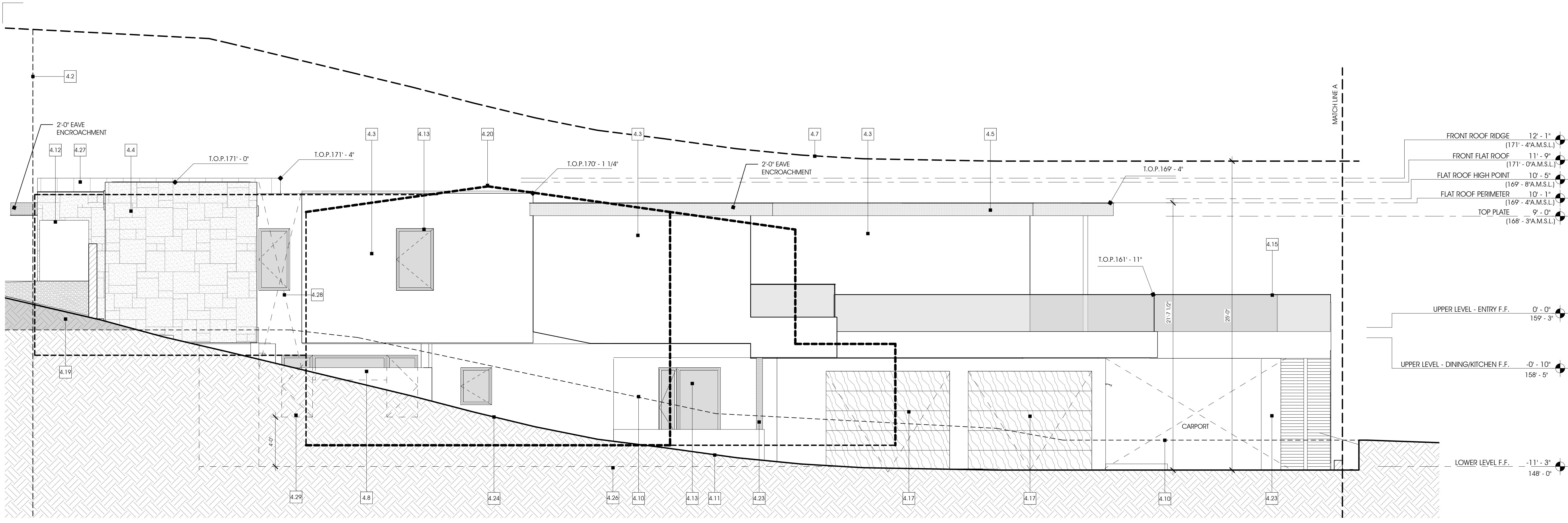
DATE

09/25/2020

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19-09

EXTERIOR ELEVATIONS

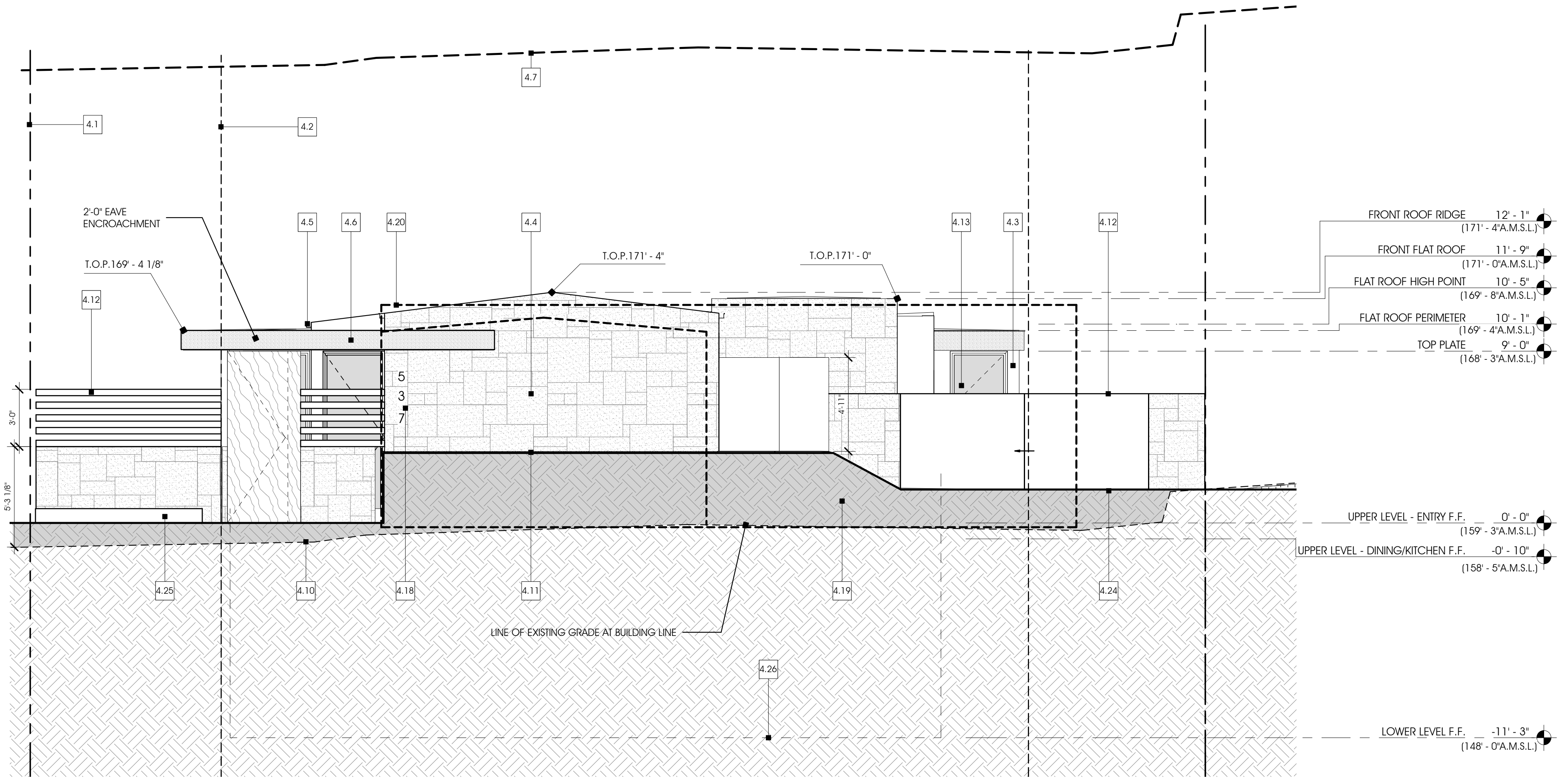


- FRONT ROOF RIDGE 12' - 1" (171' - 4"A.M.S.L.)
- FRONT FLAT ROOF 11' - 9" (171' - 0"A.M.S.L.)
- FLAT ROOF HIGH POINT 10' - 5" (169' - 8"A.M.S.L.)
- FLAT ROOF PERIMETER 10' - 1" (169' - 4"A.M.S.L.)
- TOP PLATE 9' - 0" (168' - 3"A.M.S.L.)

- UPPER LEVEL - ENTRY F.F. 0' - 0" (159' - 3")
- UPPER LEVEL - DINING/KITCHEN F.F. 0' - 10" (158' - 5")
- LOWER LEVEL F.F. -11' - 3" (148' - 0")

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1 NORTH ELEVATION
1/4" = 1'-0"



- FRONT ROOF RIDGE 12' - 1" (171' - 4"A.M.S.L.)
- FRONT FLAT ROOF 11' - 9" (171' - 0"A.M.S.L.)
- FLAT ROOF HIGH POINT 10' - 5" (169' - 8"A.M.S.L.)
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- TOP PLATE 9' - 0" (168' - 3"A.M.S.L.)

- UPPER LEVEL - ENTRY F.F. 0' - 0" (159' - 3"A.M.S.L.)
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- LOWER LEVEL F.F. -11' - 3" (148' - 0"A.M.S.L.)

KEYNOTES

- 4.1 PROPERTY LINE, TYP.
- 4.2 SETBACK LINE, TYP.
- 4.3 2 COAT ACRYLIC SYNERGY SMOOTH STUCCO FINISH, DARK COLOR
- 4.4 STONE VENEER
- 4.5 GUTTER
- 4.6 KYNAR FINISH ALUMINUM FASCIA
- 4.7 LINE OF 25'-0" HEIGHT LIMIT FOR MAIN HOUSE AND 16'-0" FOR ADU FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.8 RETAINING WALL PER CIVIL
- 4.10 LINE OF EXISTING GRADE AT BUILDING LINE
- 4.11 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.12 FENCE AND GATE PER PLAN AND LANDSCAPE PLAN
- 4.13 WINDOW/ DOOR TYP.
- 4.15 42" HIGH GLASS GUARDRAIL
- 4.17 GARAGE DOOR
- 4.18 ADDRESS NUMBERS, PER CITY STANDARD
- 4.19 FILL TYP.
- 4.20 LINE OF EXISTING RESIDENCE
- 4.23 SUPPORT COLUMNS
- 4.24 DRIVEWAY
- 4.25 RAISED PLANTER
- 4.26 LINE OF LOWER LEVEL BELOW
- 4.27 METAL ROOF, PER ROOF PLAN
- 4.28 OPEN TO SKY ABOVE FOR EGRESS FROM BASEMENT
- 4.29 EGRESS WINDOW

NOTE:
THE ACCESSORY DWELLING UNIT SHALL UTILIZE THE SAME ARCHITECTURAL STYLE, EXTERIOR MATERIALS, AND COLORS AS THE PRIMARY DWELLING UNIT, PURSUANT TO SBMC SECTION 17.20.040.D.4.n.i

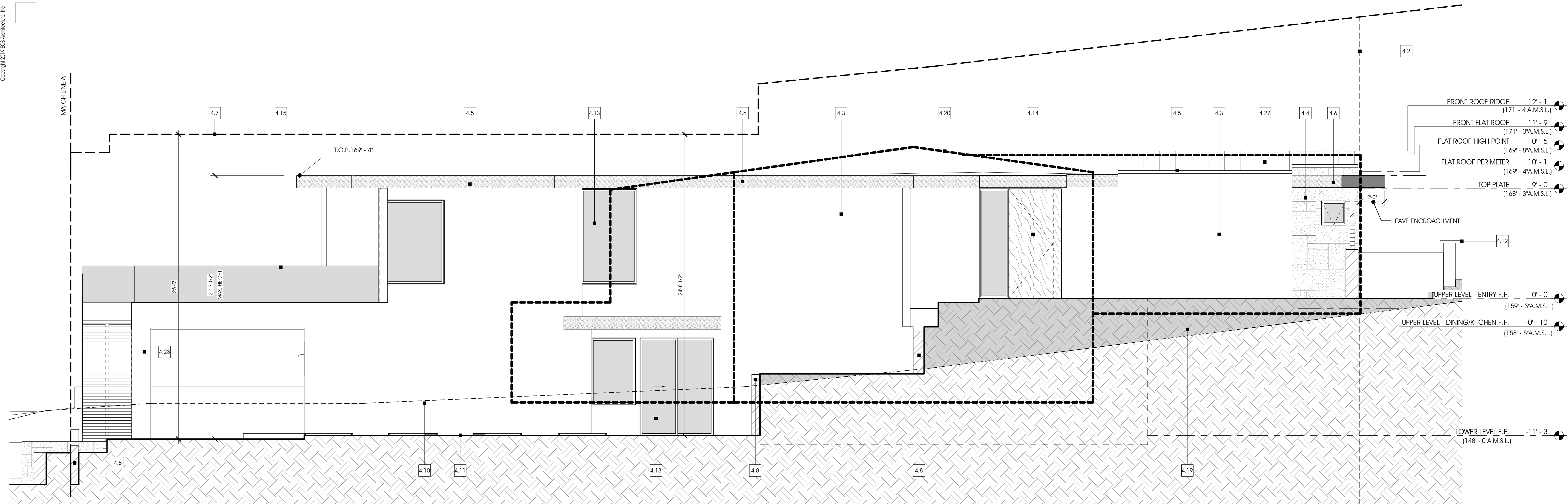
2 EAST ELEVATION
1/4" = 1'-0"

GLADNICK RESIDENCE
537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

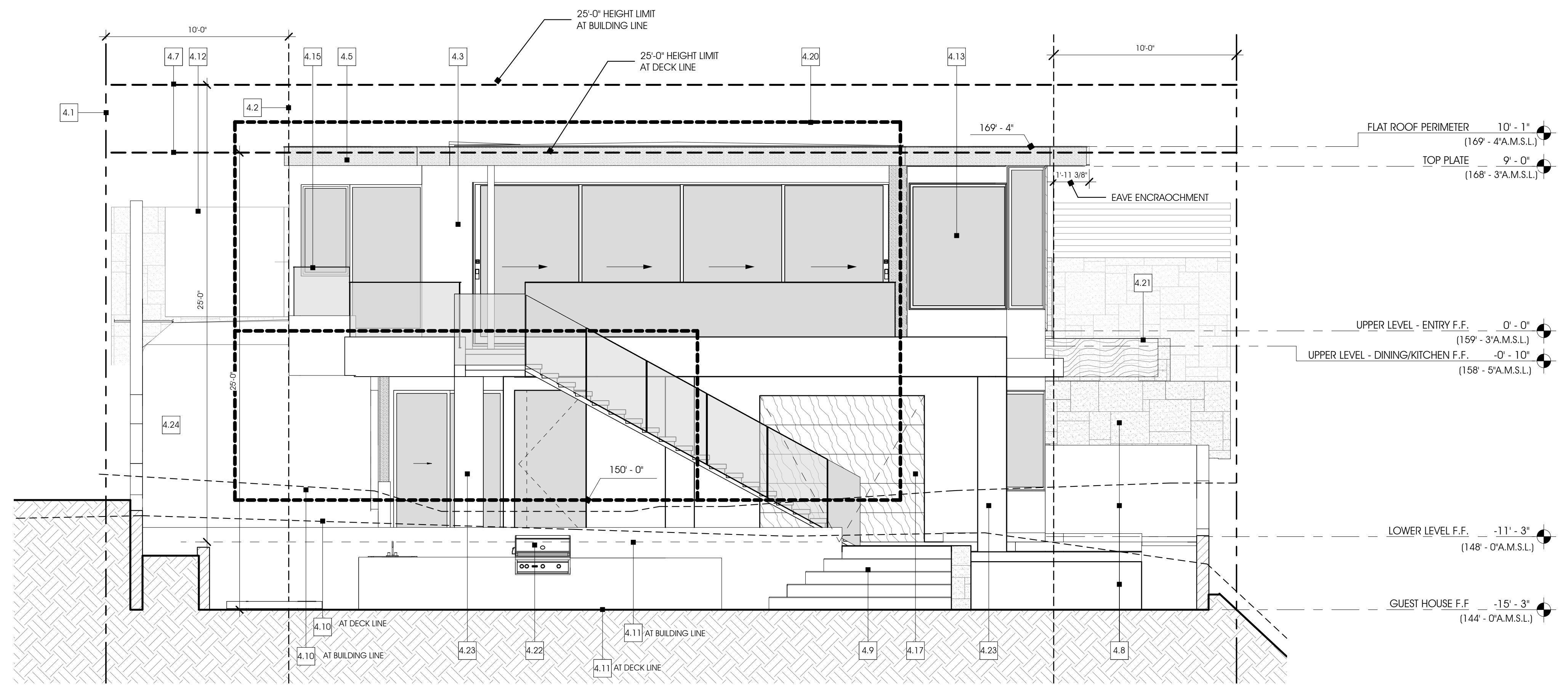
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EXTERIOR ELEVATIONS



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

KEYNOTES

- 4.1 PROPERTY LINE, TYP.
- 4.2 SETBACK LINE, TYP.
- 4.3 2 COAT ACRYLIC SYNERGY SMOOTH STUCCO FINISH, DARK COLOR
- 4.4 STONE VENEER
- 4.5 GUTTER
- 4.6 KYNAR FINISH ALUMINUM FASCIA
- 4.7 LINE OF 25'-0" HEIGHT LIMIT FOR MAIN HOUSE AND 16'-0" FOR ADU FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.8 RETAINING WALL PER CIVIL
- 4.9 SITE STAIR PER CIVIL/LANDSCAPE PLANS
- 4.10 LINE OF EXISTING GRADE AT BUILDING LINE
- 4.11 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.12 FENCE AND GATE PER PLAN AND LANDSCAPE PLAN
- 4.13 WINDOW/ DOOR TYP.
- 4.14 ENTRY DOOR
- 4.15 42" HIGH GLASS GUARDRAIL
- 4.17 GARAGE DOOR
- 4.19 FILL TYP.
- 4.20 LINE OF EXISTING RESIDENCE
- 4.21 POOL/WATER FEATURE
- 4.22 BBQ
- 4.23 SUPPORT COLUMNS
- 4.24 DRIVEWAY
- 4.27 METAL ROOF, PER ROOF PLAN

NOTE:
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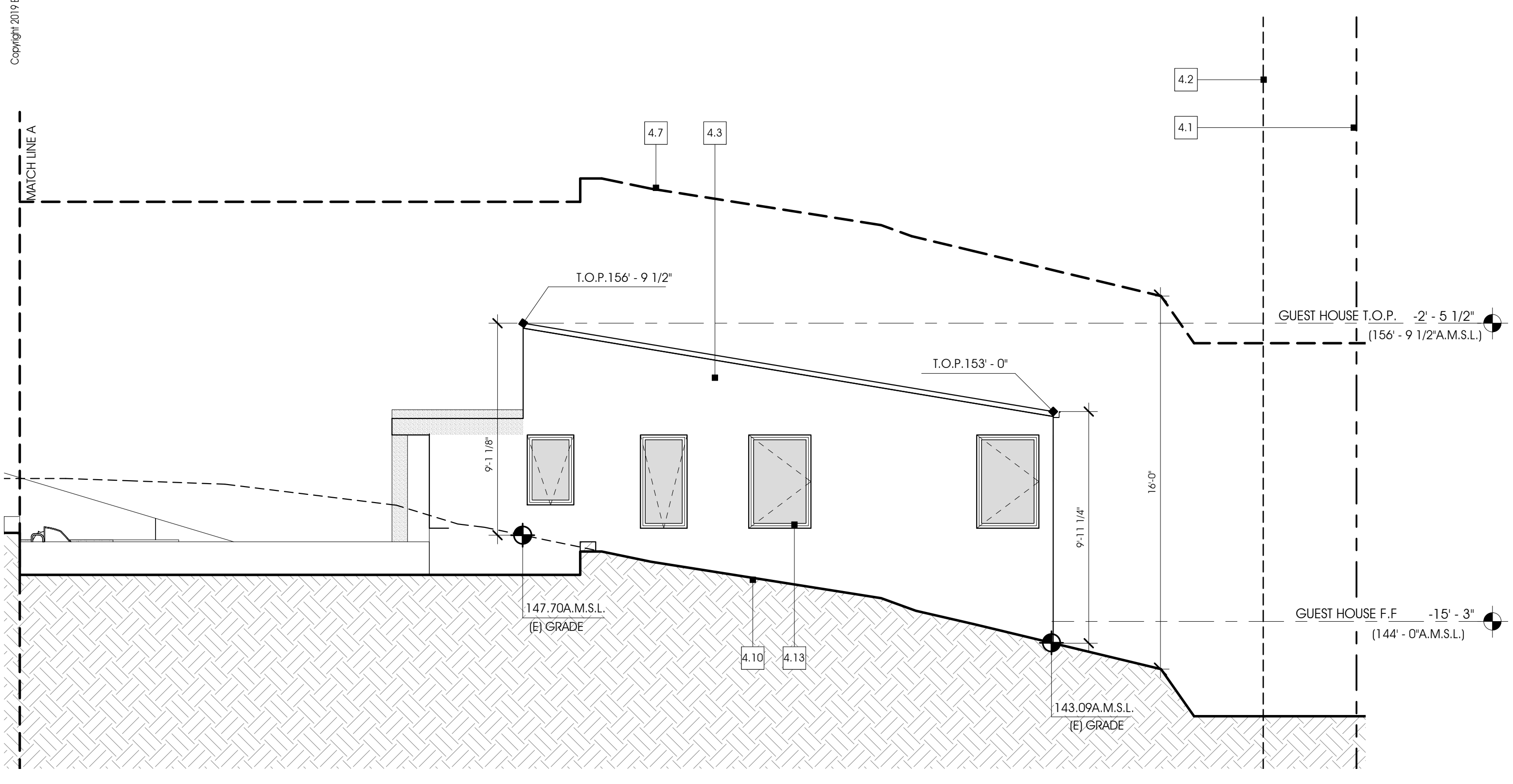
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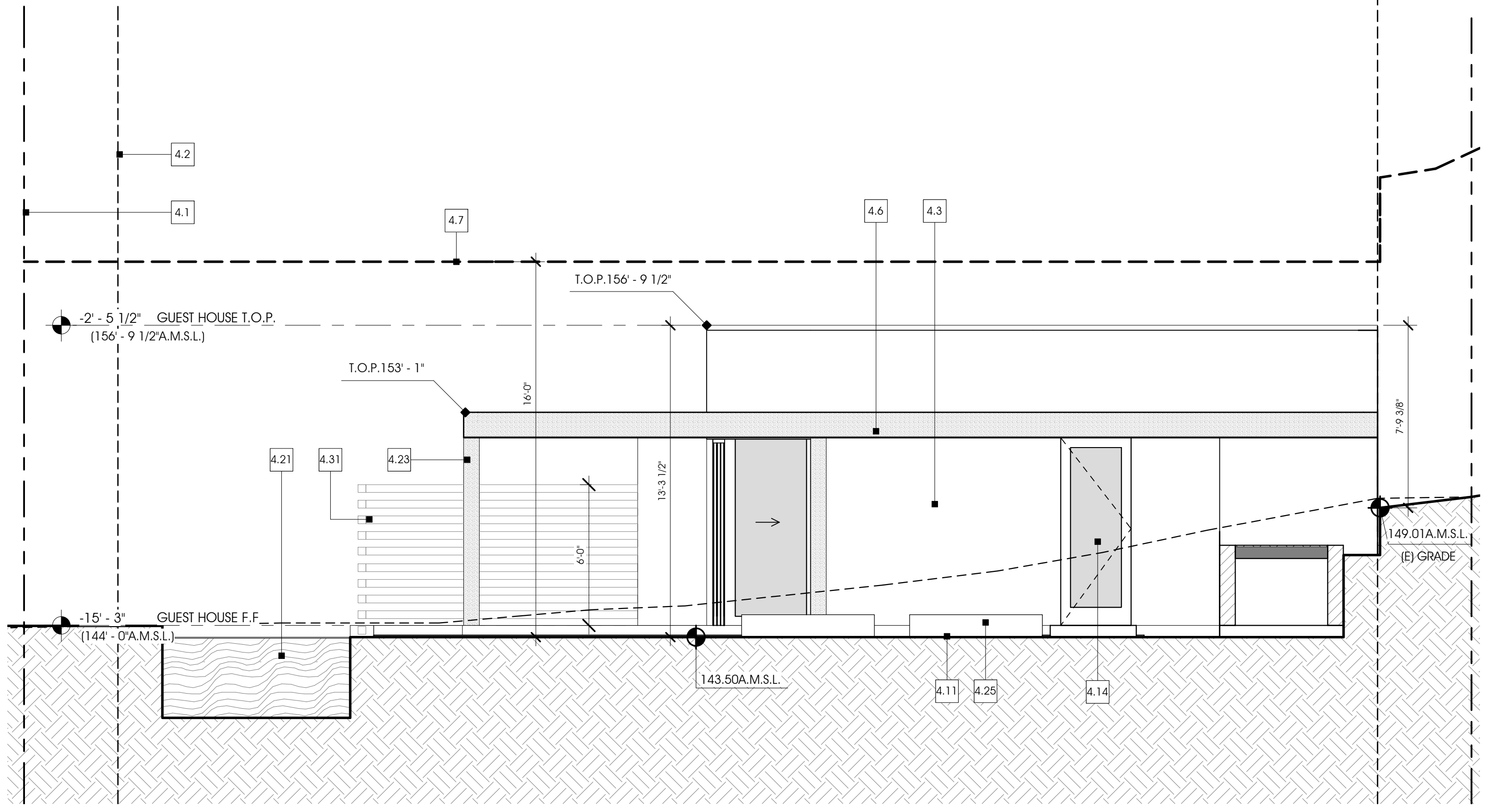
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EXTERIOR ELEVATIONS

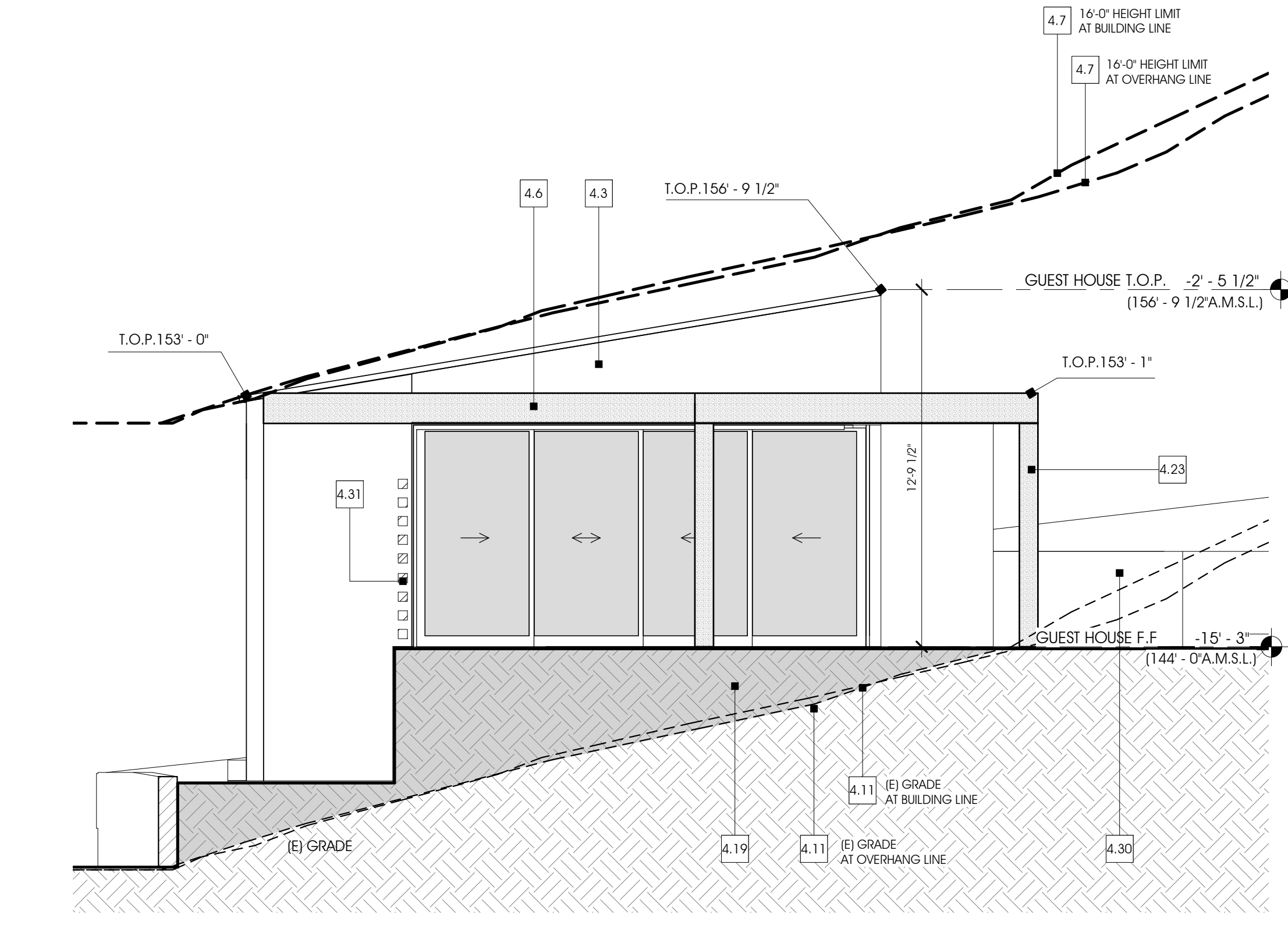
A4.2



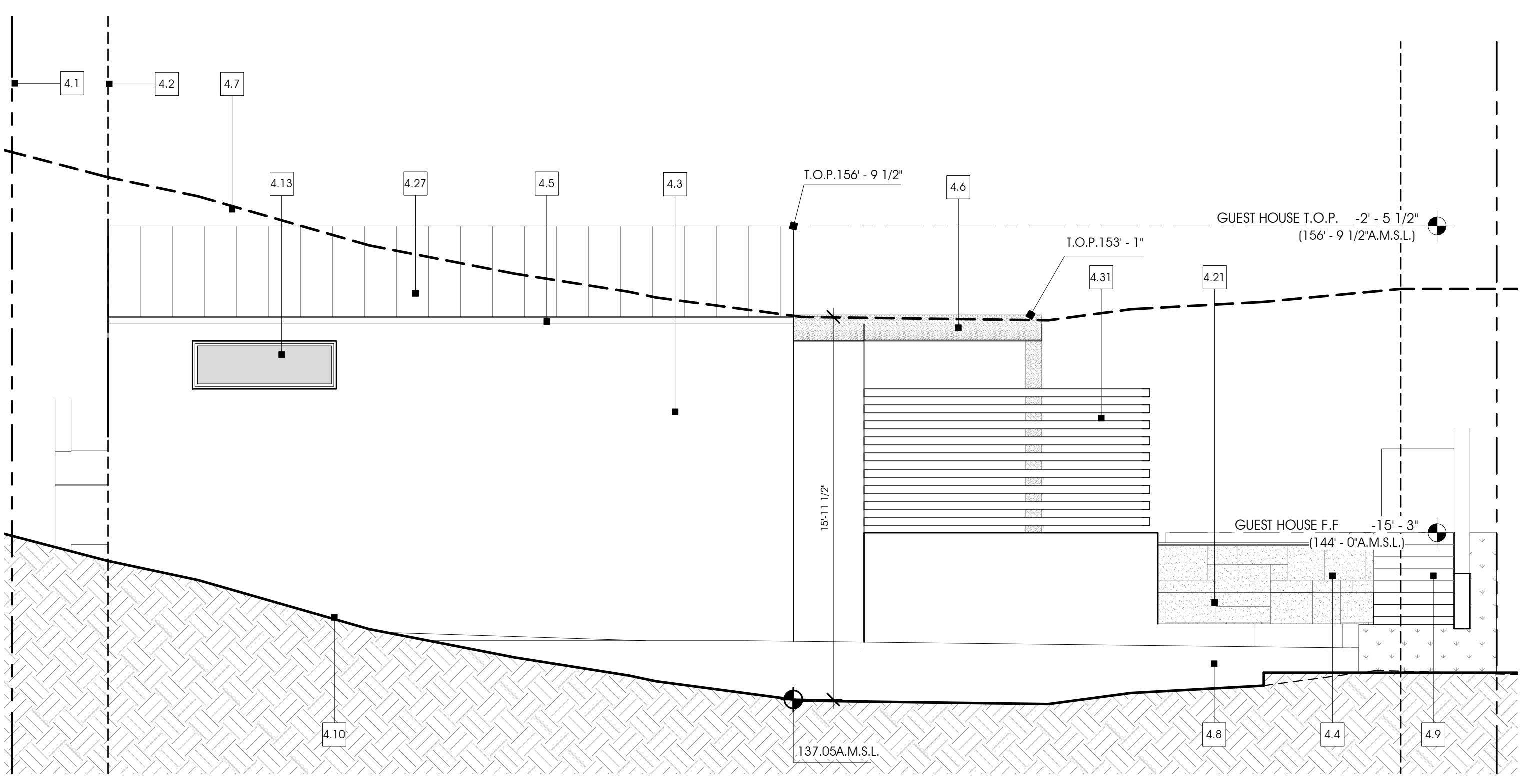
5 ADU - NORTH ELEVATION
1/4" = 1'-0"



6 ADU - EAST ELEVATION
1/4" = 1'-0"



7 ADU - SOUTH ELEVATION
1/4" = 1'-0"



8 ADU - WEST ELEVATION
1/4" = 1'-0"

KEYNOTES

- 4.1 PROPERTY LINE, TYP.
- 4.2 SETBACK LINE, TYP.
- 4.3 2 COAT ACRYLIC SYNERGY SMOOTH STUCCO FINISH, DARK COLOR
- 4.4 STONE VENEER
- 4.5 GUTTER
- 4.6 KYNAR FINISH ALUMINUM FASCIA
- 4.7 LINE OF 25'-0" HEIGHT LIMIT FOR MAIN HOUSE AND 16'-0" FOR ADU FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.8 RETAINING WALL PER CIVIL
- 4.9 SITE STAIR PER CIVIL/LANDSCAPE PLANS
- 4.10 LINE OF EXISTING GRADE AT BUILDING LINE
- 4.11 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.13 WINDOW/ DOOR TYP.
- 4.14 ENTRY DOOR
- 4.19 FILL TYP.
- 4.21 POOL/WATER FEATURE
- 4.23 SUPPORT COLUMNS
- 4.25 RAISED PLANTER
- 4.27 METAL ROOF, PER ROOF PLAN
- 4.30 POOL EQUIPMENT LOCATION
- 4.31 6'-0" HIGH TRELLIS GUARDRAIL

NOTE:
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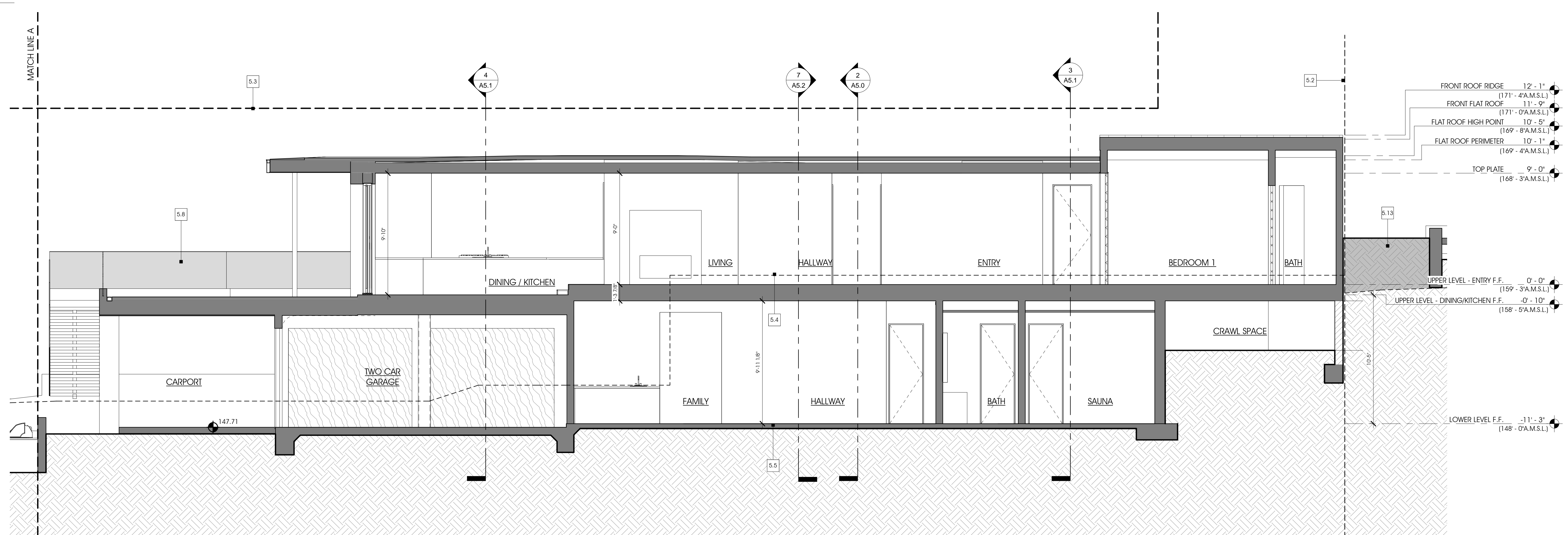
GLADNICK RESIDENCE
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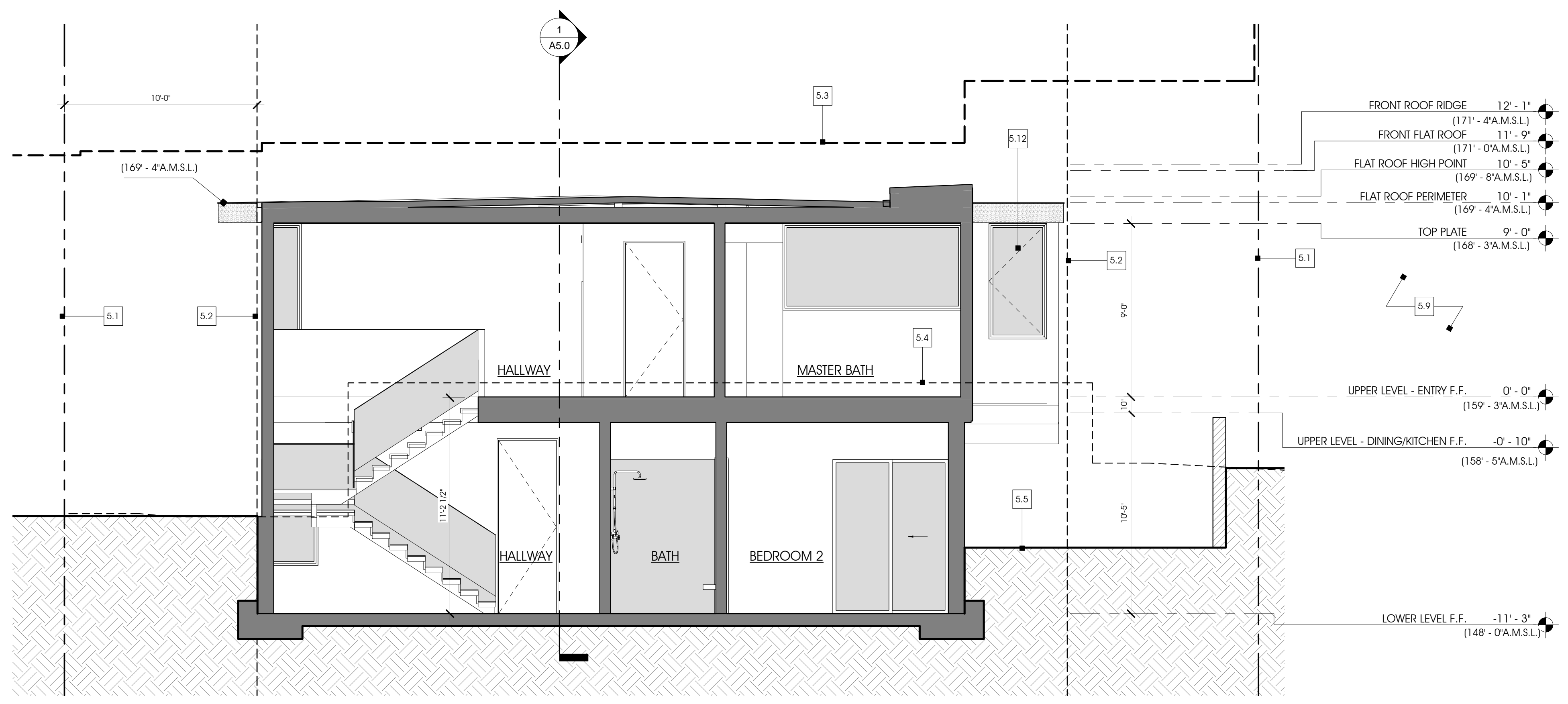
EXTERIOR ELEVATIONS

A4.3



1 BUILDING SECTION
1/4" = 1'-0"

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2 BUILDING SECTION
1/4" = 1'-0"

KEYNOTES

- 5.1 PROPERTY LINE, TYP.
- 5.2 SETBACK LINE, TYP.
- 5.3 LINE OF 25'-0" HEIGHT LIMIT FOR MAIN HOUSE AND 16'-0" FOR ADU FROM LOWER OF EXISTING OR PROPOSED GRADE
- 5.4 LINE OF EXISTING GRADE AT BUILDING LINE
- 5.5 LINE OF PROPOSED GRADE AT BUILDING LINE
- 5.8 42" HIGH GLASS GUARDRAIL
- 5.9 ADJACENT RESIDENCE, NAP.
- 5.12 WINDOW/DOOR TYP.
- 5.13 FILL TYP.

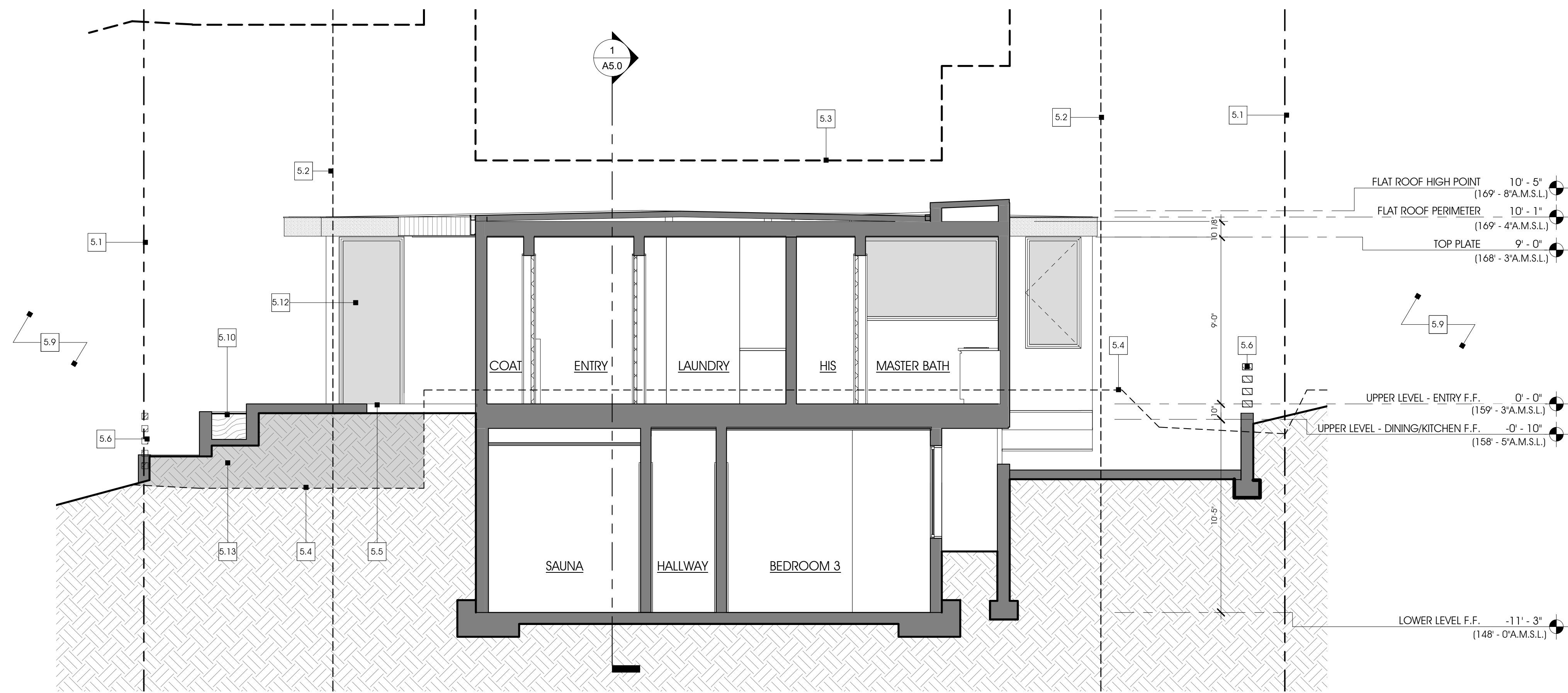
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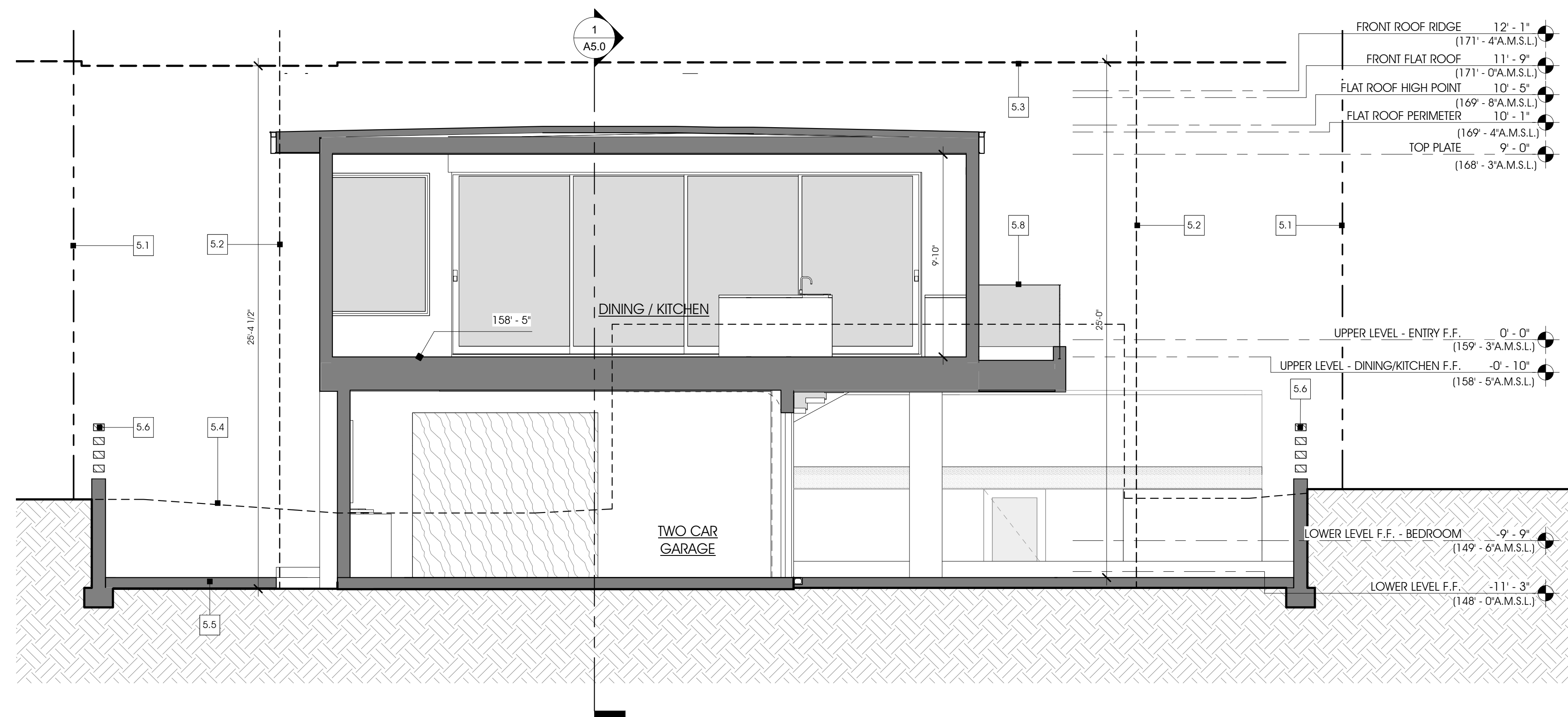
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BUILDING SECTIONS

A5.0



3 BUILDING SECTION
1/4" = 1'-0"



4 BUILDING SECTION
1/4" = 1'-0"

KEYNOTES

- 5.1 PROPERTY LINE, TYP.
- 5.2 SETBACK LINE, TYP.
- 5.3 LINE OF 25'-0" HEIGHT LIMIT FOR MAIN HOUSE AND 16'-0" FOR ADU FROM LOWER OF EXISTING OR PROPOSED GRADE
- 5.4 LINE OF EXISTING GRADE AT BUILDING LINE
- 5.5 LINE OF PROPOSED GRADE AT BUILDING LINE
- 5.6 FENCE PER PLANS
- 5.8 42" HIGH GLASS GUARDRAIL
- 5.9 ADJACENT RESIDENCE, NAP.
- 5.10 POOL / REFLECTION POOL PER PLAN
- 5.12 WINDOW/DOOR TYP.
- 5.13 FILL TYP.

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PHASE

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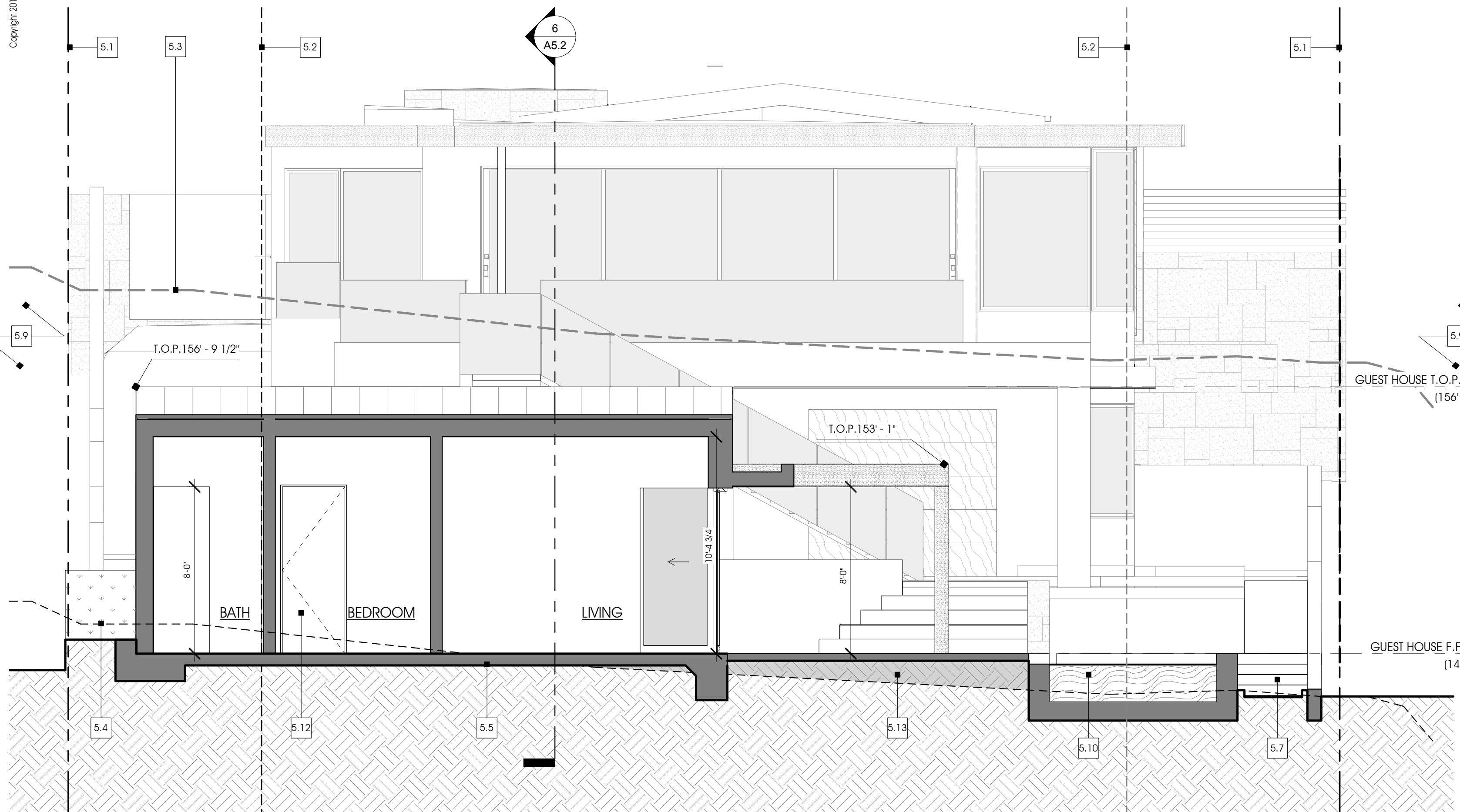
DATE

09/25/2020

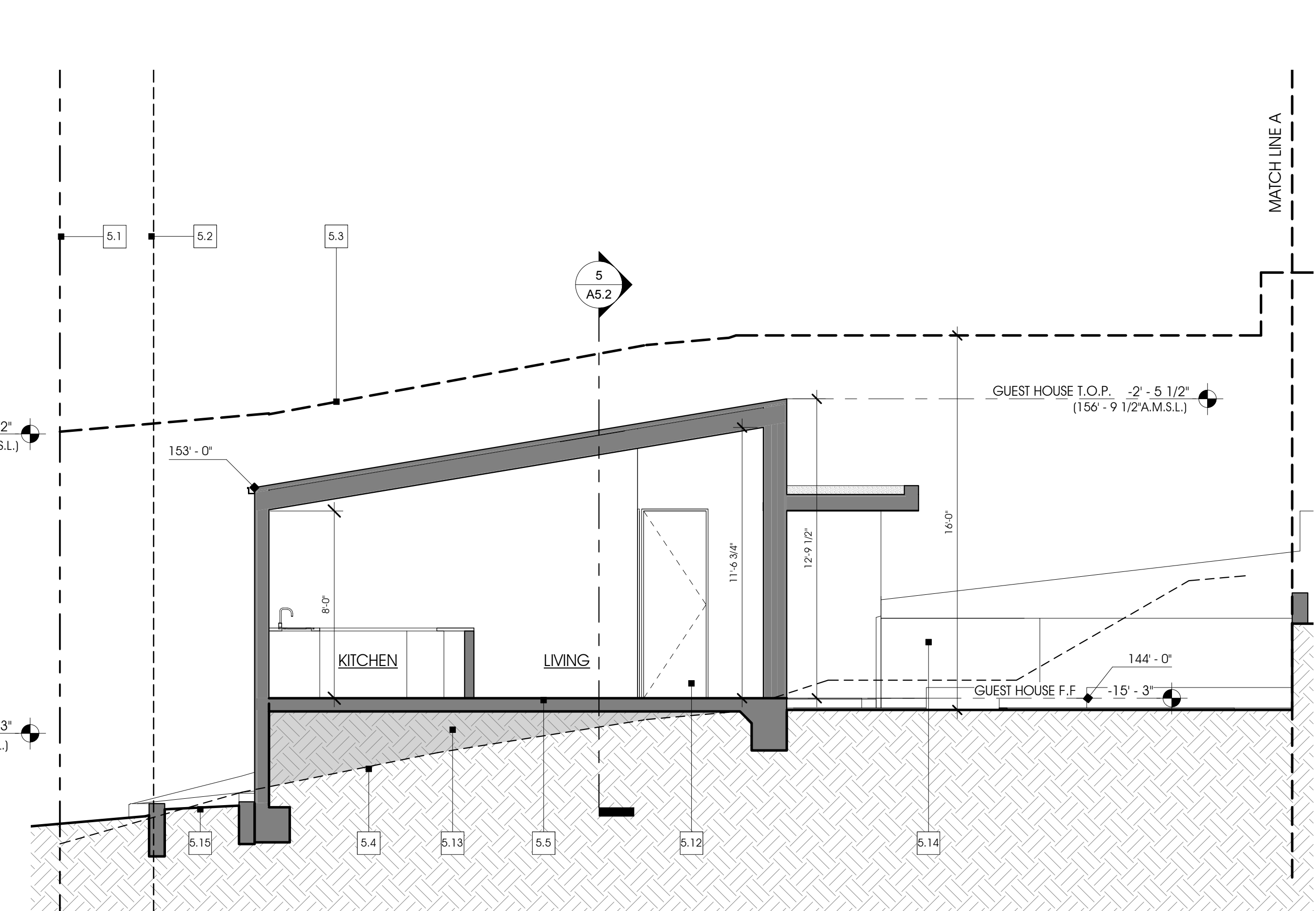
JOB NO.

19-09

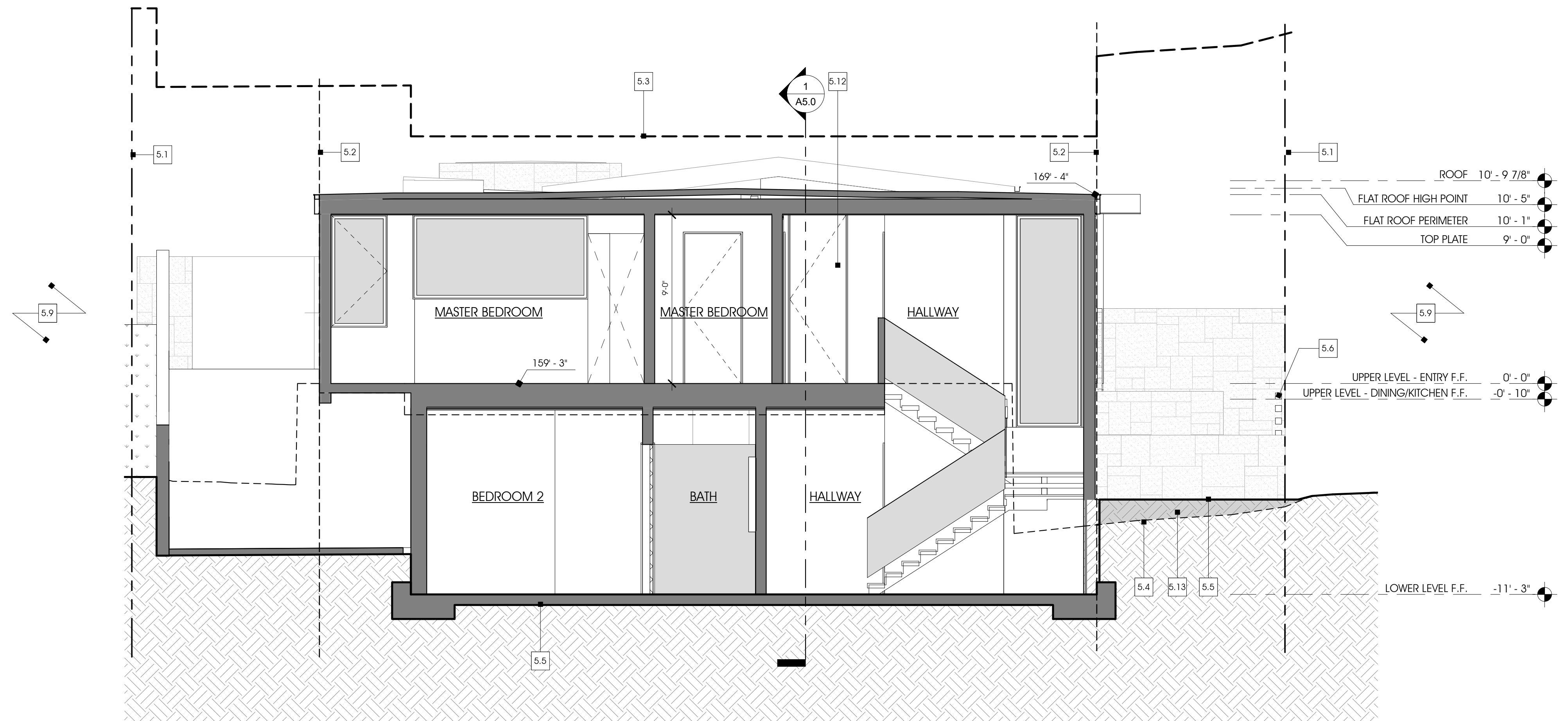
BUILDING SECTIONS



5 BUILDING SECTION
1/4" = 1'-0"



6 BUILDING SECTION
1/4" = 1'-0"



7 BUILDING SECTION
1/4" = 1'-0"

KEYNOTES

- 5.1 PROPERTY LINE, TYP.
- 5.2 SETBACK LINE, TYP.
- 5.3 LINE OF 25'-0" HEIGHT LIMIT FOR MAIN HOUSE AND 16'-0" FOR ADU FROM LOWER OF EXISTING OR PROPOSED GRADE
- 5.4 LINE OF EXISTING GRADE AT BUILDING LINE
- 5.5 LINE OF PROPOSED GRADE AT BUILDING LINE
- 5.6 FENCE PER PLANS
- 5.7 SITE STAIR PER CIVIL / LANDSCAPE
- 5.9 ADJACENT RESIDENCE, NAP.
- 5.10 POOL / REFLECTION POOL PER PLAN
- 5.12 WINDOW/DOOR TYP.
- 5.13 FILL TYP.
- 5.14 POOL EQUIPMENT LOCATION
- 5.15 PROPOSED BIO RETENTION BASIN PER CIVIL DRAWINGS

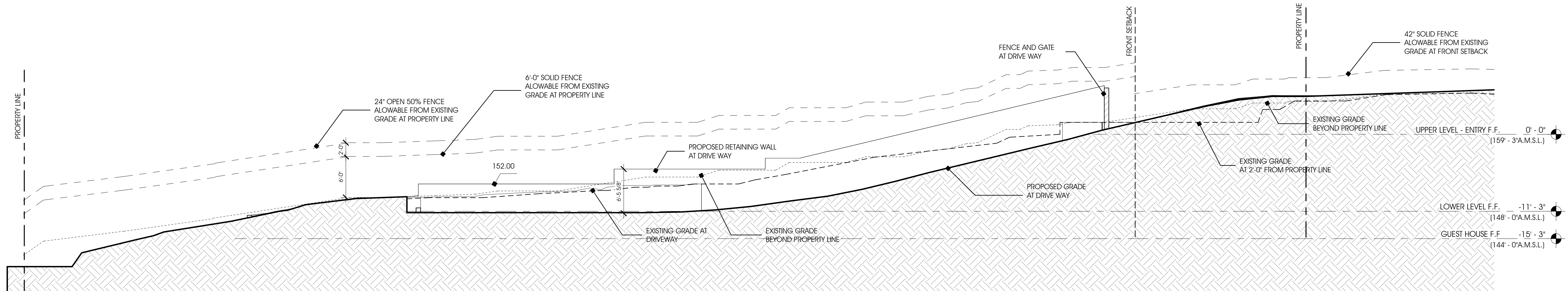
GLADNICK RESIDENCE
537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

REVISIONS
09/25/2020 1ST DRP/SDP REVIEW
07/07/2020 2ND DRP/SDP REVIEW
10/06/2020 3RD DRP/SDP REVIEW
11/30/2020 4TH DRP/SDP REVIEW

PHASE
PLANNING SET
DATE
09/25/2020
JOB NO.
19-09

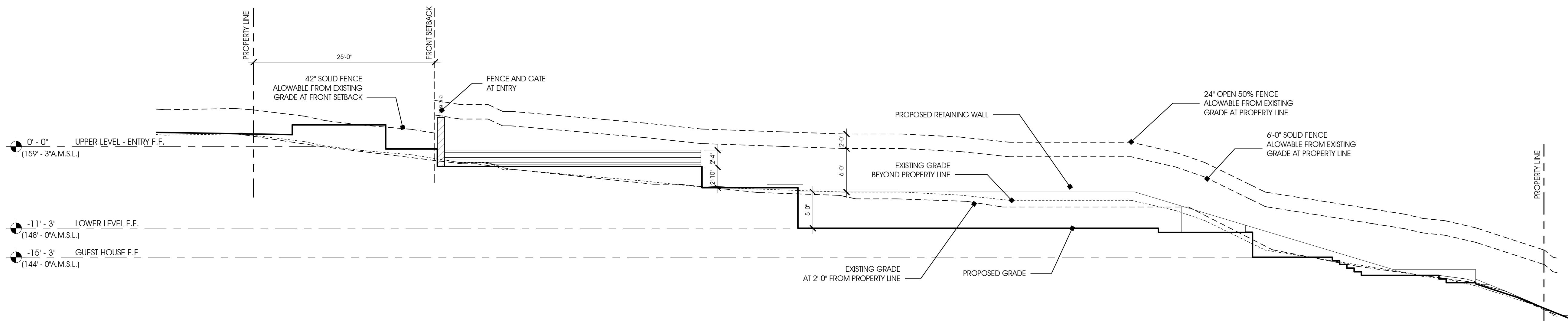
BUILDING SECTIONS

A5.2



SITE SECTION - NORTH SIDE

1/8" = 1'-0"



SIDE SECTION - SOUTH SIDE

1/8" = 1'-0"

SEE LANDSCAPE DRAWINGS FOR PROPOSED FENCE DESIGN

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537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

REVISIONS

09/25/2020	1ST DRP/SDP REVIEW
07/07/2020	2ND DRP/SDP REVIEW
10/06/2020	3RD DRP/SDP REVIEW
11/30/2020	4TH DRP/SDP REVIEW

PHASE
PLANNING SET

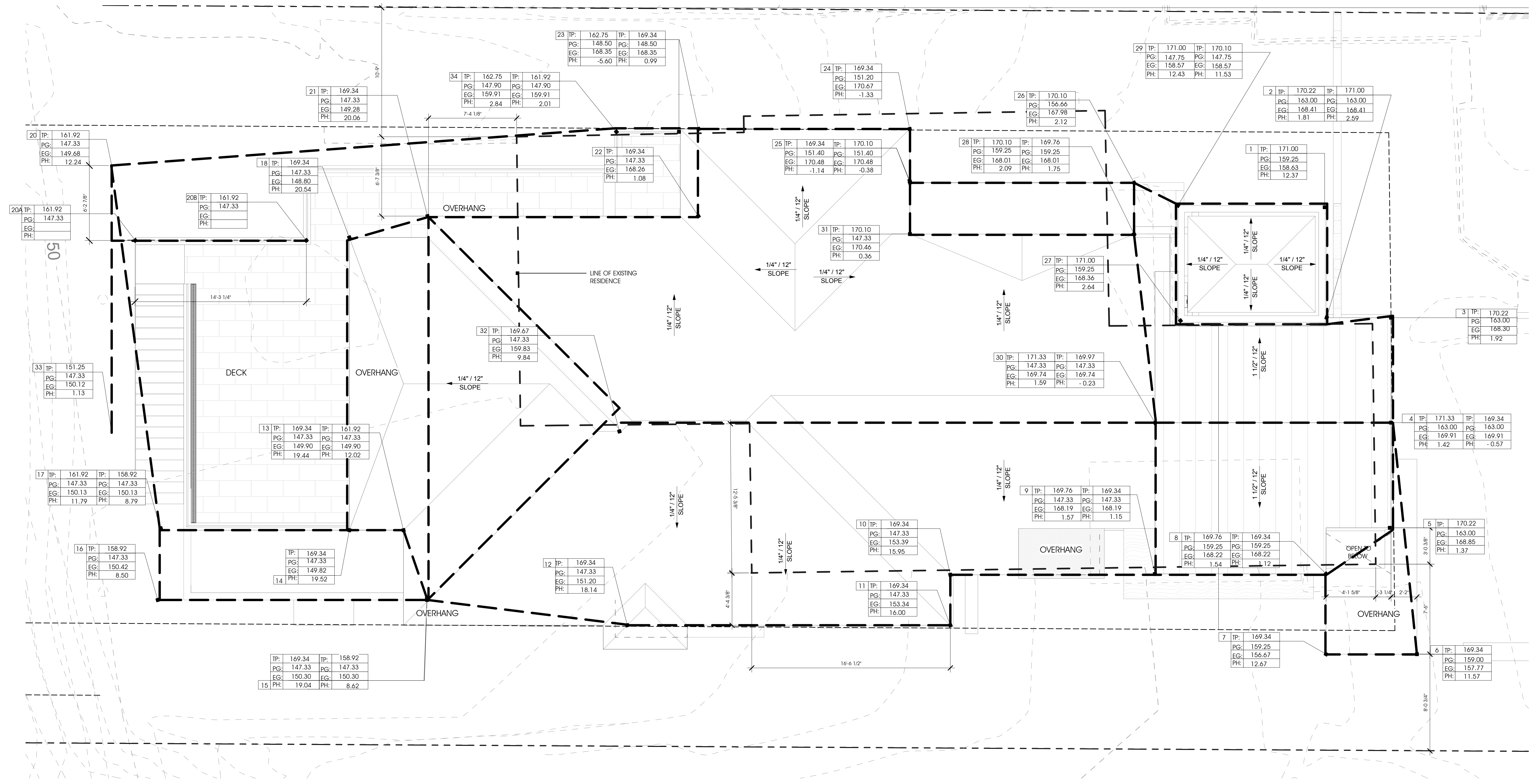
DATE

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SITE SECTION



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GLADNICK RESIDENCE
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REVISIONS

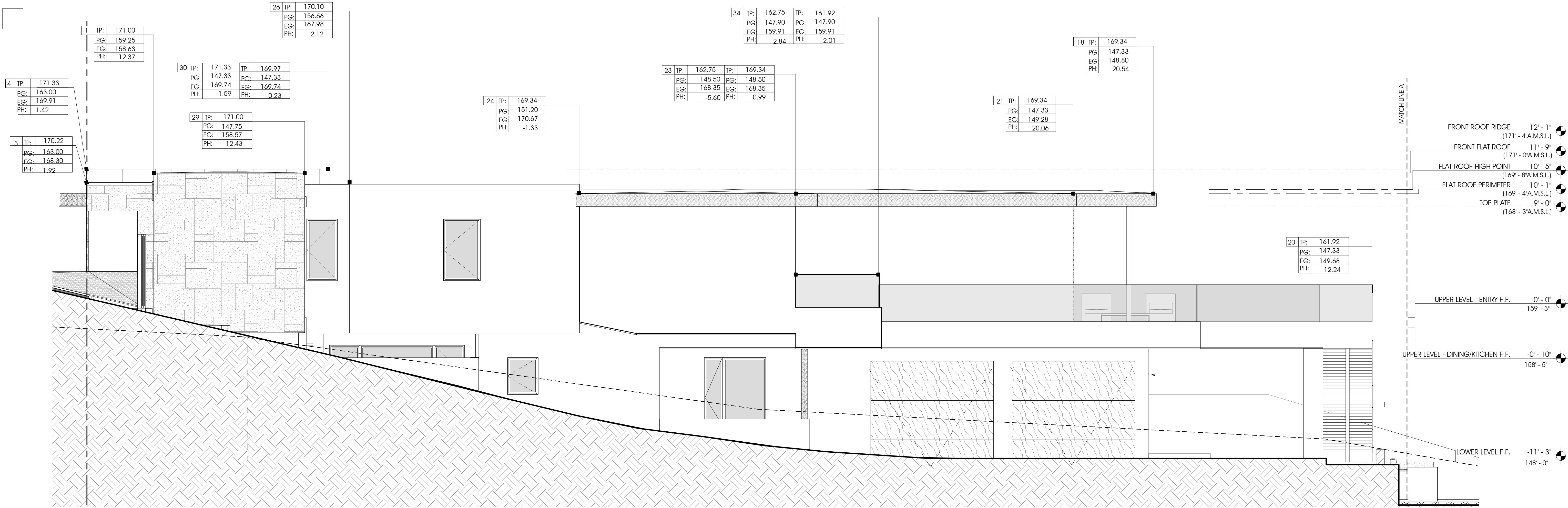
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07/07/2020	2ND DRP/SDP REVIEW
10/06/2020	3RD DRP/SDP REVIEW
11/30/2020	4TH DRP/SDP REVIEW

PHASE	DD SET
DATE	09/25/2020
JOB NO.	19-09

MAIN RESIDENCE STORY
POLES PLAN

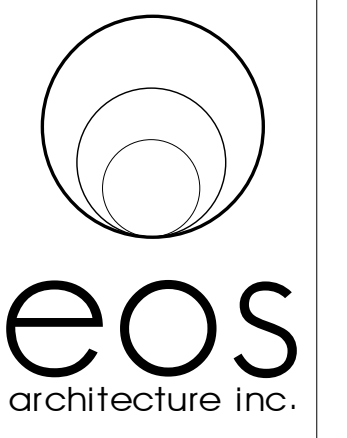
STORY POLE PLAN
1/4" = 1'-0"

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- FRONT ROOF RIDGE 12' - 1" (171' - 4"A.M.S.L.)
- FRONT FLAT ROOF 11' - 9" (171' - 0"A.M.S.L.)
- FLAT ROOF HIGH POINT 10' - 5" (169' - 8"A.M.S.L.)
- FLAT ROOF PERIMETER 10' - 1" (169' - 4"A.M.S.L.)
- TOP PLATE 9' - 0" (168' - 3"A.M.S.L.)

- UPPER LEVEL - ENTRY F.F. 0' - 0" (159' - 3")
- UPPER LEVEL - DINING/KITCHEN F.F. 0' - 10" (158' - 5")
- LOWER LEVEL F.F. -11' - 3" (148' - 0")



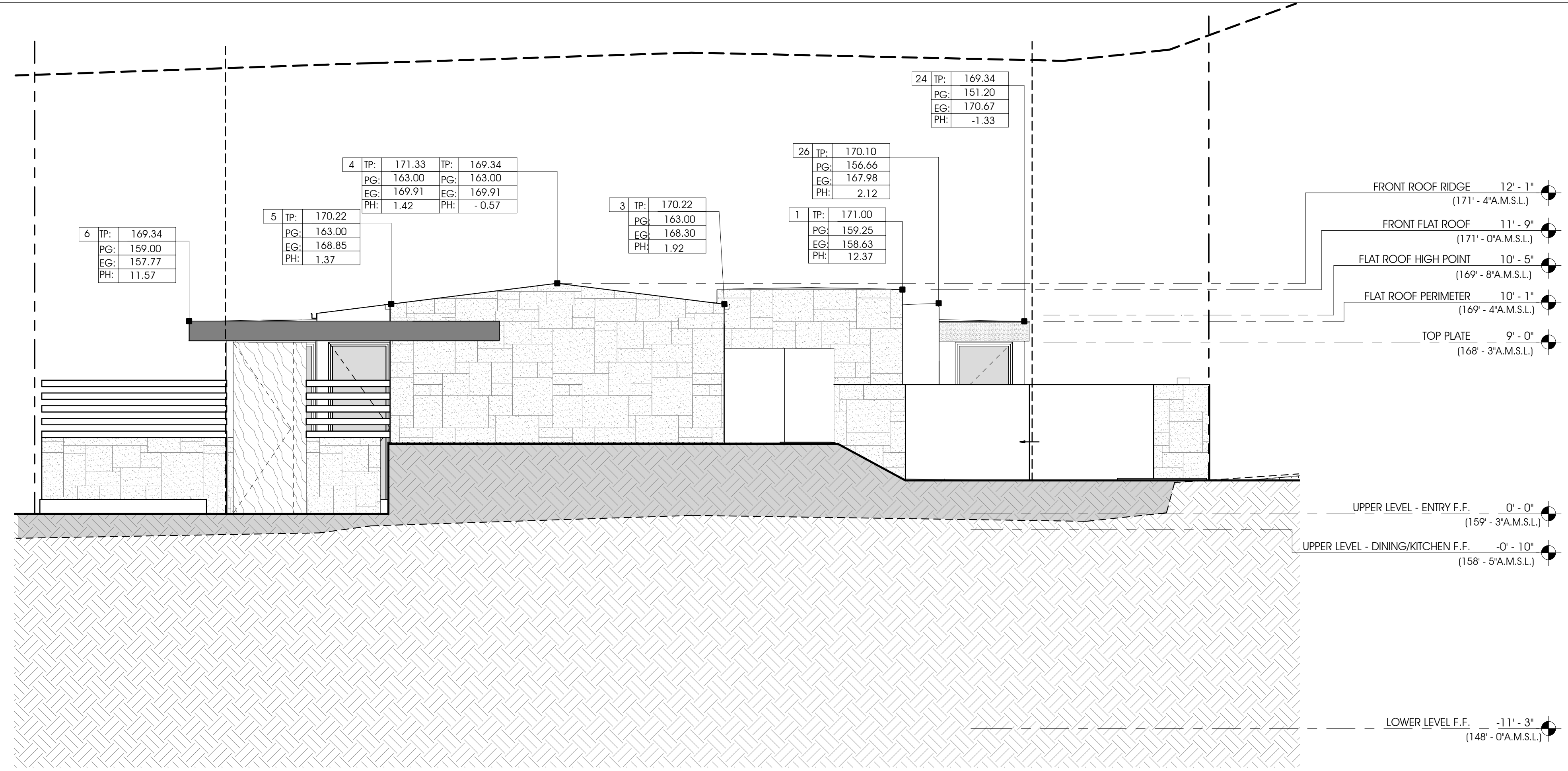
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LA JOLLA CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER BOLYN Architect

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STORY POLE - NORTH ELEVATION

1/4" = 1'-0"



- FRONT ROOF RIDGE 12' - 1" (171' - 4"A.M.S.L.)
- FRONT FLAT ROOF 11' - 9" (171' - 0"A.M.S.L.)
- FLAT ROOF HIGH POINT 10' - 5" (169' - 8"A.M.S.L.)
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- LOWER LEVEL F.F. -11' - 3" (148' - 0"A.M.S.L.)

STORY POLE - EAST ELEVATION

1/4" = 1'-0"

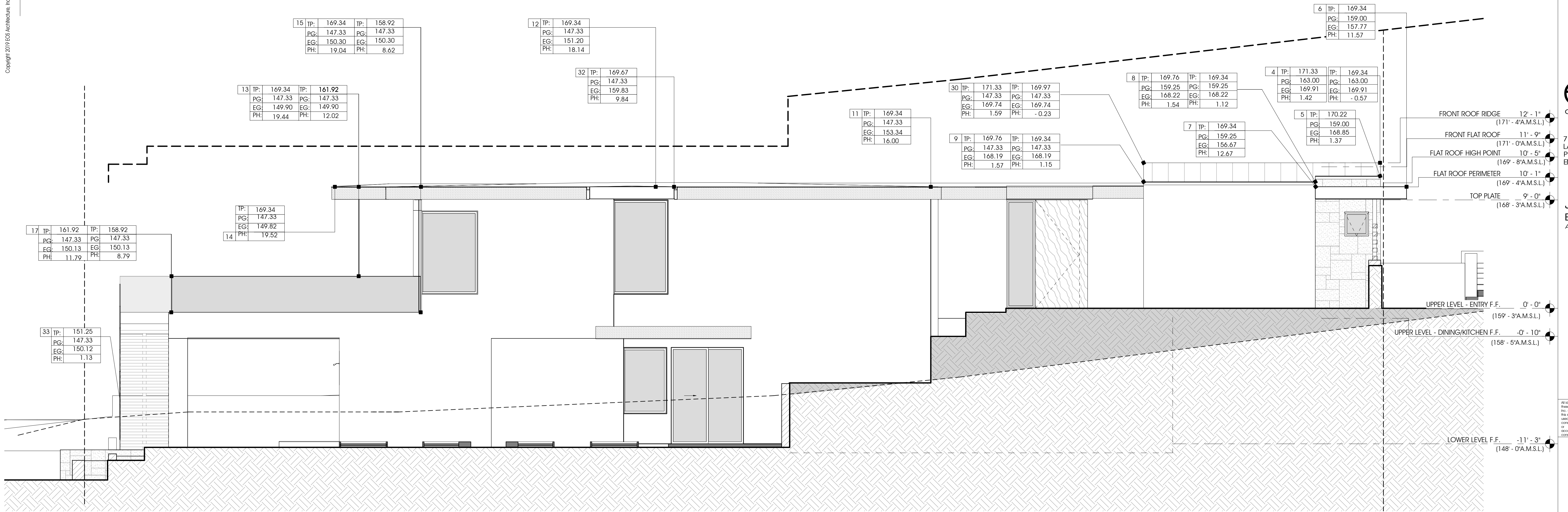
GLADNICK RESIDENCE
537 NORTH GRANADOS,
SOLANA BEACH, CA 92075

REVISIONS
09/25/2020 1ST DRP/SDP REVIEW
07/07/2020 2ND DRP/SDP REVIEW
10/06/2020 3RD DRP/SDP REVIEW
11/30/2020 4TH DRP/SDP REVIEW

PHASE	DD SET
DATE	09/25/2020
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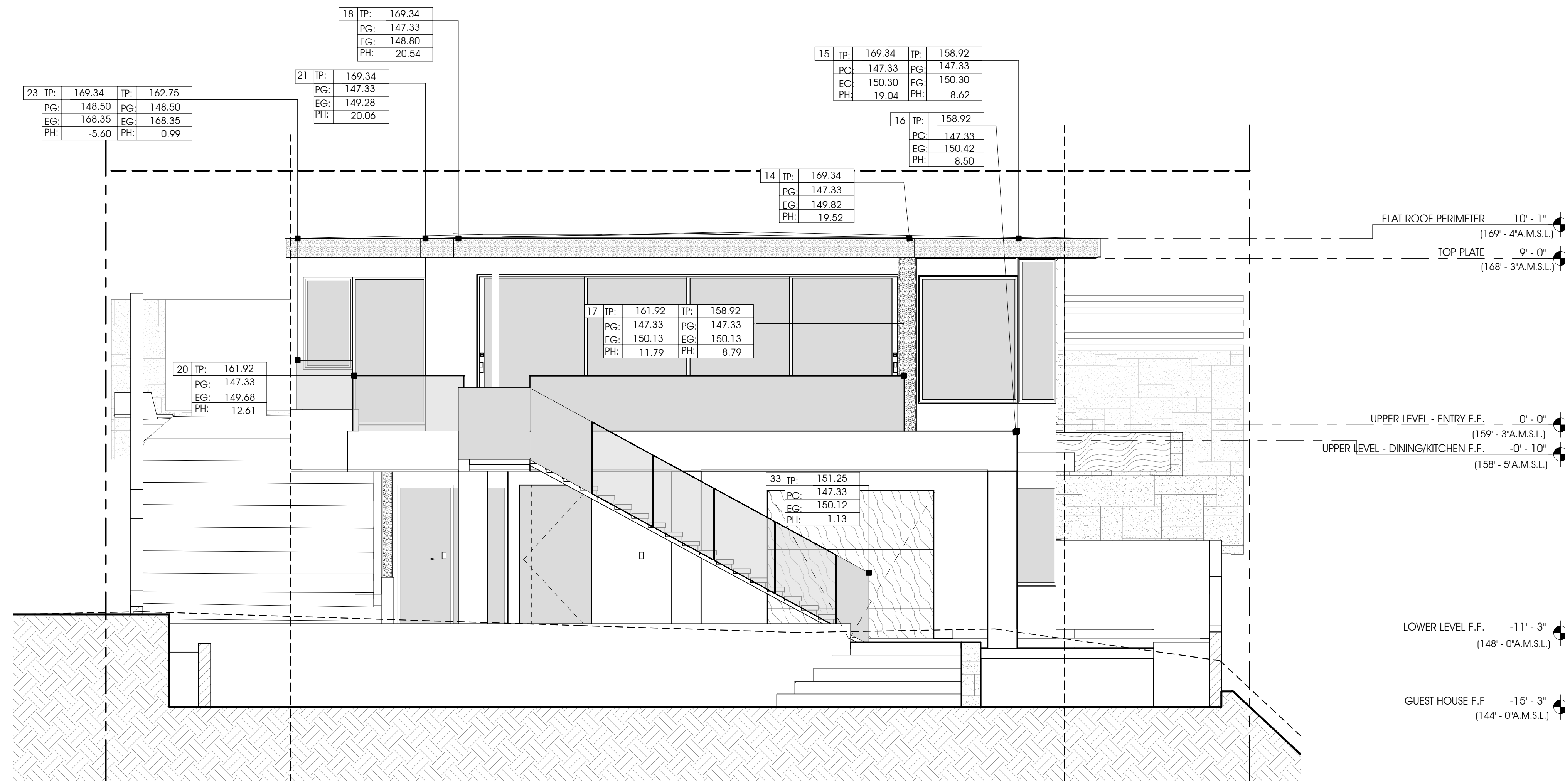
MAIN RESIDENCE STORY POLE ELEVATIONS

A6.1



STORY POLE - SOUTH ELEVATION

1/4" = 1'-0"



STORY POLE - WEST ELEVATION

1/4" = 1'-0"

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REVISIONS

09/25/2020	1ST DRP/SDP REVIEW
07/07/2020	2ND DRP/SDP REVIEW
10/06/2020	3RD DRP/SDP REVIEW
20/10/2020	1ST BUILDING SUBMITTAL
11/30/2020	4TH DRP/SDP REVIEW

PHASE

DD SET

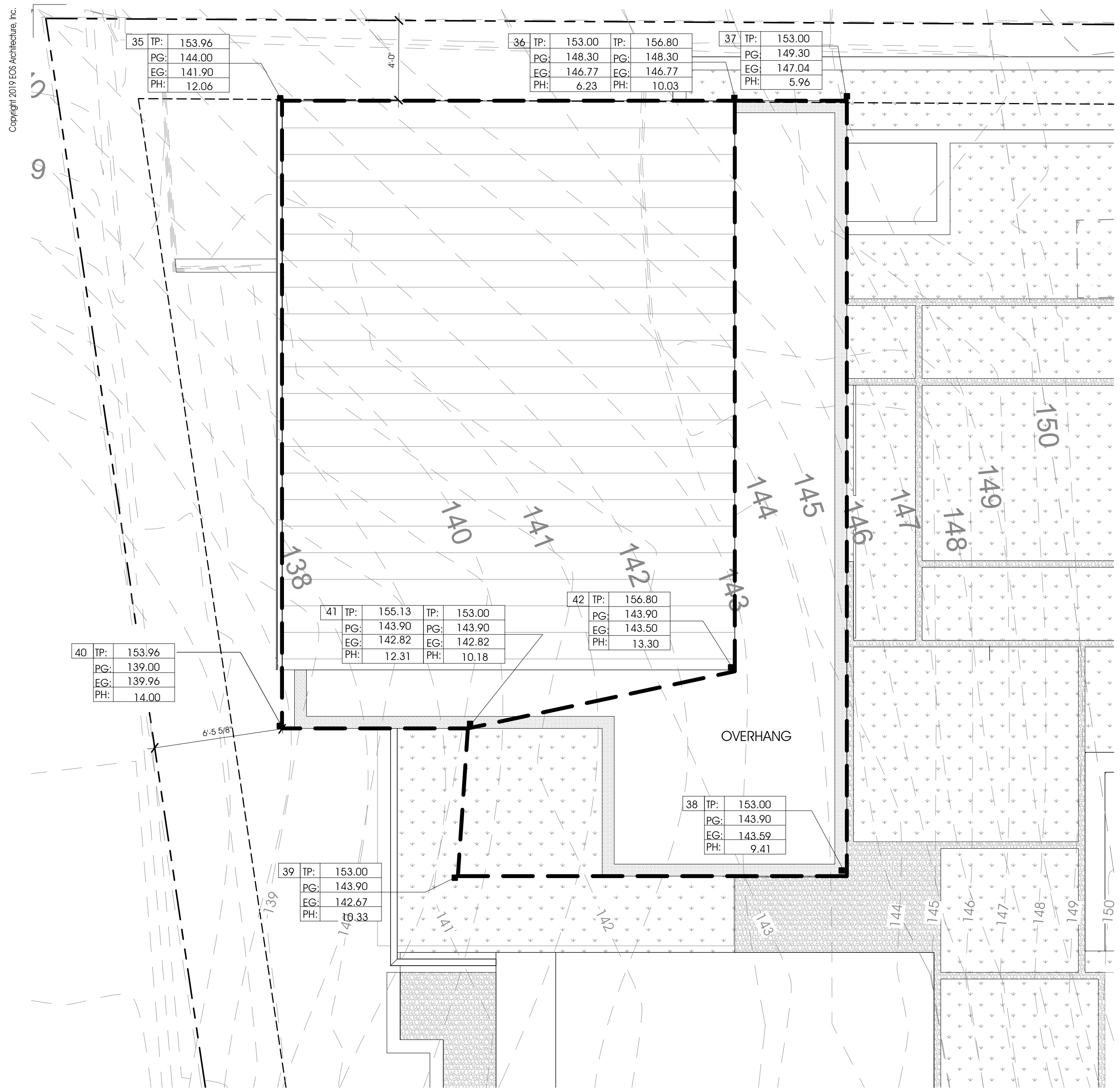
DATE

09/25/2020

JOB NO.

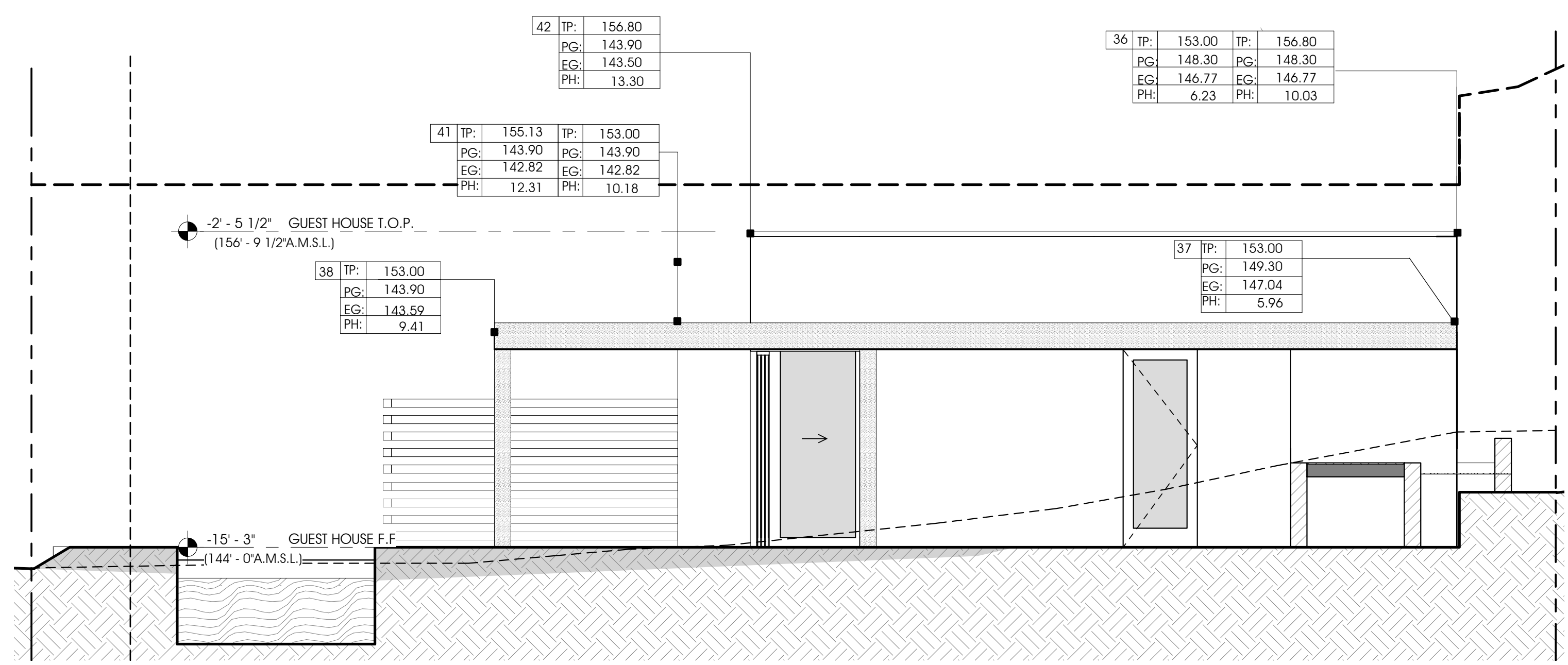
19-09

MAIN RESIDENCE STORY POLE ELEVATIONS



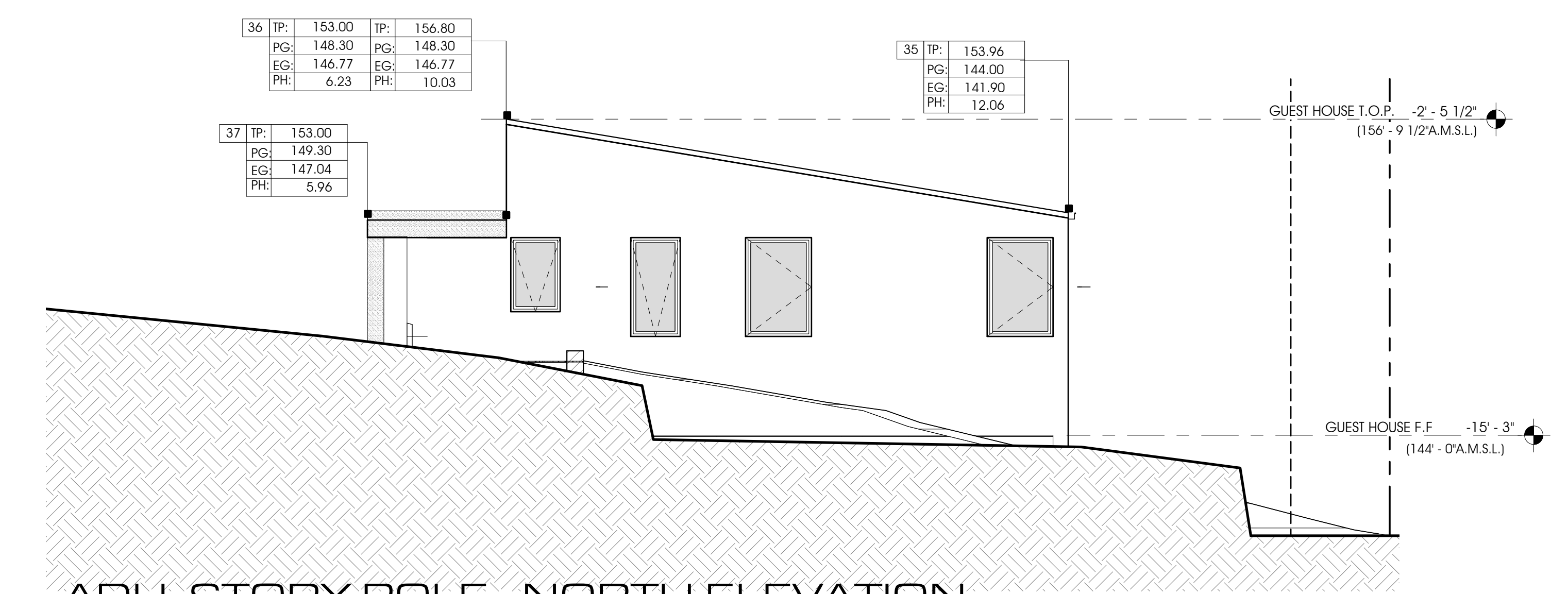
DETACHED ADU STORY POLE PLAN

1/4" = 1'-0"



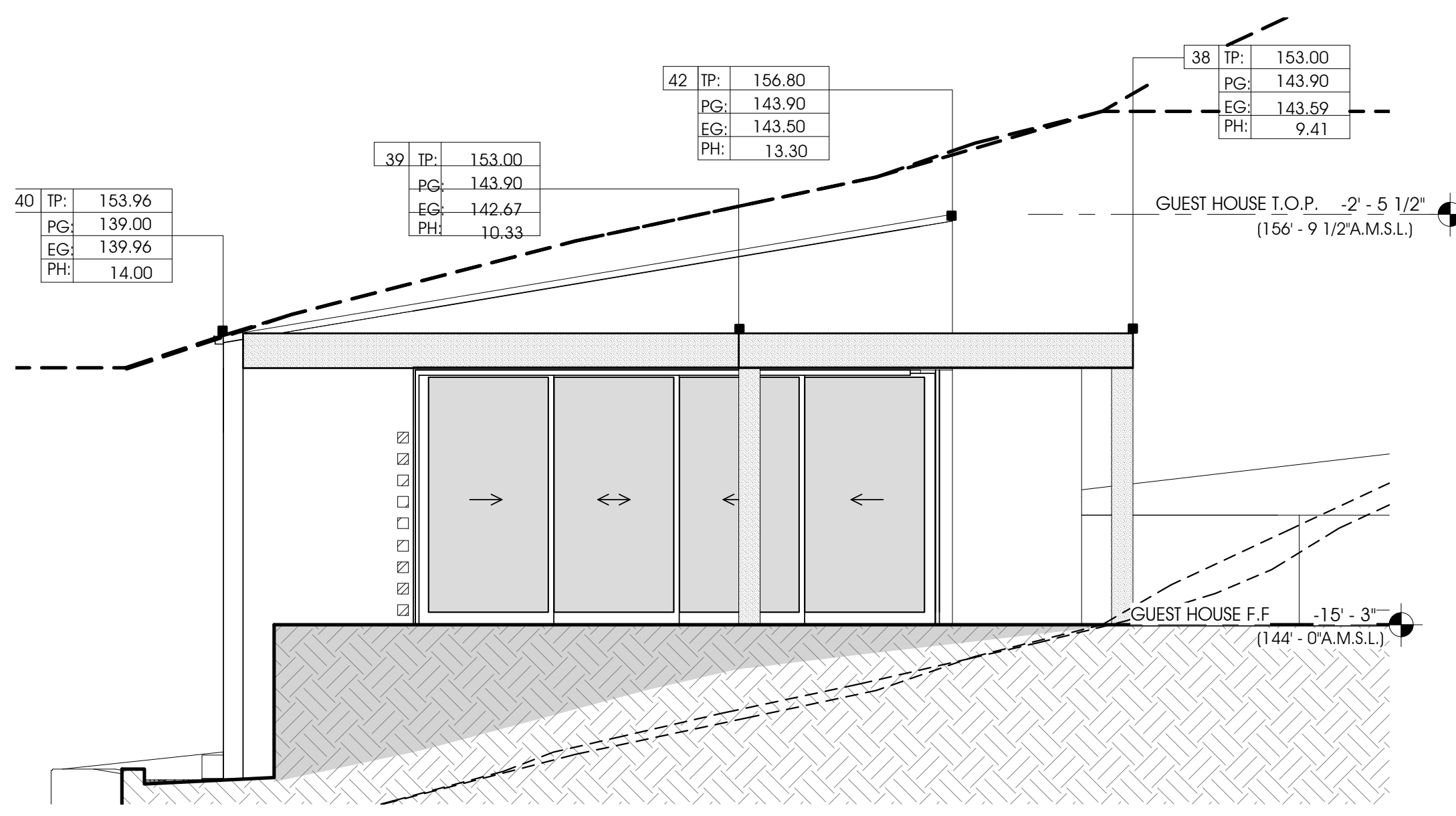
ADU STORY POLE - EAST ELEVATION

1/4" = 1'-0"



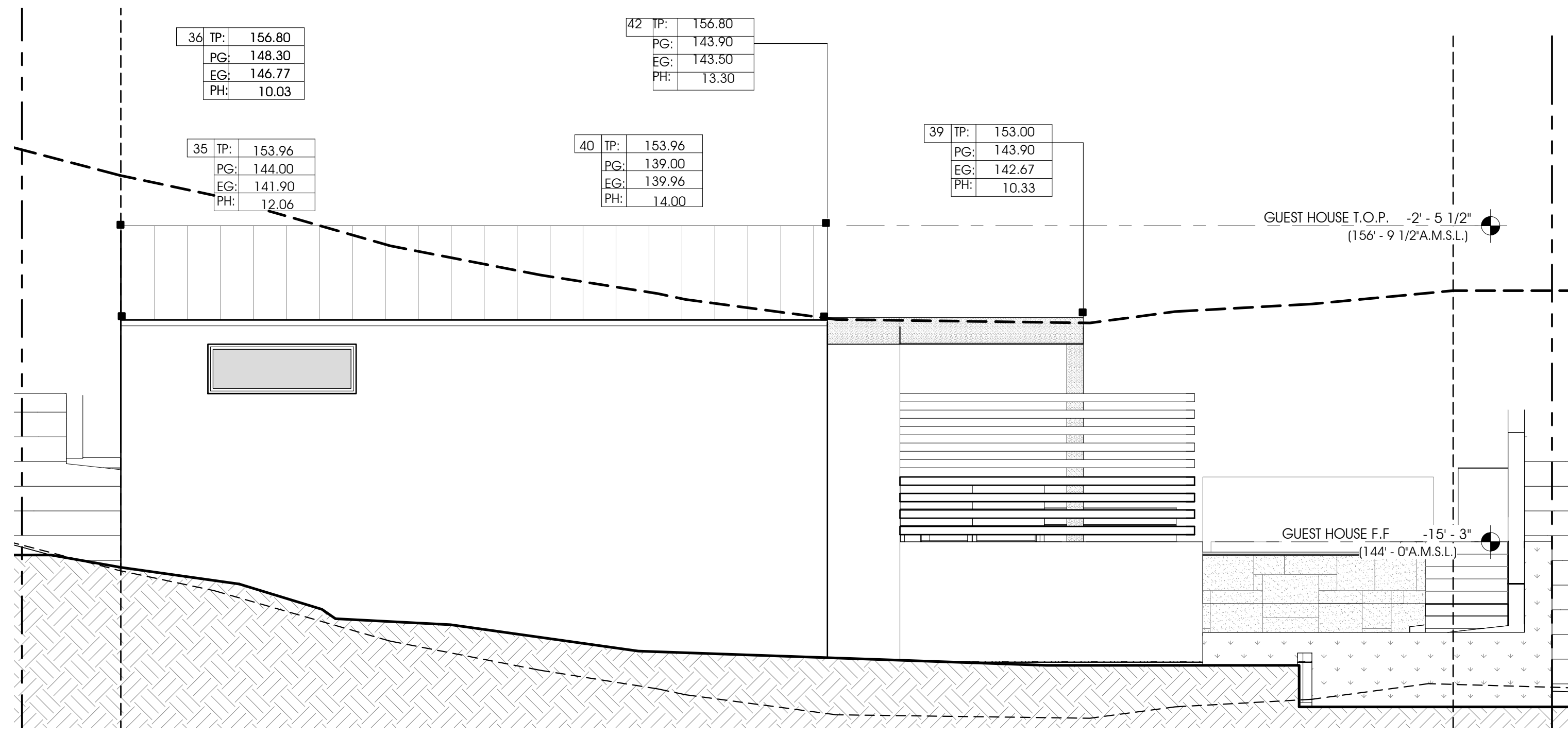
ADU STORY POLE - NORTH ELEVATION

1/4" = 1'-0"



ADU STORY POLE - SOUTH ELEVATION

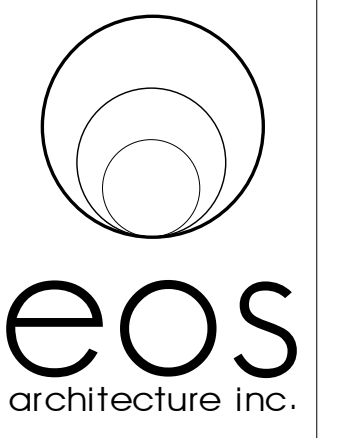
1/4" = 1'-0"



ADU STORY POLE - WEST ELEVATION

1/4" = 1'-0"

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11/30/2020 4TH DRP/SDP REVIEW

PHASE	DD SET
DATE	09/25/2020
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ADU STORY POLES PLAN
AND ELEVATIONS

A6.3



MAIN RESIDENSE - NORTH EAST



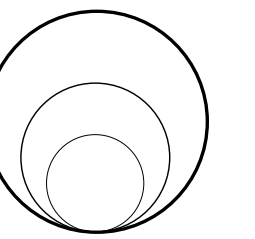
MAIN RESIDENSE - NORTH WEST



MAIN RESIDENSE - SOUTH EAST



MAIN RESIDENSE - SOUTH WEST



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09/25/2020

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19-09

MAIN RESIDENCE 3D
VIEWS

A7.0



ADU - NORTH EAST



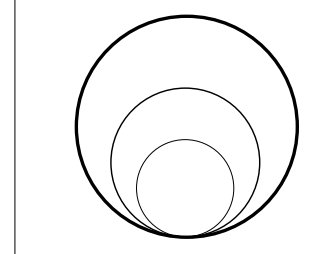
ADU - NORTH WEST



ADU - SOUTH EAST



ADU - SOUTH WEST



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SOLANA BEACH, CA 92075

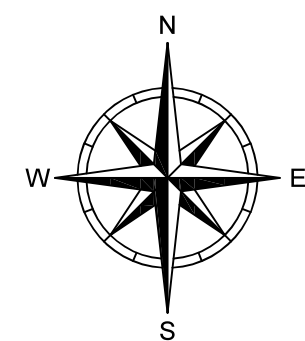
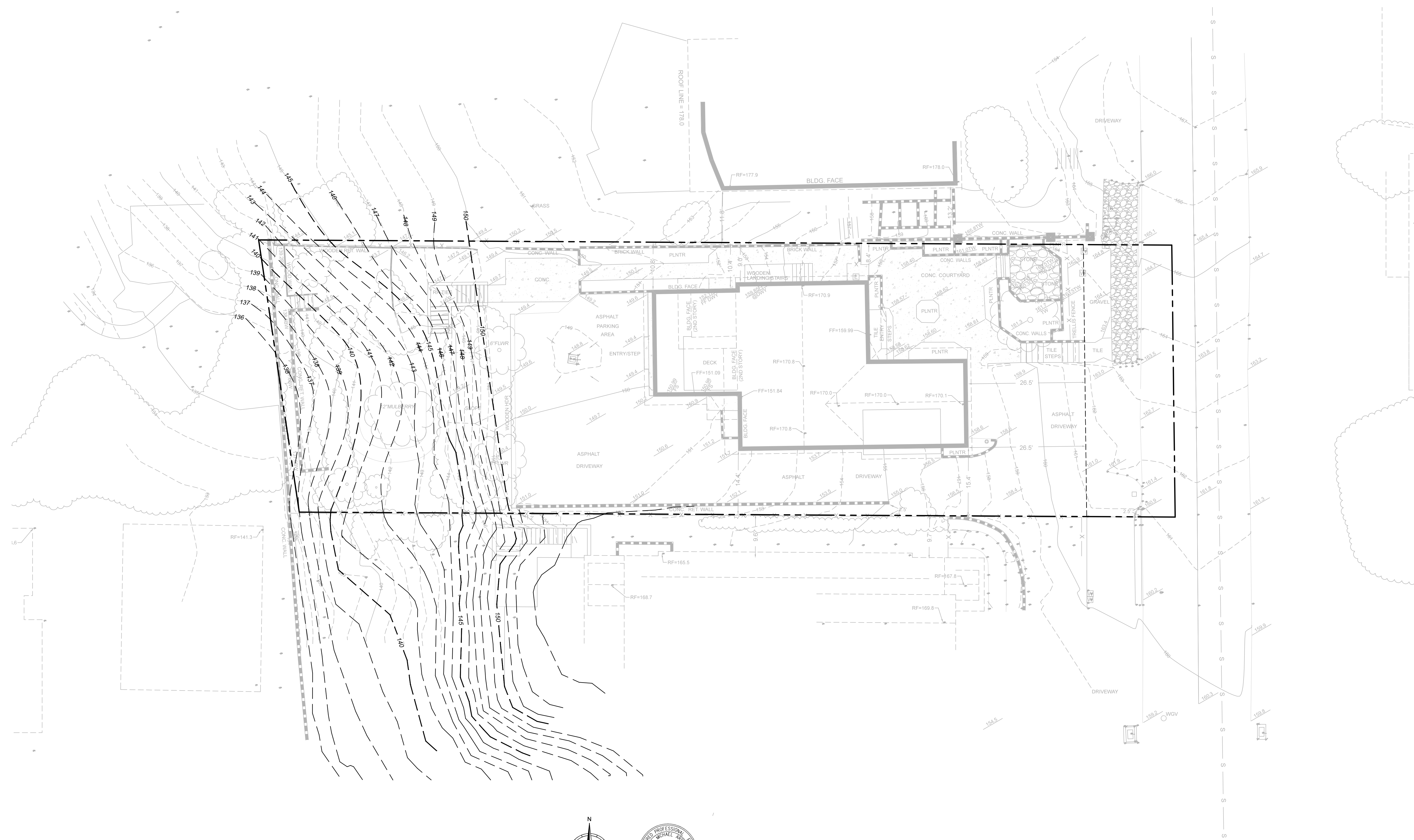
REVISIONS
09/25/2020 1ST DRP/SDP REVIEW
07/07/2020 2ND DRP/SDP REVIEW
10/06/2020 3RD DRP/SDP REVIEW
11/30/2020 4TH DRP/SDP REVIEW

PHASE
PLANNING SET
DATE
09/25/2020
JOB NO.
19-09

ADU 3D VIEWS

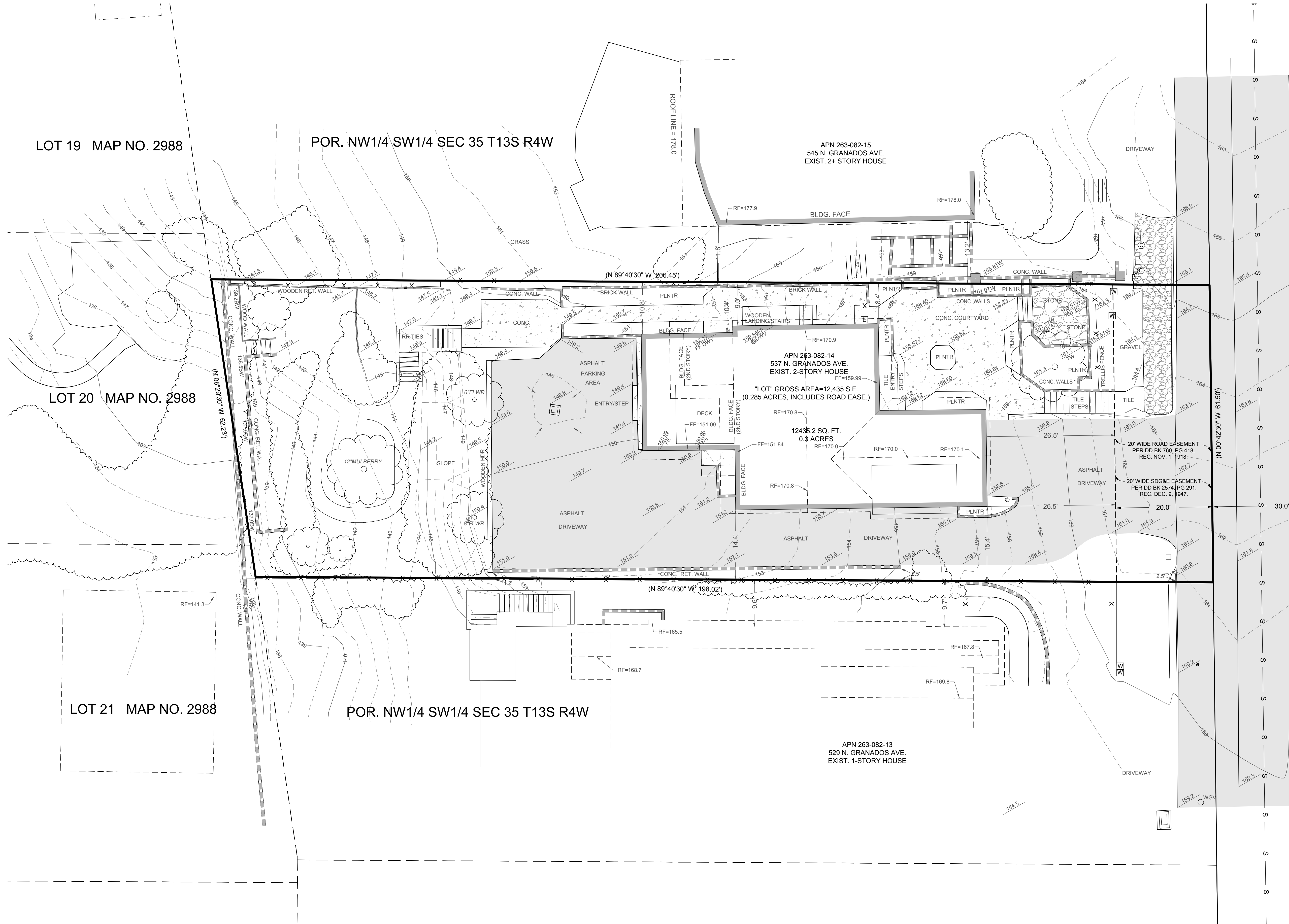
HYDROLOGIC MAP
537 NORTH GRANADOS AVE.

CONTOURS PRE CONCRETE AND WOOD RETAINING WALLS



SCALE: 1" = 10'
0 10 20 30

TOPOGRAPHIC SURVEY MAP -- 537 NORTH GRANADOS



PROJECT INFORMATION

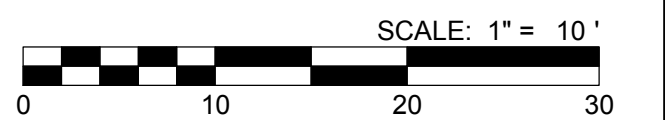
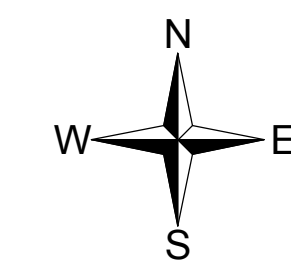
CLIENT: RONALD GLADNICK
 ADDRESS: 537 N. GRANADOS AVE., SOLANAN BEACH CA., 92075
 APN: 263-082-14

ABBREVIATED LEGAL DESCRIPTION

PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, (MORE FULLY DESCRIBED IN GRANT DEED RECORDED APRIL 17, 2019 AS DOCUMENT NO. 2019-0139140, O.R.)

SURVEY NOTES

1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY BY WOODS LAND SURVEYING, INC. IN JANUARY, 2014. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF N. GRANADOS AVE., AS SHOWN ON MAP NO. 2988, IE N 00°42'30" W, PER STEVE WOODS ROS.
3. ELEVATIONS SHOWN HEREON ARE BASED ON A 2.5" BRASS DISK ON CONCRETE DRAINAGE INLET ON THE EAST SHOULDER OF HIGHWAY 101, 0.1 MILES SOUTH OF LOMAS SANTA FE DR, AS SHOWN ON CITY OF SOLANA BEACH CONTROL SURVEY ROS 18971, AS SOLB-1. ELEVATION: 69.280 NGVD 29
4. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
5. NO TITLE REPORT PROVIDED
6. TOPOGRAPHY PROVIDED BY STEVE WOODS IN JANUARY OF 2014 AND SUPPLEMENTED BY PLSA IN MARCH OF 2020.

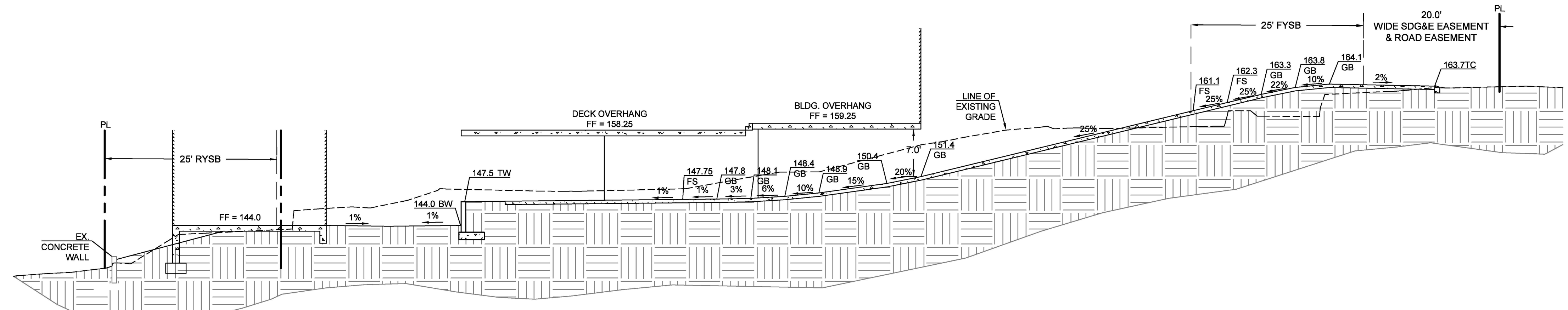


PRELIMINARY GRADING PLAN

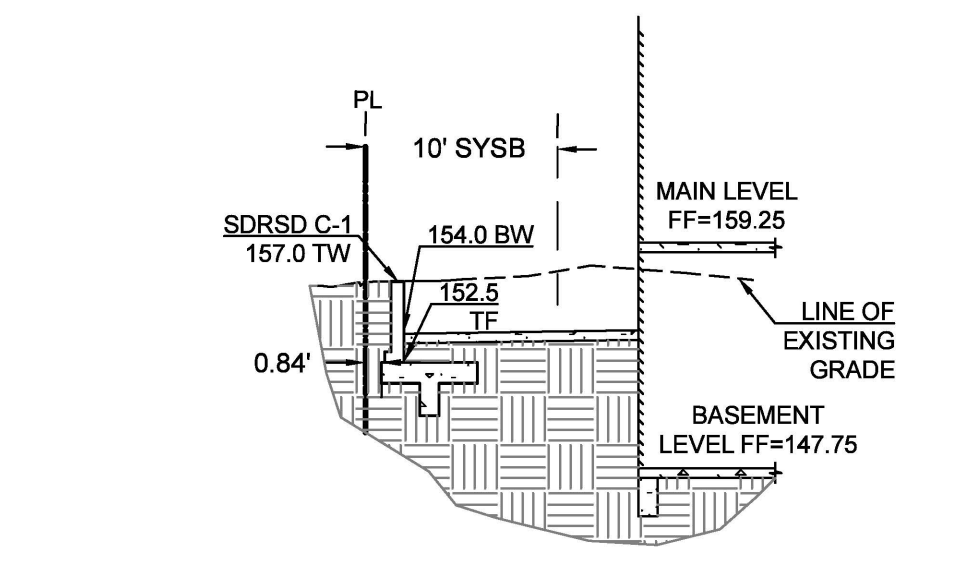
537 NORTH GRANADOS AVE

GENERAL NOTES

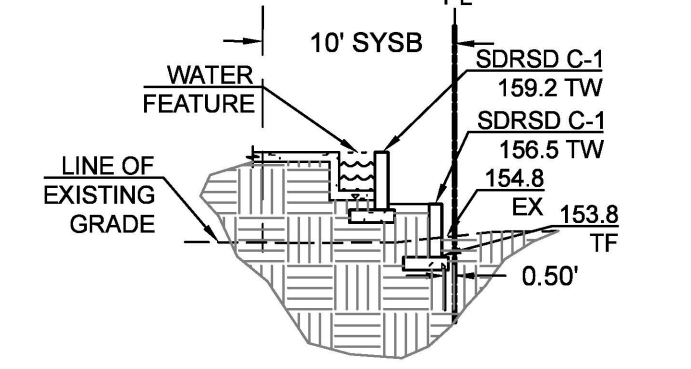
- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
UNDERGROUND S.A. (800)-227-2600
- A SOILS REPORT SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTIGUOUS TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL FACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 1:2 FILL 1:2
CUT: 345 CY FILL: 340 CY EXPORT: 5 CY
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)



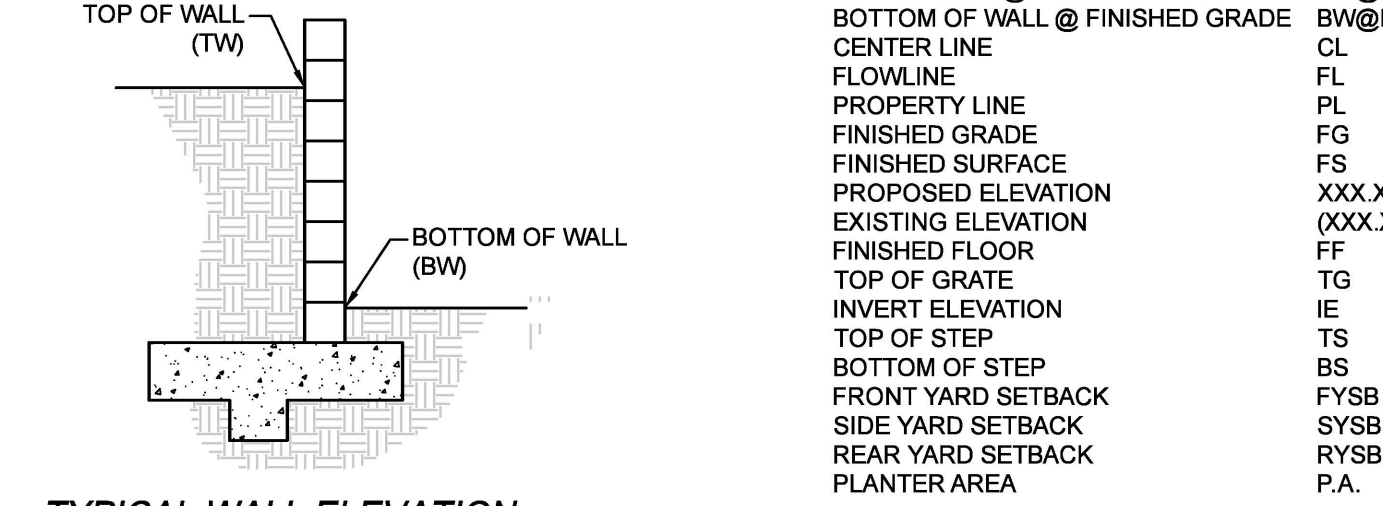
SECTION A-A
SCALE 1"=10'



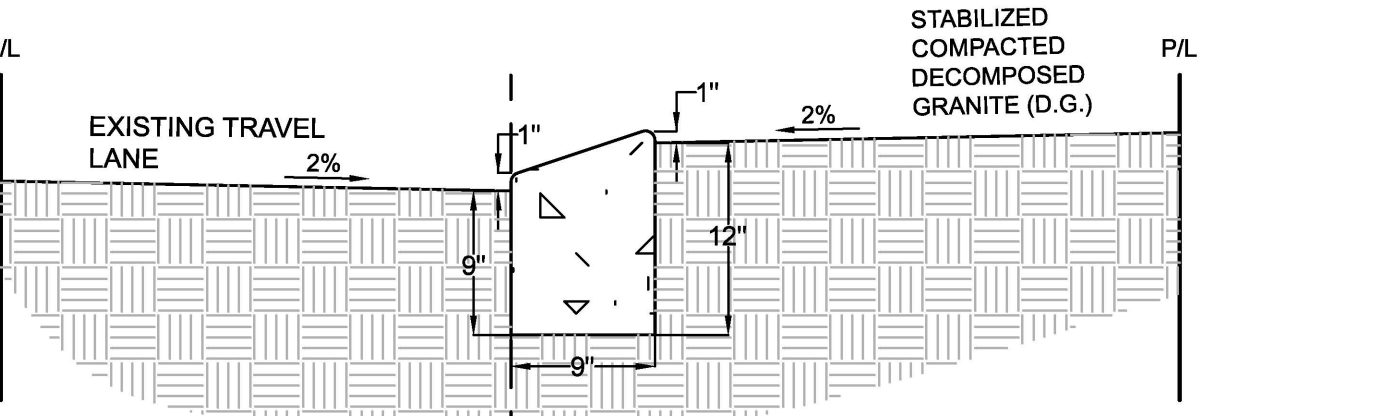
SECTION B-B
SCALE 1"=10'



SECTION C-C
SCALE 1"=10'



TYPICAL WALL ELEVATION
LOCATIONS SHOWN ON PLAN
NOT TO SCALE



9'X9'X12" MOUNTABLE CONCRETE CURB
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

EARTHWORK QUANTITIES:

SITE GRADING:
CUT: 345 CY
FILL: 340 CY

EXCAVATION FOR FOOTINGS: 11 CY
REMOVAL & RECOMPACTION (UNDER STRUCTURE): 74 CY

TOTAL GRADING (CUT AND FILL OUTSIDE & BELOW STRUCTURE): 770 CY

TOTAL EXPORT: 16 CY

ADJ EARTHWORK QUANTITIES:

SITE GRADING:
CUT: 16 CY
FILL: 9 CY

EXCAVATION FOR FOOTINGS: 5 CY
REMOVAL & RECOMPACTION (UNDER STRUCTURE): 10 CY

TOTAL GRADING (CUT AND FILL OUTSIDE & BELOW STRUCTURE): 40 CY

TOTAL EXPORT: 12 CY

* EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.

EROSION CONTROL NOTES

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
 - EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
 - EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.
- | LBS/ACRE | % PURITY/ACRE | SEED SPECIES |
|----------|---------------|----------------------|
| 20 | 70% PLUS | ATRIPLEX GLAUCA |
| 50 | | PLANTAGE INSULARIS |
| 8 | | ENCELIS FARINOSA |
| 6 | SCARIFIED | LOTUS SCOPARIUS |
| 7 | 50% PLUS | EXCHSCHOLTZIA CALIF. |
| 91 | | |
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
 - CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
 - SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
 - SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
 - THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
 - THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
 - THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
 - IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

LEGAL DESCRIPTION

THE PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

A.P.N.: 263-082-14
SITE ADDRESS: 537 NORTH GRANADOS AVENUE, SOLANA BEACH, CA 92075
OWNER/PERMITTEE: RONALD GLADNICK

TOPOGRAPHIC SURVEY: PASCO LARET SUITER AND ASSOCIATES (858) 259-8212

WORK TO BE DONE: THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

- STANDARD SPECIFICATIONS
- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
 - CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
 - STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

STANDARD DRAWINGS

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED BMP	---
PROPOSED SETBACKS	---
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	---
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---
PROPOSED MASONRY RETAINING WALL PER PLAN	---
PROPOSED 4" STORM DRAIN PIPE	---
PROPOSED WALLS PER LANDSCAPE PLANS	---

OWNER'S CERTIFICATE

I, _____ AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

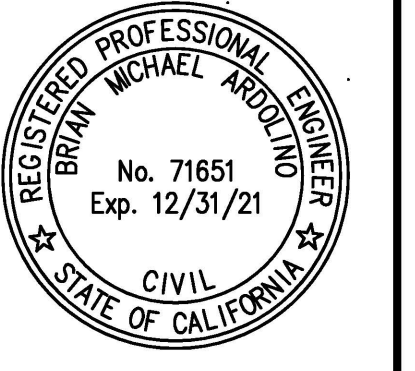
RONALD GLADNICK
537 NORTH GRANADOS AVENUE
SOLANA BEACH, CA 92075

DECLARATION OF RESPONSIBLE CHARGE

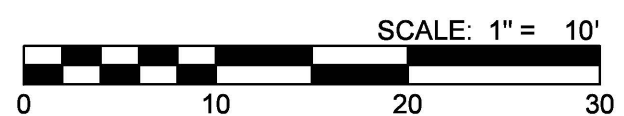
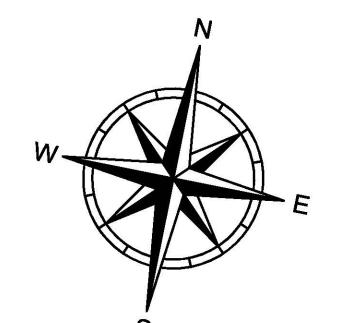
I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION No. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

By: BRIAN ARDOLINO
RCE No. 71651 EXP 12/31/2021
PASCO LARET SUITER & ASSOCIATES



EXISTING CONDITION	PROPOSED CONDITION
IMPERVIOUS: 6,787 SF	IMPERVIOUS: 7,748 SF
HARDSCAPE: 4,292 SF	HARDSCAPE: 3,120 SF
BUILDING: 2,047 SF	BUILDING: 3,482 SF
FRONTAGE: 448 SF	ADU: 698 SF
PERVIOUS: 5,648 SF	FRONTAGE: 448 SF
LANDSCAPE: 5,648 SF	PERVIOUS: 4,434 SF
	IRRIGATED LANDSCAPE: 2,929 SF
	LANDSCAPE: 1,186 SF
	WATER FEATURE: 310 SF
	BASEIN: 170 SF
	NON-LANDSCAPE: 92 SF

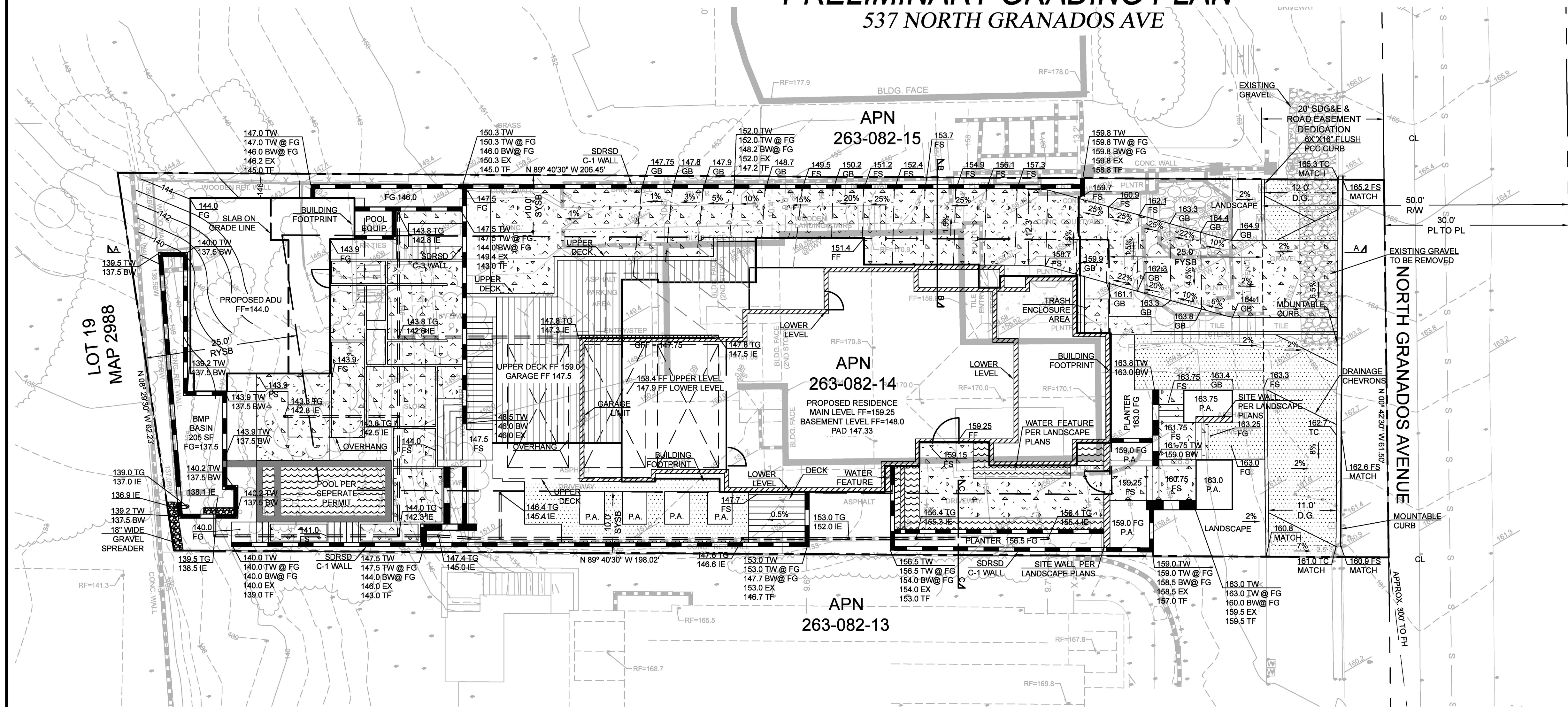


COASTAL COMMISSION PERMIT NO. _____

ENGINEER OF WORK	CITY APPROVED CHANGES	APPD DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
By: _____ Name: BRIAN ARDOLINO R.C.E. 71651 Exp: 12/31/21			By: _____ Review Engineer Date: _____	By: _____ City Engineer R.C.E. Date: _____ Exp: _____	DESCRIPTION: "SOLB-1" PER SOLANA BEACH VERT. CONTROL LOCATION: 2.5" BASS DISK ON CONCRETE DRAINAGE INLET AT THE EAST SHOULDER OF HWY 101 RECORD FROM: ROS NO. 18971 ELEV: 69.280' DATUM: NAVD 29	PRELIMINARY GRADING PLAN FOR: 537 NORTH GRANADOS AVE	SHEET 1 OF 2

PRELIMINARY GRADING PLAN

537 NORTH GRANADOS AVE



PRELIMINARY GRADING PLAN
SCALE: 1" = 10'

LEGAL DESCRIPTION
THE PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

A.P.N.: 263-082-14
SITE ADDRESS: 537 NORTH GRANADOS AVENUE, SOLANA BEACH, CA 92075
OWNER/PERMITTEE: RONALD GLADNICK

TOPOGRAPHIC SURVEY: PASCO LARET SUITER AND ASSOCIATES (858) 259-8212

WORK TO BE DONE
THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

- STANDARD SPECIFICATIONS**
- (1) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
 - (2) CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
 - (3) STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

STANDARD DRAWINGS

- (1) SAN DIEGO REGIONAL STANDARD DRAWINGS
- (2) STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

LEGEND

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTERLINE OF ROAD	—+—+—+—
PROPOSED BMP	▨
PROPOSED SETBACKS	▨
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	▨
PROPOSED CONTOUR LINE	—151—
EXISTING CONTOUR LINE	—151—
PROPOSED MASONRY RETAINING WALL PER PLAN	▨
PROPOSED 4" STORMDRAIN PIPE	▨
PROPOSED WALLS PER LANDSCAPE PLANS	▨
PROPOSED DECOMPOSED GRANITE (D.G.)	▨
PROPOSED COSB MOUNTABLE CURB	▨
PROPOSED WATER FEATURE PER LANDSCAPE PLANS	▨

OWNER'S CERTIFICATE

I, _____ AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.

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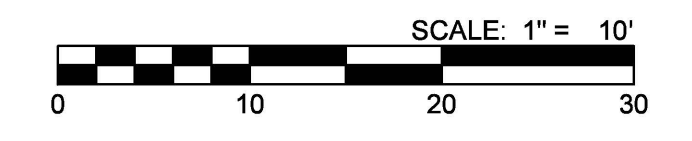
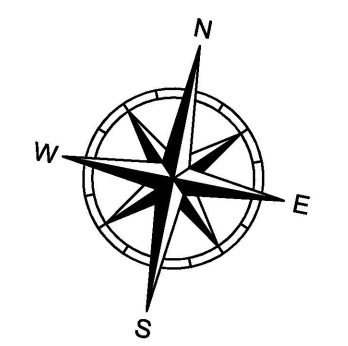
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DECLARATION OF RESPONSIBLE CHARGE

I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

By: BRIAN ARDOLINO
R.C.E. No. 71651 Exp. 12/31/2021
PASCO LARET SUITER & ASSOCIATES

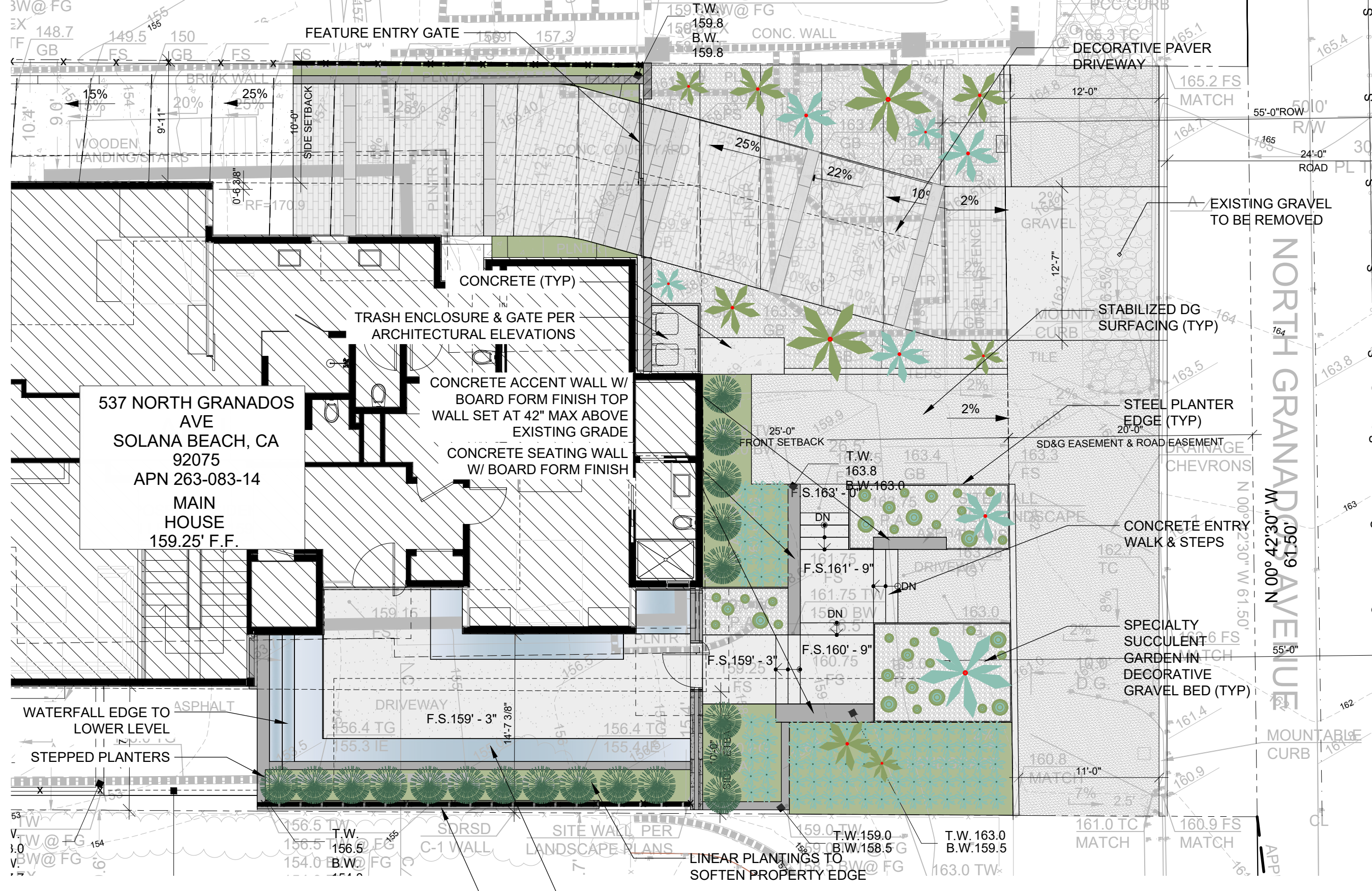


ABBREVIATIONS

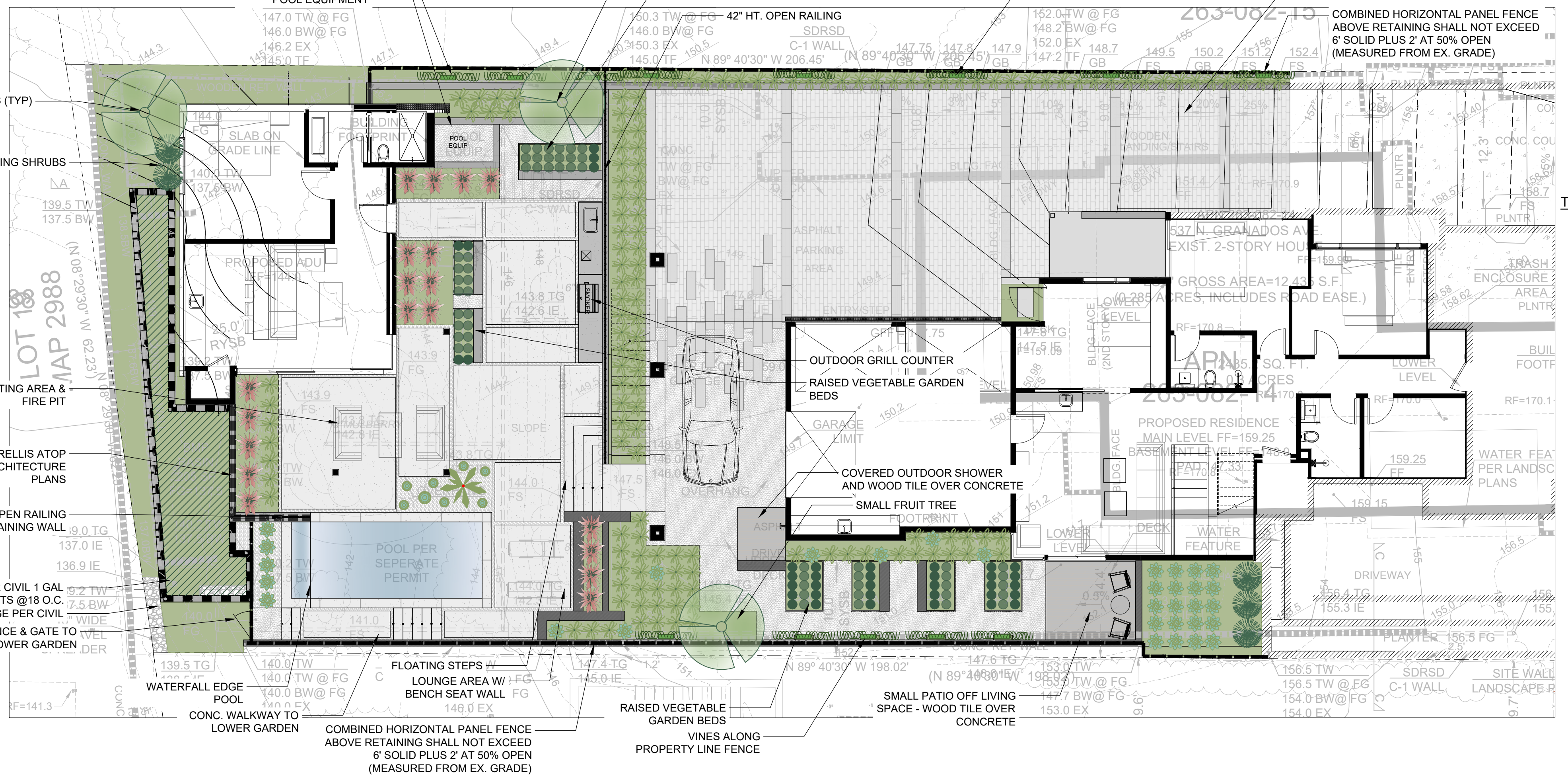
TOP OF WALL @ FINISHED GRADE	TW@FG
BOTTOM OF WALL @ FINISHED GRADE	BW@FG
CENTER LINE	CL
FLOWLINE	FL
PROPERTY LINE	PL
FINISHED GRADE	FG
FINISHED SURFACE	FS
PROPOSED ELEVATION	XXX.X
EXISTING ELEVATION	(XXX.X)
FINISHED FLOOR	FF
TOP OF GRATE	TG
INVERT ELEVATION	IE
TOP OF STEP	TS
BOTTOM OF STEP	BS
FRONT YARD SETBACK	FYSB
SIDE YARD SETBACK	SYSB
REAR YARD SETBACK	RYSB
PLANTER AREA	P.A.

ENGINEER OF WORK	CITY APPROVED CHANGES	APPD	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
SEL Drawn By: <u>BRIAN ARDOLINO</u> Name: <u>BRIAN ARDOLINO</u> R.C.E. No. <u>71651</u> Exp. <u>12/31/21</u>				By: _____ Review Engineer Date: _____	By: _____ City Engineer R.C.E. Date: _____ Exp: _____	DESCRIPTION: "SOLB-1" PER SOLANA BEACH VERT. CONTROL LOCATION: 2.5" BASS DISK ON CONCRETE DRAINAGE INLET AT THE EAST SHOULDER OF HWY 101. RECORD FROM: ROS NO. 18871 ELEV: 69.280' DATUM: NAVD 29	PRELIMINARY GRADING PLAN FOR: 537 NORTH GRANADOS AVE	SHEET 2 OF 2

MAIN LEVEL / FRONT YARD



LOWER LEVEL / BACKYARD



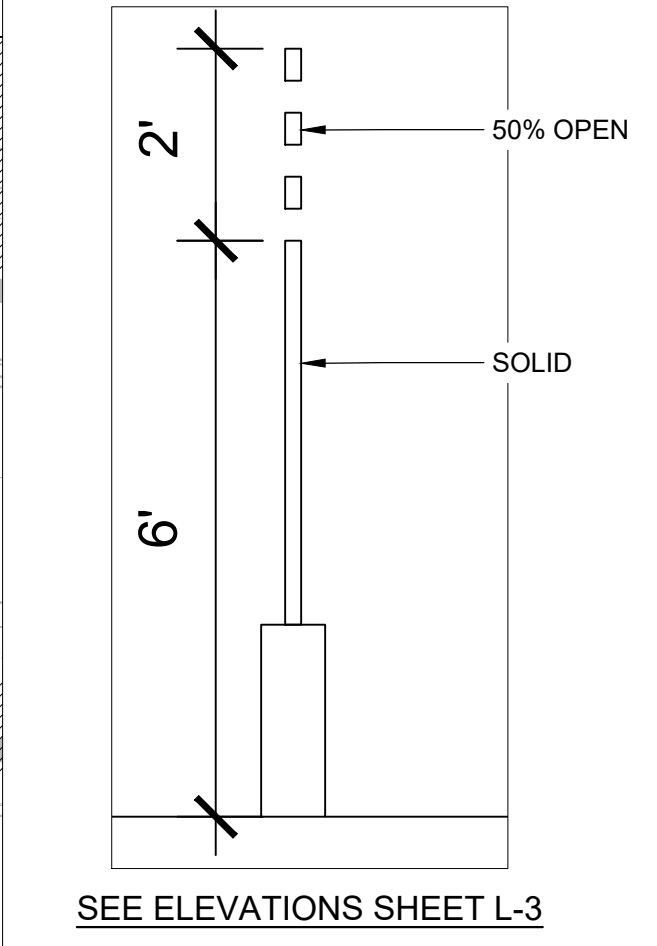
- NOTES:**
1. ALL PLANTING AREAS SHALL BE COVERED WITH A 3" LAYER OF DECORATIVE ROCK OR 3" LAYER OF BARK MULCH UNLESS SHOWN OTHERWISE ON PLAN.
 2. ALL SUCCULENTS REQUIRE CACTUS MIX OR OTHER APPROVED SOIL TYPE TO BE PLACED MIN. 12" AROUND THE BASE OF EACH PLANT.
 3. ALL TREES PLANTED WITHIN 5' OF HARDSCAPE MUST BE INSTALLED WITH A ROOT BARRIER ALONG THE HARDSCAPE EDGE SPANNING OUT 5' IN EACH DIRECTION FROM THE CENTER OF THE TREE FOR A TOTAL LENGTH OF 10'
 4. REFER TO HYDROZONE PLAN FOR IRRIGATION RECOMMENDATIONS.
 5. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE COUNTY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SOLANA BEACH LANDSCAPE RELATED COUNTY AND REGIONAL STANDARDS.
 6. CONTRACTOR TO SETUP A PRE-CONSTRUCTION WALKTHROUGH TO TAG ANY EXISTING PLANTS TO REMAIN AND EXISTING PLANTS TO BE DEMOLISHED. EXISTING TREES
 8. CONTRACTOR TO ENSURE THAT NEW TREE LOCATIONS ARE SPOTTED PER LANDSCAPE ARCHITECT'S SITE DIRECTION. TREE INSTALLATION SHALL ALSO INCLUDE COORDINATION OF DELIVERY AND PROTECTION OF TREES PRIOR TO INSTALLATION, KNOWLEDGE OF UNDERGROUND UTILITIES, PROPER DRAINAGE, AND STAKING PER STANDARD DETAIL.
 9. ALL HARDSCAPE ELEMENTS SHOWN ON THE PLAN HAVE BEEN DRAWN WITH AN ARTISTIC CONCEPTUALIZATION. SOME ELEMENTS MAY BE REFINED OR SIMPLIFIED IN SUBSEQUENT DESIGN DEVELOPMENT STAGES FOR REASONS OF FEASIBILITY OR FURTHER STAKEHOLDER INPUT.
 10. PROPOSED LANDSCAPING SHALL MAINTAIN REQUIRED CLEARANCES FROM MECHANICAL EQUIPMENT AND UTILITY APPURTENANCES, WHILE STILL SCREENING THEM FROM VIEW.

- LANDSCAPE LIGHTING NOTES:**
- LIGHT FIXTURES FOR ALL LANDSCAPE AREAS SHALL BE PROVIDED IN SUFFICIENT NUMBERS AND AT PROPER LOCATIONS TO ASSURE SAFE AND CONVENIENT NIGHTTIME USE. ALL LIGHT FIXTURES SHALL BE APPROPRIATELY SHIELDED SO THAT NO LIGHT OR GLARE IS TRANSMITTED OR REFLECTED IN SUCH CONCENTRATED QUANTITIES OR INTENSITIES AS TO BE DETRIMENTAL TO THE SURROUNDING AREA. ALL EXTERIOR LIGHTING, INCLUDING LIGHTING IN DESIGNATED "DARK SKY" AREAS, SHALL BE IN CONFORMANCE WITH EXTERIOR LIGHTING REGULATIONS.

PLANT PALETTE

SYMBOL	PLANT CATEGORY / NAME	WUCOLS PLANT FACTOR	QTY/SIZE
	FRUIT TREES SUCH AS: - DWARF CITRUS - HEIGHT 15' - DWARF STONE FRUIT - HEIGHT 15' - FIG TREE - HEIGHT 15'-30' - POMEGRANATE - HEIGHT 15'	MODERATE MODERATE MODERATE LOW	PROPOSED QUANTITY: APPROX. 4 SIZE: 15 GAL
	MEDIUM SCREENING SHRUB SUCH AS: - RIBES SANGUINEUM 'SPRING SHOWERS' (CURRANT) 6' HT. LOW - RHAMNUS 'MOUND SAN BRUNO' (COFFEEBERRY) 4' HT. VERY LOW - ACCA SELLOWIANA (PINEAPPLE GUAVA) 12'-20' HT. LOW - OLEA LITTLE OLLIE' OR 'MONTRA' 4'-6' HT. LOW	LOW VERY LOW LOW LOW	MED. SHRUB SIZES: 70% 1 GAL 30% 5 GAL
	FLOWERING PERENNIAL/SUCCULENTS SUCH AS: - SALVIA SPECIES (SAGE) - KALANCHOE SPECIES (PADDLE PLANT) - SEDUM SPECIES (STONECROP) - GRAPTOVERIA 'FRED IVES' - BULBINE FRUTESCENS (STALKED BULBINE) - COREOPSIS LANCEOLATA (COREOPSIS)	LOW LOW LOW LOW LOW LOW	FLOWERING PERENNIALS PLANT SIZES: 70% 1 GAL 30% 5 GAL
	GROUND COVER SUCH AS: - ARCTOSTAPHYLOS SPECIES (MANZANITA) - CEANTHUS SPECIES (CALIFORNIA LILAC) - DYMONDIA MARGARETAE - ACHILLEA SPECIES (YARROW) - LAVANDRIA SPECIES (LAVENDAR) - SENECEO SPECIES	LOW LOW LOW LOW LOW LOW	GROUND COVER SIZES: 70% 1 GAL 30% 5 GAL
	GRASSES/GRASSLIKE SUCH AS: - MUHLBERGIA SPECIES (DEER GRASS) - LYGEUM SPARTUM (FALSE ESPARTO GRASS) - LOMANDRA 'BREEZE' (DWARF MAT RUSH) - DESCHAMPSIA CESPITOSA - LEYMUS SPARTUM (FALSE ESPARTO GRASS) - HESPERALOE SPECIES (RED YUCCA)	LOW LOW LOW LOW LOW LOW	GRASS SIZES: 70% 1 GAL 30% 5 GAL
	BIO-BASIN GRASSES SUCH AS: - CAREX DIVULSA (EUROPEAN GREY SEDGE)	LOW	100% 1 GAL
	ACCENT SUCCULENTS & CACTI - EUPHORBIA SPP. - ECHINOCACTUS SPP. - AGAVE SPP.	VERY LOW VERY LOW VERY LOW	CONTAINER SIZES: 70% 1 GAL 30% 5 GAL
	ACCENT GRASSES SUCH AS: - CHONDROPETALUM TECTORUM (CAPE RUSH) - MUHLBERGIA RIGENS (DEER GRASS) - LOMANDRA LONGIFOLIA (DWARF MAT RUSH) - YUCCA FILAMENTOSA 'COLORGUARD' (ADAMS NEEDLE) - HESPERALOE SPP. (RED YUCCA)	LOW LOW LOW VERY LOW VERY LOW	CONTAINER SIZES: 70% 1 GAL 30% 5 GAL
	UPRIGHT SUCCULENTS SUCH AS: - AGAVE AMERICANA (CENTURY PLANT) - HEIGHT 8' WITH 15'-40' FLOWER SPIKE - DASYLIRION SPP. - HEIGHT 10' - YUCCA FILAMENTOSA - HEIGHT 2' WITH 4'-7' FLOWER SPIKE	VERY LOW VERY LOW VERY LOW	CONTAINER SIZES: 70% 1 GAL 30% 5 GAL
	SEASONAL VEGETABLES: - TOMATO, ROOT VEGETABLES, GREENS, ETC.	MODERATE	CONTAINER SIZES: 100% FROM SEED
	VINES: - LONICERA JAPONICA (JAPANESE HONEYSUCKLE)	LOW	CONTAINER SIZES: 100% 5 GAL

TYPICAL SIDE & REAR YARD FENCE



HARDSCAPE AREAS	3,060 SF
IRRIGATED LANDSCAPE AREA	2,929 SF
WATER FEATURES	310 SF

APPLICANTS STATEMENT OF COMPLIANCE
I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

APPLICANT SIGNATURE:
DATE: 12-17-20



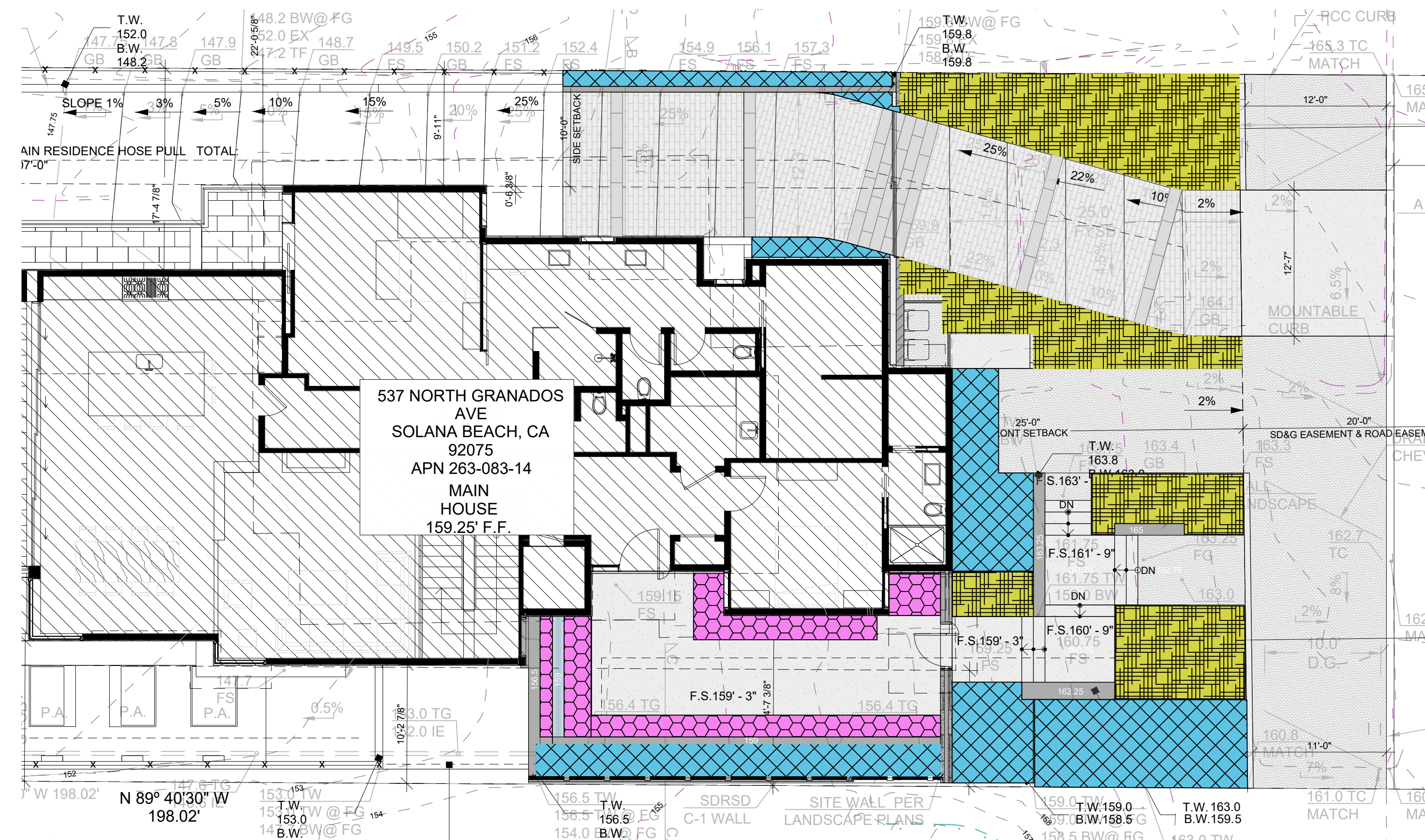
SHEET TITLE:
LANDSCAPE CONCEPT PLAN

PROJECT CLIENT:
GLADNICK RESIDENCE
LANDSCAPE CONCEPT PLAN
537 NORTH GRANADOS
SOLANA BEACH, CA

revisions

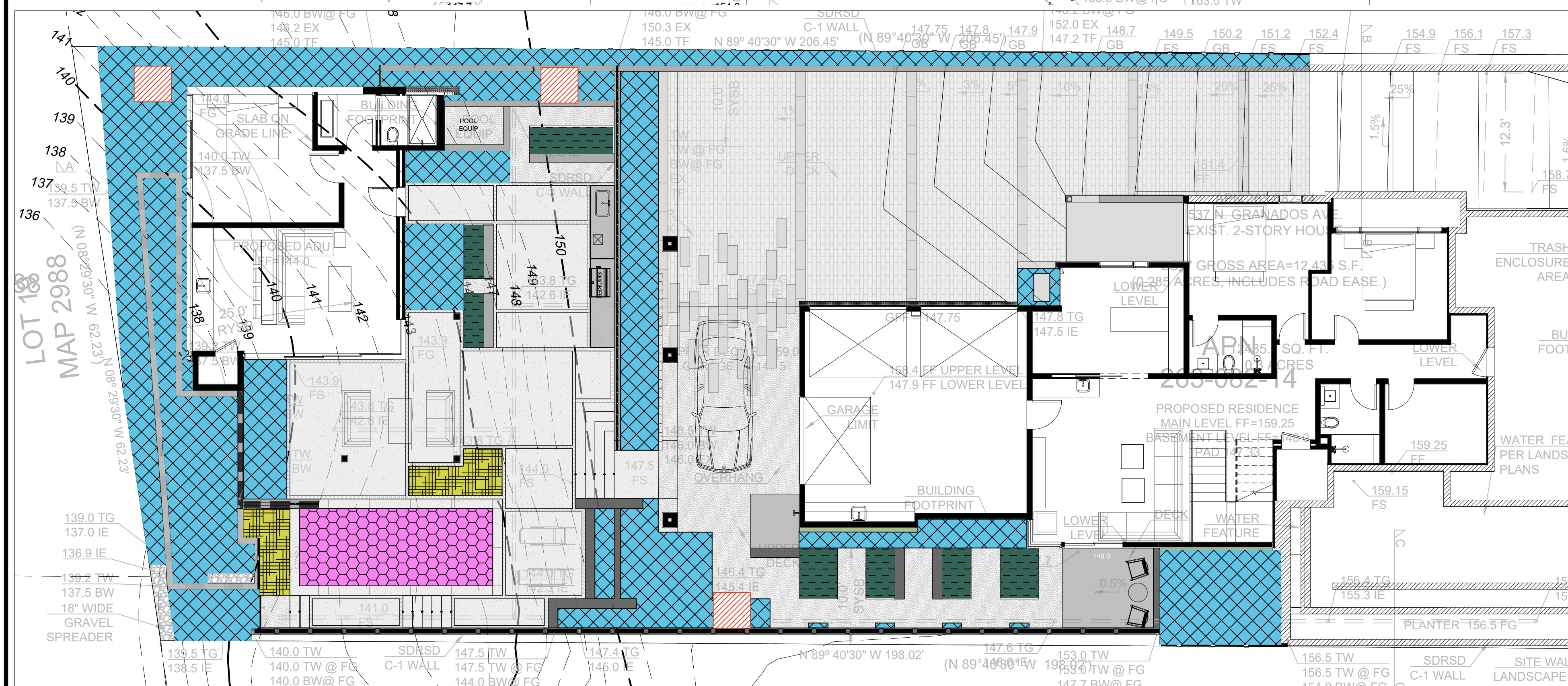
first submittal	4-29-2020
second submittal	7-7-2020
third submittal	10-1-2020
third submittal	12-01-2020
third submittal	12-17-2020

drawing prepared by - MB/WJ
sheet plot date - 12-17-2020
carson douglas job number - 20-009
design start date - 4-1-2020



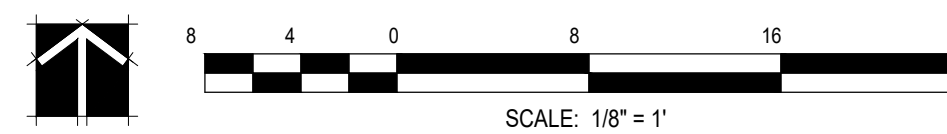
LINE	HYDROZONE 1	HYDROZONE 2	HYDROZONE 3	HYDROZONE 4	HYDROZONE 5	SLA
EVAPOTRANSPIRATION RATE (Eto)	1	41				
CONVERSION FACTOR - 0.62	2	0.62				
LINE 1 X LINE 2	3	25.42				
PLANT FACTOR (PF)	4	0.45	3	0.60	1.00	0.10
HYDROZONE AREA (HA)	5	114	1849	75	310	581
LINE 4 X LINE 5	6	51.3	554.7	45.0	310.0	58.1
IRRIGATION EFFICIENCY (IE)	7	0.81	0.81	0.81	1.00	0.81
LINE 6 / LINE 7	8	63.33	684.81	55.56	310.00	71.73
TOTAL OF ALL LINE 8 BOXES	9	1,185				
LINE 3 X LINE 9 - ESTIMATED TOTAL WATER USE (ETWU)	10	30,134				

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	
ET _o =	41 in/yr
LA =	2929 sq ft
SLA =	0 sq ft
ETAF =	0.55
MAWA =	$(Eto) \times (0.62) \times [ETAF \times LA + (1 - ETAF) \times SLA]$
MAWA =	25.42 [(0.55 x 2929.00) + 0]
MAXIMUM APPLIED WATER ALLOWANCE = 33504.83 gal. per year	



HYDROZONE LEGEND

	HYDROZONE 1 LOWER LEVEL VEGETABLE BEDS (SPECIAL LANDSCAPE AREA)	114 SF
	HYDROZONE 2 LOWER AND UPPER LEVEL PLANTERS (MEDIUM WATER)	1849 SF
	HYDROZONE 3 FRUIT TREES (SPECIAL LANDSCAPE AREA)	75 SF (3 FRUIT TREES @ 25SF)
	HYDROZONE 4 POOL AND WATER FEATURE (HIGH WATER)	310 SF
	HYDROZONE 5 DRIVEWAY PLANTER AND GRAVEL PLANTERS (VERY LOW WATER USE)	581 SF



Eto	Value
West of I-5	41.00
East of I-5	47

Hydrozone Category	PF-Plant Factor
High Water Use	1.00
Moderate Water Use	0.60
Low Water Use	0.30
Very Low Water Use	0.10
Special Landscape Area	1.00

Irrigation Method Code	IE - Irrigation Efficiency
Drip/Microspray	0.81
Bubblers	0.75
Rotors	0.70
Rotators	0.75
Overhead Spray	0.55

APPLICANTS STATEMENT OF COMPLIANCE
I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.


APPLICANT SIGNATURE
12-17-20
DATE

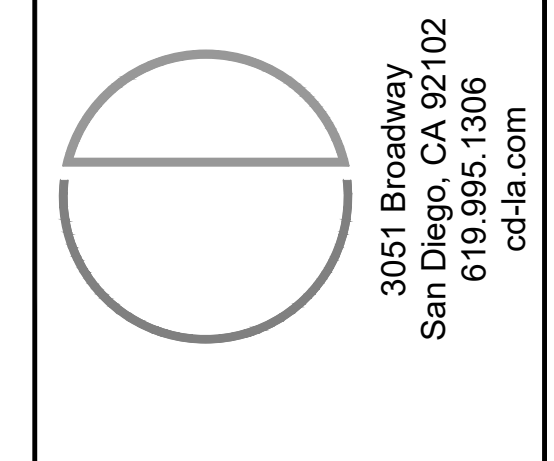


IRRIGATION RECOMMENDATIONS:

- DEEP WATER ALL PARKWAY TREES.
- CONTRACTOR SHALL INSTALL RAINBIRD XT-700 DRIP TUBING (OR EQUAL) PER MANUFACTURERS INSTRUCTIONS IN ALL NEW PLANTING AREAS. HYDROZONES SHALL BE GROUPED BY PLANT NEEDS AND SOLAR EXPOSURE. TREE BUBBLERS ARE REQUIRED FOR ALL TREES AND SHALL BE ON A SEPARATE ZONE. ANY POTS SHALL BE IRRIGATED W/ DRIP TUBING ON A SEPARATE ZONE. ZONES SHALL BE CONTROLLED AUTOMATICALLY WITH A RAIN SHUTOFF ENABLED SMART CONTROLLER.

IRRIGATION AND MAINTENANCE NOTES:

- PROPOSED IRRIGATED LANDSCAPE AREAS = 2,988 SF
- PROPOSED LANDSCAPING SHALL MEET THE APPLICABLE REGULATIONS OF THE WATER EFFICIENT LANDSCAPE REGULATIONS OF SBMC 17.52
- ALL PLANTED AREAS SHALL RECEIVE SUPPLEMENTAL WATER VIA AN AUTOMATICALLY CONTROLLED, UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEMS WILL BE DESIGNED ACCORDING TO SPECIFIC PLANT REQUIREMENTS AND ENVIRONMENTAL EXPOSURES. THE DESIGN WILL UTILIZE WATER CONSERVATION EQUIPMENT SUCH AS RAIN SENSORS, MASTER CONTROL VALVES, CHECK VALVES AND LOW-FLOW IRRIGATION HEADS.
- THE PROPOSED SYSTEM WILL PROVIDE COMPLETE WATER COVERAGE AND SHALL CONFORM TO THE CITY OF SOLANA BEACH STANDARDS AND ALL OTHER LANDSCAPE AND IRRIGATION RELATED STATE, CITY AND REGIONAL STANDARDS
- A COMPLETE LANDSCAPE AND IRRIGATION PLAN PACKAGE IN COMPLIANCE WITH THE STATE OF CALIFORNIA MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE SHALL BE SUBMITTED TO THE CITY OF SOLANA BEACH FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION AND THE ISSUANCE OF A BUILDING PERMIT FOR THIS PROJECT



SHEET TITLE:
LANDSCAPE HYDROZONE PLAN

PROJECT CLIENT:
GLADNICK RESIDENCE
LANDSCAPE CONCEPT PLAN
537 NORTH GRANADOS
SOLANA BEACH, CA

revisions	
first submittal	4-29-2020
second submittal	7-7-2020
third submittal	10-1-2020
third submittal	12-01-2020
third submittal	12-17-2020

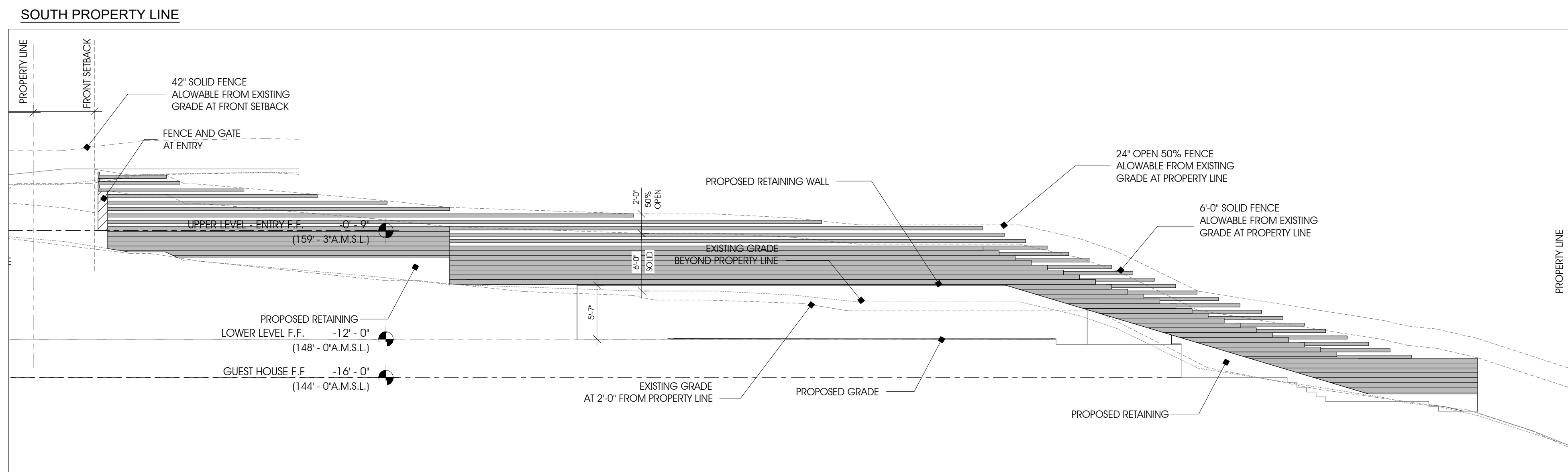
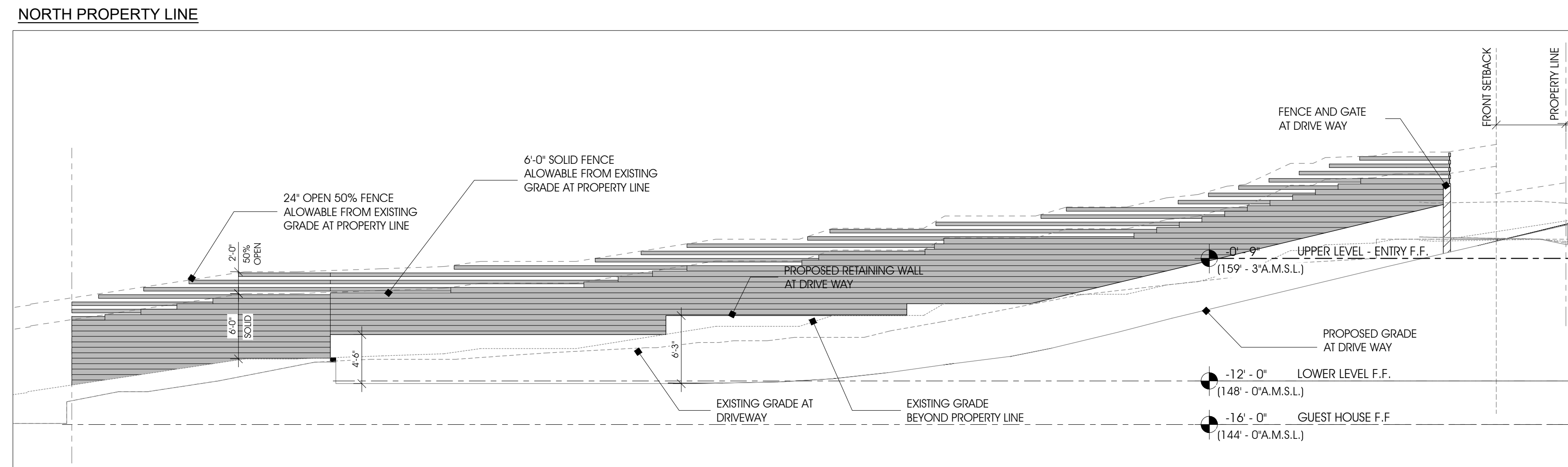
drawing prepared by -	MBWJ
sheet plot date -	12-17-2020
carson douglas job number -	20-009
design start date -	4-1-2020

L-2

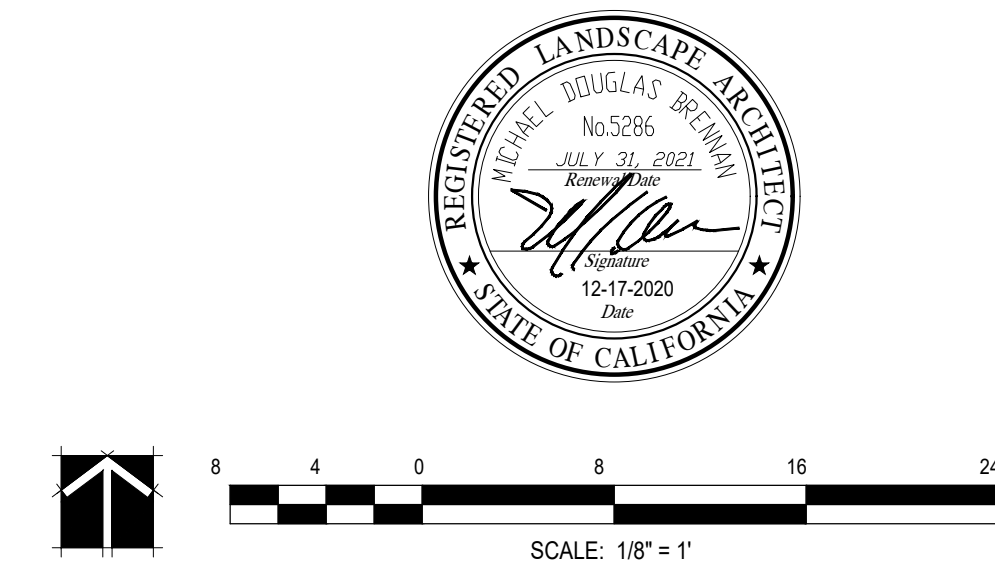
SHEET TITLE:
PROPERTY LINE ELEVATIONS

PROJECT | CLIENT:
GLADNICK RESIDENCE
LANDSCAPE CONCEPT PLAN
537 NORTH GRANADOS
SOLANA BEACH, CA

revisions	
first submittal	4-29-2020
second submittal	7-7-2020
third submittal	10-1-2020
third submittal	12-01-2020
third submittal	12-17-2020
drawing prepared by -	MBWJ
sheet plot date -	12-17-2020
carson douglas job number -	20-009
design start date -	4-1-2020



FENCING INSTALLATION ABOVE RETAINING WALLS SHALL CONSIST OF POWDER COATED HORIZONTAL METAL PANELS IN THE CONFIGURATION SHOWN ABOVE. RETAINING WALLS SHALL CONSIST OF EXPOSED CONCRETE.





STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: City Manager's
SUBJECT: **Public Hearing for Consideration of Adoption of Resolution 2021-038 Amending the Solana Energy Alliance Rate Schedule**

BACKGROUND:

Community Choice Aggregation (CCA), authorized by Assembly Bill 117, is a state law that allows cities, counties and other authorized entities to aggregate electricity demand within their jurisdictions in order to purchase and/or generate alternative energy supplies for residents and businesses within their jurisdiction while maintaining the existing electricity provider for transmission and distribution services. The goal of a CCA is to provide a higher percentage of renewable energy electricity at competitive and potentially cheaper rates than existing Investor Owned Utilities (IOUs), while giving consumers local choices and promoting the development of renewable power sources and programs and local job growth.

The City of Solana Beach's (City) CCA, Solana Energy Alliance (SEA), was established by the City Council through adoption of Ordinance 483 on December 13, 2017 and began serving customers in June 2018. SEA is the first CCA to launch in San Diego Gas & Electric territory and remains the only CCA operating in San Diego County.

In October 2019, the City Council adopted Resolution 2019-136 approving the Joint Powers Agreement that created the Clean Energy Alliance Joint Powers Authority (CEA), along with the cities of Carlsbad and Del Mar. In December 2019, the City Council adopted Resolution 2019-156 approving an amendment to the Solana Energy Alliance Implementation Plan, which reflected Solana Beach's intention to join CEA and transition its customers during CEA's enrollment in May 2021. At its March 10th meeting, the City Council heard a report on CEA's power supply options and rates, selecting the Clean Impact Plus, 50% Renewable/75% Carbon Free power supply as the default power supply for Solana Beach residents and businesses. This power supply is the same power supply being provided to SEA customers and has been

CITY COUNCIL ACTION:

successful in achieving Climate Action Plan goals. SEA customers will transition to CEA service in May 2021.

At the same meeting, the City Council received a report on the wind-down activities of SEA, the financial forecast, and options related to rate adjustments. Based on the information provided, the City Council directed Staff to set a public hearing to adjust rates to be consistent with CEA's adopted rates, to be effective March 1, 2021.

This item is before Council to consider adoption of Resolution 2021-038 amending the SEA rate schedule (Attachment 1) effective 3/1/2021, setting rates at an average 2.4% premium for 50% renewable/75% carbon free energy generation costs when compared to San Diego Gas & Electric (SDG&E) comparable rates. Per SDG&E's 2019 Power Content Label (the most recent information available), SDG&E's power supply was sourced from 31.3% eligible renewable and 7.8% unbundled recs, for a total state recognized 39.1% of renewable energy.

DISCUSSION:

Pursuant to Council direction from the March 10, 2021 meeting, the proposed SEA rates effective March 1, 2021 have the following impact to SEA Choice residential Schedule DR customers (based on average monthly usage of 465 kWh):

Rate Schedule	6/1/20 Adopted Rate	3/1/21 Proposed Rate	Est. Monthly change
Residential-DR Winter (Eff through May 31)	\$.03629/kWh	\$.04427/kWh	\$3.71

The following is an average monthly bill comparison with SDG&E for a residential Schedule DR customer using the proposed winter rates (current rate in effect through May 31):

Residential: DR	SEA 50% Renewable/ 75% Carbon Free	SDG&E 39% Renewable
Generation	\$ 20.59	\$ 40.26
SDG&E PCIA+FFS	\$ 20.62	\$ -
SDG&E Delivery	\$ 71.26	\$ 71.26
Total Average Monthly Bill	\$ 112.47	\$ 111.53

SEA customers will pay an average \$0.94 more for SEA's 50% renewable/75% carbon free powers supply than customers receiving SDG&E's 39% renewable power supply (per SDG&E's 2019 Power Content Label).

Impacts of Rate Adjustment to SEA Cash Flow

	Min Cash (2021)	Ending Balance (1/31/2023)
Continue 2020 Rates	-\$16,389	-\$209,317
2.4% premium 3/1/2021	-\$10,329	-\$102,558
Difference	\$6,060	\$106,759

CEQA COMPLIANCE STATEMENT:

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a “project” under Section 15378(b)(5) of CEQA Guidelines.

FISCAL IMPACT:

Revenue generated by the proposed SEA rates provides funding to cover direct operating costs including renewable energy, carbon free and conventional energy.

WORK PLAN:

Environmental Sustainability – Policy Development – Implement Solana Energy Alliance

OPTIONS:

- Approve Staff recommendations.
- Do not approve Staff recommendations.
- Provide alternative direction to Staff.

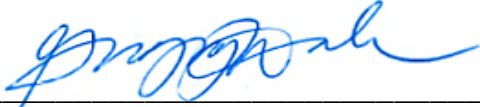
DEPARTMENT RECOMMENDATION:

Staff recommends the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Adopt Resolution 2021-038 amending the rate schedule for Solana Energy Alliance.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager/Executive Director

Attachments:

1. Resolution 2021-038

RESOLUTION 2021-038

**A RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF SOLANA BEACH, CALIFORNIA,
AMENDING THE SOLANA ENERGY
ALLIANCE RATE SCHEDULE**

WHEREAS, at its regular meeting on June 24, 2020, the City Council adopted Resolution 2020-099 Amending the Solana Energy Alliance (SEA) Rate Schedule; and

WHEREAS, the City Council desires to amend the SEA Rate Schedule again; and

WHEREAS, at the March 24, 2021 City Council meeting, the City Council held the public hearing to consider amending the Solana Energy Alliance Rate Schedule.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council amends the Solana Energy Alliance Rate Schedule per Exhibit A.
3. The rates are to become effective March 1, 2021.

PASSED AND ADOPTED this 24th day of March 2021, at a regular meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

EXHIBIT A

Resolution 2021-038

SOLANA ENERGY ALLIANCE PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
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RESIDENTIAL RATES

DR, DM, DS, DT, DT-RV, DR-LI	DR	Residential. DM, DS, DT -- multi-family service. DT - mobile home park. DR - LI - low income.	Summer	per kWh	Total	0.12841	
			Winter	per kWh	Total	0.04427	
TOU-DR, DR-TOD, DR-TOD-PSH	TOU-DR	Residential Time-of-Use	Summer	Generation	On-Peak	0.20481	
			Summer	Generation	Off-Peak	0.14247	
			Summer	Generation	Super Off-Peak	0.08074	
			Winter	Generation	On-Peak	0.04291	
			Winter	Generation	Off-peak	0.03320	
			Winter	Generation	Super Off-Peak	0.02244	
DR-SES	DRSES	Residential time-of-use with solar	Summer	per kWh	On-Peak	0.35624	
			Summer	per kWh	Off-Peak	0.08467	
			Summer	per kWh	Super Off-Peak	0.02199	
			Winter	per kWh	On-Peak	0.04353	
			Winter	per kWh	Off-peak	0.03375	
			Winter	per kWh	Super Off-Peak	0.02292	
TOU-DR-1 & DR-2	Not Available to SEA Customers						
EV-TOU, EV-TOU2, EV-TOU-5	EVTOU	Electric Vehicle	Summer	per kWh	On-Peak	0.35624	
			Summer	per kWh	Off-Peak	0.08467	
			Summer	per kWh	Super Off-Peak	0.02199	
			Winter	per kWh	On-Peak	0.04353	
			Winter	per kWh	Off-peak	0.03375	
			Winter	per kWh	Super Off-Peak	0.02292	

TOU Periods - Weekdays	Summer	
	June 1 - Oct 31	November 1 - May 31
On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm
Off-Peak	6:00am-4:00pm; 9:00pm-midnight	6:00am - 4:00pm Excluding 10:00am - 2:00pm in March & April; 9:00pm - midnight
Super Off-Peak	Midnight - 6:00am	Midnight - 6:00am

TOU Periods - Weekends and Holidays	Summer	
	June 1 - Oct 31	November 1 - May 31
On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm
Off-Peak	2:00pm-4:00pm; 9:00pm-midnight	2:00pm - 4:00pm; 9:00 pm - midnight
Super Off-Peak	Midnight - 2:00pm	Midnight - 2:00pm

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
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DR-TOU	DR-TOU	Residential Time-of-Use	Summer	per kWh	On-Peak		
			Summer	per kWh	Off-Peak		
			Winter	per kWh	On-Peak		
			Winter	per kWh	Off-peak		

DRTOU Periods	Summer	Winter
	June 1 - Oct 31	November 1 - May 31
	Noon - 6:00pm	
On-Peak	Weekdays	Noon - 6:00pm Weekdays
Off-Peak	All Other Days & Hours	All Other Days & Hours

G-DR-TOD	G-TOU-DR	Grandfathered Residential Time-of-Use	Summer	per kWh	On-Peak	0.24726
			Summer	per kWh	Semi-Peak	0.14714
			Summer	per kWh	Off-Peak	0.10196
			Winter	per kWh	On-Peak	0.05178
			Winter	per kWh	Semi-Peak	0.03747
			Winter	per kWh	Off-Peak	0.02876

G-TOU-DR Periods	Summer	Winter
	June 1 - Oct 31	November 1 - May 31
	11am - 6pm	
	Weekdays, exc	
On-Peak	Holidays	5pm-8pm Weekdays, exc Holidays
Semi-Peak	6am-11am Weekdays, Exc Holidays	6am-5pm, Weekdays, exc. Holidays
	6pm-10pm Weekdays, exc. Holidays	8pm-10pm Weekdays, exc. Holidays
Off-Peak	10pm-6am, Weekdays, and all hours on Weekends & Holidays	10pm-6am, Weekdays, and all hours on Weekends & Holidays

The time periods shown above will begin and end one hour later for the period between the second Sunday in March and the first Sunday in April, and for the period between the last Sunday in October and the first Sunday in November

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
G-DR-SES	G-DR-SES	Grandfathered Residential time-of-use with solar	Summer	per kWh	On-Peak	0.35303	
			Summer	per kWh	Semi-Peak	0.35301	
			Summer	per kWh	Off-Peak	0.08772	
			Winter	per kWh	Semi-Peak	0.08008	
			Winter	per kWh	Off-Peak	0.07265	

G-DR-SES Periods	Summer June 1 - Oct 31		Winter November 1 - May 31
	On-Peak	11am - 6pm Weekdays, exc Holidays	
Semi-Peak	6am-11am Weekdays, Exc Holidays 6pm-10pm Weekdays, exc. Holidays	6am-6pm, Weekdays, exc. Holidays	
Off-Peak	10pm-6am, Weekdays, and all hours on Weekends & Holidays	6pm-6am, Weekdays, and all hours on Weekends & Holidays	

G-EV-TOU2	G-EV-TOU-2	Grandfathered Electric Vehicle	Summer	per kWh	On-Peak	0.29951	
			Summer	per kWh	Off-Peak	0.26061	
			Summer	per kWh	Super Off-Peak	0.04980	
			Winter	per kWh	On-Peak	0.06422	
			Winter	per kWh	Off-peak	0.06327	
			Winter	per kWh	Super Off-Peak	0.04857	

G-EV-TOU2 Time Periods	Summer June 1 - Oct 31		Winter November 1 - May 31
	On-Peak	12 Noon - 6pm Daily Exc. Holidays	12 Noon - 6pm Daily Exc. Holidays
Super Off-Peak	12 Midnight - 5am Daily	12 Midnight - 5am Daily	
Off-Peak	All Other Hours	All Other Hours	

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
COMMERCIAL/INDUSTRIAL RATES							

TOU-A, AS-TOD, AS-TOD-PSW	TOU-A-S	Small Commercial Time-of-Use	Summer	per kWh	On-Peak	0.20756	Secondary Voltage
			Summer	per kWh	Off-Peak	0.09567	
			Winter	per kWh	On-Peak	0.05123	
			Winter	per kWh	Off-Peak	0.03537	

TOU Periods - Weekdays	Summer	Winter
	June 1 - Oct 31	November 1 - May 31
On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm
Off-Peak	Midnight - 4pm; 9:00 pm - midnight	Midnight - 4pm; 9:00 pm - midnight

TOU Periods - Weekends and Holidays	Summer	Winter
	June 1 - October 31	November 1 - May 31
Off-Peak	All day	All day

G-AS-TOD, G-AS-TOD-PSW	G-TOU-A-S	Summer	Generation	On-Peak	0.22409	Secondary Voltage
		Summer	Generation	Semi-Peak	0.11523	
		Summer	Generation	Off-Peak	0.03141	
		Winter	Generation	On-Peak	0.05572	
		Winter	Generation	Semi-Peak	0.04171	
		Winter	Generation	Off-Peak	0.03284	

TOU Periods - Weekdays	Summer	Winter
	June 1 - Oct 31	November 1 - May 31
On-Peak	11:00am-6:00pm	5:00pm - 8:00pm
Semi-Peak	6:00am-11:00am 6:00pm-10:00pm	6:00am-5:00pm 8:00pm-10:00pm
Off-Peak	10:00pm-6:00am;	10:00pm-6:00am

TOU Periods - Weekends and Holidays	Summer	Winter
	June 1 - October 31	November 1 - May 31
Off-Peak	All day	All day

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
TOU-M	TOU-M	General Service - Small - Time Metered	Summer	Generation	On-Peak	0.28277	Secondary Voltage
			Summer	Generation	Off-Peak	0.08443	
			Summer	Generation	Super Off-Peak	0.02944	
			Winter	Generation	On-Peak	0.04952	
			Winter	Generation	Off-Peak	0.03963	
			Winter	Generation	Super Off-Peak	0.02857	
AL-TOU, AL-DGR-CP2, AL-TOU-CP2	AL-TOU-S	Medium Commercial Time Metered Time-of-Use	Summer	Demand	On-Peak	12.91	Secondary
			Summer	per kWh	On-Peak	0.11561	
			Summer	per kWh	Off-Peak	0.08980	
			Summer	per kWh	Super Off-Peak	0.05939	
			Winter	per kWh	On-Peak	0.09249	
			Winter	per kWh	Off-Peak	0.07746	
AL-TOU, AL-TOU-CP2	AL-TOU-P	Medium Commercial Time Metered Time-of-Use	Summer	Demand	On-Peak	12.85	Primary
			Summer	Generation	On-Peak	0.11486	
			Summer	Generation	Off-Peak	0.08920	
			Summer	Generation	Super Off-Peak	0.05905	
			Winter	Generation	On-Peak	0.09187	
			Winter	Generation	Off-Peak	0.07698	
			TOU Periods - Weekdays		Summer June 1 - Oct 31	Winter November 1 - May 31	
			On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm		
			Off-Peak	6:00am-4:00pm; 9:00pm-midnight	6:00am - 4:00pm; Excluding 10:00am- 2:00pm in March & April		
			Super-Off-Peak	Midnight-6:00am	Midnight - 6:00am 10:00am - 2:00pm in March and April		
			TOU Periods - Weekends & Holidays		Summer June 1 - Oct 31	Winter November 1 - May 31	
			On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm		
			Off-Peak	2:00pm-4:00pm; 9:00pm-midnight	2:00pm - 4:00pm 9:00pm - midnight		
			Super-Off-Peak	Midnight - 2:00pm	Midnight - 2:00pm		

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
G-AL-TOU, G-AL-TOU- G-AL-TOU-S		Medium Commercial Time Metered Time-of-Use	Summer	Demand	On-Peak	7.35	Secondary
			Summer	Generation	On-Peak	0.10903	
			Summer	Generation	Semi-Peak	0.10149	
			Summer	Generation	Off-Peak	0.07229	
			Winter	Generation	On-Peak	0.10496	
			Winter	Generation	Semi-Peak	0.08300	
			Winter	Generation	Off-Peak	0.06962	
TOU Periods - Weekdays			Summer		Winter		
			June 1 - October 31		November 1 - May 31		
		On-Peak		11:00am - 6:00pm		5:00pm - 8:00pm	
		Semi-Peak		6:00am - 11:00am; 6:00pm - 10:00pm		6:00am - 5:00pm; 8:00pm - 10:00pm	
		Off-Peak		10:00pm - 6:00am		10:00pm - 6:00am	
TOU Periods - Weekends and Holidays			Summer		Winter		
			June 1 - October 31		November 1 - May 31		
		Off-Peak		All day		All day	
A-TC	ATC	Traffic Control Service	All	per kWh	Total	0.03949	

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
AGRICULTURAL RATES							
PA-T-1	PA-T-1-S	Agricultural & Pumping	Summer	Demand	On-Peak	5.16	Secondary
			Summer	per kWh	On-Peak	0.07348	
			Summer	per kWh	Off-Peak	0.05558	
			Summer	per kWh	Super Off-Peak	0.03913	
			Winter	per kWh	On-Peak	0.06271	
			Winter	per kWh	Off-Peak	0.05200	
			Winter	per kWh	Super Off-Peak	0.04014	
TOU-PA-3	TOU-PA-3	Agricultural & Pumping	Summer	Demand	On-Peak	0.00	Secondary >20 kW
			Summer	per kWh	On-Peak	0.19221	
			Summer	per kWh	Off-Peak	0.08349	
			Summer	per kWh	Super Off-Peak	0.02549	
			Winter	per kWh	On-Peak	0.03950	
			Winter	per kWh	Off-Peak	0.03141	
			Winter	per kWh	Super Off-Peak	0.02244	

TOU Periods - Weekdays	Summer	Winter
	June 1 - October 31	November 1 - May 31
On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm
Off-Peak	6:00am-4:00pm; 9:00pm-Midnight	6:00am - 4:00pm; Excluding 10:00am - 2:00pm in March & April 9:00pm - Midnight
Super Off-Peak	Midnight-6:00am	Midnight - 6:00am; 10:00am - 2:00pm in March & April

TOU Periods - Weekends and Holidays	Summer	Winter
	June 1 - October 31	November 1 - May 31
On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm
Off-Peak	2:00pm-4:00pm; 9:00pm-Midnight	2:00pm - 4:00pm; 9:00pm - Midnight
Super Off-Peak	Midnight - 2:00pm	Midnight - 2:00pm

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes		
TOU-PA	TOU-PA-S	Agricultural & Pumping	Summer	Generation	On-Peak	0.16282	Secondary		
			Summer	Generation	Off-Peak	0.07545			
			Winter	Generation	On-Peak	0.04086			
			Winter	Generation	Off-Peak	0.02698			
			TOU Periods - Weekdays			Summer	Winter		
						June 1 - Oct 31	November 1 - May 31		
			On-Peak			4:00pm - 9:00pm	4:00pm - 9:00pm		
			Off-Peak			Midnight - 4pm; 9:00 pm - midnight	Midnight - 4pm; 9:00 pm - midnight		
			TOU Periods - Weekends and Holidays			Summer	Winter		
						June 1 - October 31	November 1 - May 31		
Off-Peak			All day	All day					
G-TOU-PA	G-TOU-PA-S	Agricultural & Pumping	Summer	Generation	On-Peak	0.20807	Secondary		
			Summer	Generation	Semi-Peak	0.08056			
			Summer	Generation	Off-Peak	0.02958			
			Winter	Generation	On-Peak	0.04334			
			Winter	Generation	Semi-Peak	0.03194			
			Winter	Generation	Off-Peak	0.02500			
			TOU Periods - Weekdays			Summer	Winter		
						June 1 - October 31	November 1 - May 31		
			On-Peak			11:00am - 6:00pm	5:00pm - 8:00pm		
			Semi-Peak			6:00am - 11:00am; 6:00pm - 10:00pm	6:00am - 5:00pm; 8:00pm - 10:00pm		
Off-Peak			10:00pm - 6:00am	10:00pm - 6:00am					
TOU Periods - Weekends and Holidays			Summer	Winter					
			June 1 - October 31	November 1 - May 31					
Off-Peak			All day	All day					

SOLANA ENERGY ALLIANCE
PROPOSED RATES EFFECTIVE 3/1/21

SDG&E Rate Name	SEA Rate Name	Rate Description	Season	Charge Type	Time of Use Period	3/1/21 Proposed Rate (\$)	Notes
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LIGHTING RATES

LS-1, LS-2, LS-3, OL-1, DWL	LS	Street and Outdoor Lighting	All	per kWh	Total	0.05126	
OL-TOU	OL-TOU	Outdoor Lighting	Summer	Generation	On-Peak	0.38685	
			Summer	Generation	Off-Peak	0.12347	
			Summer	Generation	Super Off-Peak	0.04971	
			Winter	Generation	On-Peak	0.07622	
			Winter	Generation	Off-Peak	0.06419	
			Winter	Generation	Super Off-Peak	0.05086	

TOU Periods - Weekdays	Summer	Winter
	June 1 - Oct 31	November 1 - May 31
On-Peak	4:00pm - 9:00pm	4:00pm - 9:00pm
Off-Peak	6:00am - 4:00pm; 9:00pm - midnight	6:00am - 4:00pm; Excluding 10:00am-2:00pm in Midnight - 6:00am
Super-Off-Peak	Midnight - 6:00am	10:00am - 2:00pm in March and April

SEA GREEN 100% RENEWABLE PRODUCT RATE

SEA Green 100% Renewable Energy Premium	per kWh	0.003
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SEA NEM NET SURPLUS COMPENSATION RATE

SEA NEM Annual Net Surplus Compensation Rate	per kWh	0.06
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STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: Community Development
SUBJECT: **6th Cycle Housing Element Update Status**

BACKGROUND:

The Housing Element is a State-mandated policy document and is required by State Housing law to be updated every eight years. The City's current Housing Element is for the 5th Cycle planning period which covers the years 2013-2021. The next planning period is the 6th Cycle which covers years 2021-2029.

Housing Element Law, enacted in 1969, mandates that local governments adequately plan to meet the existing and projected housing needs of all economic segments of the community. The law acknowledges that, in order for the private market to adequately address housing needs and demand, local governments must adopt land use plans and regulatory systems which provide opportunities for, and do not unduly constrain, housing development.

All California municipalities are required by Article 10.6 of the Government Code (Sections 65580-65590) to adopt a Housing Element as part of their General Plan. Distinct from the other General Plan elements, the Housing Element is subject to detailed statutory requirements and mandatory review by the California Department of Housing and Community Development (HCD).

On December 16, 2020, the City's Draft 6th Cycle Housing Element was submitted to HCD for review. On February 16, 2021 the City received comments (Attachment 1) from HCD staff.

This item is before the City Council to review and discuss the edits to the Draft 6th Cycle Housing Element Update based on HCD comments received.

COUNCIL ACTION:

DISCUSSION:

Since receipt of HCD's comment letter on February 16, 2021, Staff and the City's consultant, Kimley-Horn Associates, have been making edits to sections of the City's Draft 6th Cycle Housing Element. The following is a summary of the comments received from HCD:

Section 3 – Housing Needs, Resources and Constraints

- Additional analysis and documentation of household characteristics, including an estimate of number of units in need of rehabilitation and replacement and include programs as appropriate.
- Affirmatively further fair housing in accordance with state law and include an assessment of fair housing in the jurisdiction including the following components:
 - Summary of fair housing issues in the jurisdiction
 - Analysis of federal, state and local data
 - An assessment of factors for fair housing issues
 - Identification of City fair housing priorities and goals
 - Strategies and action to implement fair housing priorities and goals
- Inventory of land suitable and available for residential development
 - Inventory to describe existing uses on sites inventory
 - Suitability of non-vacant sites to demonstrate the potential for redevelopment
 - Indicate policies or incentives to encourage and facilitate lot consolidation of small sites
 - Additional analysis that support realistic capacity assumptions for residential development in commercial zones
 - Demonstrate sufficient capacity of infrastructure (water and sewer)
 - Demonstrate zoning for variety of housing types (employee housing, emergency shelters, permanent supportive housing)
- Additional analysis of potential government constraints
 - Land use controls (density, building height, parking)
 - Reasonable accommodation for persons with disabilities
- Additional analysis of nongovernmental constraints
 - Length of time between approval for housing development and building permit issuance
- Special housing needs analysis
 - Quantify number of persons with developmental disabilities
 - Include responsive programs

Housing Programs

- Identify actions that facilitate housing development for all income levels and housing types
 - Provide additional information in sites inventory
 - Clarify and revise Accessory Dwelling Unit (ADU) potential development assumptions
 - Provide programs to incentivize and promote ADUs and ADU affordability
- Programs that further special needs housing (farmworkers, persons with disability, homelessness)

- Programs to conserve and improve existing affordable housing stock
- Promote and affirmatively further fair housing
- Quantify objectives for rehabilitation and conservation of housing
- Identify the number of low- and moderate-income dwelling units that have been replaced, demolished, and/or converted since 1982

The proposed changes to the Draft 6th Cycle Housing Element are based upon comments received from HCD. Text added to Section 3, Section 4 and Appendix B is underlined and deleted information is shown in ~~strike through~~ and is included for City Council review and comment in Attachments 2, 3 and 4. The following is a summary of the proposed changes:

- Added language regarding “Employee Housing” and added a program that would update the Solana Beach Municipal Code (SBMC) to define employee housing consistent with the State Health and Safety Code (Program 1M)
- Added a “Group Residential” development parking analysis of surrounding jurisdictions
- Provided additional information and analysis regarding “Emergency Shelters”
- Added program to amend SBMC that would include “Transitional” and “Supportive” housing in use matrix (Program 1L)
- Added program to remove possible constraint regarding “reasonable accommodations” in the SBMC (Program 4F)
- Added Project Timing (Table 3-11) analysis
- Added water and wastewater capacity information
- Provided additional analysis regarding small site adequacy to meet RHNA (Table 3-15)
- Revised estimated annual ADU production from 19 to 16 ADUs per year
- Provided additional analysis regarding development of non-vacant sites (Table 3-17)
- Added analysis regarding Fair Housing including regional figures and indicators
- Added analysis and evaluation of Previous Housing Element
- Added Program 1O to pursue outside funding opportunities for lower- and moderate-income households

ADU promotion and production for various income levels continues to be a priority for HCD. Therefore, the City Council may want to consider modifying or adding to the draft programs related to ADUs. Policies and programs the City Council may want to consider include, but are not limited to, the following:

- Allow ADUs on HOZ properties provided proposed construction is not located on slopes greater than 25%
- Allow ADUs on properties with Environmentally Sensitive Habitat Areas (ESHA) provided development can meet buffer requirements as outlined in the City’s Local Coastal Plan.
- Adding a policy to promote affordable ADUs that would reduce permitting fees for deed restricted ADUs
- Modify term of deed restricted affordable ADUs

HCD staff has been working with the City's consultant and City Staff to clarify and provide guidance on the data, types of analysis, and possible programs that would meet the requirements to gain HCD approval/certification of the City's 6th Cycle Housing Element. The draft edits that are included in the Attachments have been sent to HCD for comment. Staff expects HCD comments on these proposed changes prior to the March 24th City Council meeting. Staff will forward HCD comments as soon as they are received.

Based on City Council input, Staff will make final edits and present the Final Draft 6th Cycle Housing Element Update for City Council consideration at the April 14, 2021 meeting.

CEQA COMPLIANCE STATEMENT:

This discussion item is not a project as defined by CEQA.

FISCAL IMPACT:

There is no fiscal impact as a result of this item.

OPTIONS:

The City Council may consider adding or revising other housing policy language or programs.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council provide comments and direction on the proposed Draft 6th Cycle Housing Element Update changes.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. HCD Comment Letter of Solana Beach's 6th Cycle (2021-2029) Draft Housing Element
2. Draft Housing Element Section 3 – Constraints and Resources
3. Draft Housing Element Section 4 – Housing Plan
4. Draft Housing Element Appendix B – Site Analysis

**DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF HOUSING POLICY DEVELOPMENT**

2020 W. El Camino Avenue, Suite 500
Sacramento, CA 95833
(916) 263-2911 / FAX (916) 263-7453
www.hcd.ca.gov



February 16, 2021

Gregory Wade, City Manager
City of Solana Beach
635 South Highway 101
Solana Beach, CA 92075

Dear Gregory Wade:

RE: Review of Solana Beach's 6th Cycle (2021-2029) Draft Housing Element

Thank you for submitting the City of Solana Beach's (City) draft housing element received for review on December 18, 2020 along with revisions on February 3, 2021. Pursuant to Government Code section 65585, subdivision (b), the California Department of Housing and Community Development (HCD) is reporting the results of its review. Our review was facilitated by a telephone conversation on January 21, 2021 with your, Joseph Lim, Community Development Director, Corey Andrews, Principal Planner, and Nick Chen, the City's consultant.

The draft element addresses many statutory requirements; however, revisions will be necessary to comply with State Housing Element Law (Article 10.6 of the Gov. Code). The enclosed Appendix describes revisions needed to comply with State Housing Element Law.

To remain on an eight-year planning cycle, the City must adopt its housing element within 120 calendar days from the statutory due date of April 15, 2021 for SANDAG localities. If adopted after this date, Government Code section 65588, subdivision (e)(4), requires the housing element be revised every four years until adopting at least two consecutive revisions by the statutory deadline. For more information on housing element adoption requirements, please visit HCD's website at:

http://www.hcd.ca.gov/community-development/housing-element/housing-element-memos/docs/sb375_final100413.pdf.

Public participation in the development, adoption and implementation of the housing element is essential to effective housing planning. Throughout the housing element process, the City should continue to engage the community, including organizations that represent lower-income and special needs households, by making information regularly available and considering and incorporating comments where appropriate. This is particularly important since past participation efforts resulted in many meaningful comments that do not appear to be incorporated in the element.

Gregory Wade, City Manager
Page 2

Several federal, state, and regional funding programs consider housing element compliance as an eligibility or ranking criteria. For example, the CalTrans Senate Bill (SB) 1 Sustainable Communities grant; the Strategic Growth Council and HCD's Affordable Housing and Sustainable Communities programs; and HCD's Permanent Local Housing Allocation consider housing element compliance and/or annual reporting requirements pursuant to Government Code section 65400. With a compliant housing element, the City will meet housing element requirements for these and other funding sources.

HCD appreciates the hard work and effort you, Joseph Lim, Community Development Director, Corey Andrews, Principal Planner, and Nick Chen, consultant provided during the course of our review. We are committed to assist the City in addressing all statutory requirements of State Housing Element Law. If you have any questions or need additional technical assistance, please contact Jose Ayala, of our staff, at Jose.Ayala@hcd.ca.gov.

Sincerely,

A handwritten signature in black ink that reads "Shannan West". The signature is written in a cursive, flowing style.

Shannan West
Land Use & Planning Unit Chief

Enclosure

**APPENDIX
CITY OF SOLANA BEACH**

The following changes are necessary to bring the City's housing element into compliance with Article 10.6 of the Government Code. Accompanying each recommended change, we cite the supporting section of the Government Code.

Housing element technical assistance information is available on HCD's website at <http://www.hcd.ca.gov/community-development/housing-element/housing-element-memos.shtml>. Among other resources, the housing element section contains HCD's latest technical assistance tool, *Building Blocks for Effective Housing Elements (Building Blocks)*, available at <http://www.hcd.ca.gov/community-development/building-blocks/index.shtml> and includes the Government Code addressing State Housing Element Law and other resources.

A. Housing Needs, Resources, and Constraints

1. *An analysis and documentation of household characteristics, including level of payment compared to ability to pay, housing characteristics, including overcrowding, and housing stock condition. (Gov. Code, § 65583, subd. (a)(2))*

Housing Conditions: The element describes the current housing stock and concludes owner occupied housing is better maintained due to the City's higher income households. However, the element must still include an estimate of the number of units in need of rehabilitation and replacement. This analysis could address housing types such as multifamily. The element must include programs as appropriate based on the outcomes of this analysis.

2. *Affirmatively further fair housing in accordance with Chapter 15 (commencing with Section 8899.50) of Division 1 of Title 2. The program shall include an assessment of fair housing in the jurisdiction that shall include all of the following components:*
 - (i) *A summary of fair housing issues in the jurisdiction and an assessment of the jurisdiction's fair housing enforcement and fair housing outreach capacity.*
 - (ii) *An analysis of available federal, state, and local data and knowledge to identify integration and segregation patterns and trends, racially or ethnically concentrated areas of poverty, disparities in access to opportunity, and disproportionate housing needs within the jurisdiction, including displacement risk.*
 - (iii) *An assessment of the contributing factors for the fair housing issues identified under clause (ii).*
 - (iv) *An identification of the jurisdiction's fair housing priorities and goals, giving highest priority to those factors identified in clause (iii) that limit or deny fair housing choice or access to opportunity, or negatively impact fair housing or civil rights compliance, and identifying the metrics and milestones for determining what fair housing results will be achieved.*
 - (v) *Strategies and actions to implement those priorities and goals, which may include, but are not limited to, enhancing mobility strategies and encouraging development of new affordable housing in areas of opportunity, as well as place-based strategies to encourage community revitalization, including preservation of existing affordable housing, and protecting existing residents from displacement. (Gov. Code, § 65583, subd. (c)(10)(A))*

The element includes information contained within the Regional Analysis of Impediments and some general description of socio-economic patterns within the City. However, the assessment of fair housing must include an analysis related to racially and ethnically concentrated areas of poverty, disparities in access to opportunities and disproportionate housing needs, including displacement risks. Further, the element contains no analysis to adequately identify and prioritize contributing factors to fair housing issues and formulate meaningful and significant goals and actions. An analysis generally will identify all the above fair housing areas, evaluate patterns and trends, analyze other relevant factors and summarize findings to better inform and prioritize contributing factors to fair housing issues and formulate goals and actions. Specifically, the element must include:

- Identification and analysis of integration and segregation on protected characteristics, including race, disability, familial status and income. Identification and analysis must also fully address disproportionate housing needs, including overpayment, overcrowding and substandard housing and access to opportunities for persons with disabilities.
- For all analysis categories (e.g., fair housing enforcement, segregation, and integration, racially and ethnically concentrated areas of poverty, disparities in access to opportunities and disproportionate housing needs), discuss patterns and trends relative to the region. For example, Solana Beach largely does not appear to reflect socio-economic patterns of the San Diego region.
- For all analysis categories, analyze other relevant factors, most specifically for Solana Beach, demographic trends relative to the region, past practices and policies that led to how Solana Beach strongly differs from the rest of the region and any other relevant policy or program areas.
- The element currently summarizes essentially that Solana Beach does not have fair housing issues because the City is predominantly a high resource community. However, major components of the analysis are missing, and the element must consider the City's relativity to the region as well as other relevant factors. The element must address a summary of fair housing issues based on the outcomes of a complete analysis.
- The element currently maps sites intended to accommodate housing for lower-income households but contains little to no analysis of whether the inventory affirmatively furthers fair housing. For example, the element should map and analyze moderate and above moderate sites, analyze sites relative to segregation and integration and disproportionate housing need factors. The element should also discuss the overall pattern and the magnitude of the impact relative to the number of existing households.
- The element must list and prioritize contributing factors to fair housing issues. Contributing factors create, contribute to, perpetuate, or increase the severity of fair housing issues and are fundamental to adequate goals and actions. Examples include community opposition to affordable housing, housing

discrimination, land use and zoning laws, lack of regional cooperation, location and type or lack of affordable housing and lack of public or private investment in areas of opportunity or affordable housing choices. The element mentions contributing factors at a regional level, however, contributing factors should be unique to Solana Beach based on a complete analysis.

- Goals and actions must significantly seek to overcome contributing factors to fair housing issues. These actions are not limited to the regional housing need. For example, the element may need to consider zoning or land use changes regardless of the RHNA. Currently, the element identifies several programs to address affirmatively furthering fair housing. However, most of these programs do not appear to facilitate any meaningful change. For example, Program 1B simply makes information available on ADUs on how the City complies with state law. Program 1D addresses conversion of illegal ADUs but then notes the City is not aware of any illegal ADUs. Program 1D monitors the City's affordable housing program with no apparent objective for monitoring related to affirmatively furthering fair housing. Programs 4B and 4C simply commit to follow state law with no apparent proactive measures to promote housing for persons with special needs. Program 4D appears to work with the County to administer housing choice vouchers with no apparent objective for the planning period despite Solana Beach with seemingly the second lowest number of housing choice vouchers in the entire County. These actions will not be sufficient. The element must add, and revise programs based on a complete analysis and listing and prioritization of contributing factors to fair housing issues.

3. *An inventory of land suitable and available for residential development, including vacant sites and sites having realistic and demonstrated potential for redevelopment during the planning period to meet the locality's housing need for a designated income level, and an analysis of the relationship of zoning and public facilities and services to these sites. (Gov. Code, § 65583, subd. (a)(3).)*

Sites Inventory: The element lists sites by various factors such as zoning, acreage and capacity. However, the inventory should also sufficiently describe existing uses to facilitate an analysis of the potential for redevelopment and explain access to infrastructure (i.e., water, sewer, and dry utilities).

Suitability of Non-Vacant Sites: The element must include an analysis to demonstrate the potential for redevelopment. The analysis shall consider factors, including but not limited to the extent existing uses constitute an impediment, past experience, development trends and market conditions. In addition, if relying on non-vacant sites to accommodate 50 or more of the housing needs for lower-income households triggers requirements to make findings based on substantial evidence that the existing use is not an impediment and will likely discontinue in the planning period. The element explains these requirements including headers organizing the statute, but, otherwise, analysis is minimal or absent. For example, the element lists

recent projects but does not explain how those projects relate to zoning, existing uses and the listed sites in the inventory. The element explains demographic trends for seniors and Generation Y but does not explain how that relates to market demand for redeveloping identified sites. The element states the city held discussions with property owners but does not relate that information to the site inventory. There is no attempt to evaluate whether existing uses are operating, have been operating or are or are not anticipated to continue operating – all of which is necessary, retrievable, and available information. To address these requirements, the element must include analysis and must relate that analysis to identified sites to demonstrate the existing uses in the inventory are not an impediment and have potential for redevelopment.

Small Sites: The element identifies several sites at less than a half-acre. These sites are not eligible absent a demonstration that sites of equivalent size were successfully developed during the prior planning period for an equivalent number of lower-income housing units as projected for the site or unless other evidence is provided. The inventory indicates some sites can be consolidated but should also provide analysis demonstrating the potential for consolidation. For example, the analysis could describe the city's role or track record in facilitating small-lot consolidation, policies or incentives offered or proposed to encourage and facilitate lot consolidation, conditions rendering parcels suitable and ready for lot consolidation, or information from the owners of each aggregated site.

Realistic Capacity: The element assumes residential development on sites zoned for non-residential uses. To support this assumption, the element lists some recent projects and describes how some zoning allows residential uses but does not address the likelihood of residential in zoning intended for non-residential uses. The element must include analysis based on factors such as development trends including non-residential, performance standards requiring residential uses or other relevant factors such as enhanced policies and programs.

Suitability and Availability of Infrastructure: The element mentions water and sewer providers but must also demonstrate sufficient existing or planned total water and sewer capacity to accommodate the regional housing need.

Zoning for a Variety of Housing Types: The element must demonstrate zoning for a variety of housing types, as follows:

- *Employee Housing:* The prior element contained a program to address this requirement. The element mentions the City reviewed the employee housing act and states the element was found in compliance (page A-4). There is no clear and direct statement of whether zoning was revised to address employee housing. The element must demonstrate zoning is consistent with the Employee Housing Act (Health and Safety Code, § 17000 et seq.), specifically, sections 17021.5 and 17021.6. Section 17021.5 requires employee housing for six or fewer employees to be treated as a single-family

structure and permitted in the same manner as other dwellings of the same type in the same zone. Section 17021.6 requires employee housing consisting of no more than 12 units or 36 beds to be permitted in the same manner as other agricultural uses in the same zone.

- **Emergency Shelters:** The element describes a zone to permit emergency shelters without discretionary action but must also describe development standards and sufficient capacity to accommodate the need for emergency shelters. The analysis must also address whether parking requirements are limited to staff working in the emergency shelters and do not require more parking than other residential or commercial uses in the zone. The element must include programs as appropriate based on the outcomes of this analysis.
 - **Permanent Supportive Housing:** Supportive housing shall be a use by right in zones where multifamily and mixed uses are permitted, including nonresidential zones permitting multifamily uses pursuant to Government Code section 65651. The element must demonstrate compliance with this requirement or include a program as appropriate.
4. *An analysis of potential and actual governmental constraints upon the maintenance, improvement, or development of housing for all income levels, including the types of housing identified in paragraph (1) of subdivision (c), and for persons with disabilities as identified in the analysis pursuant to paragraph (7), including land use controls, building codes and their enforcement, site improvements, fees and other exactions required of developers, local processing and permit procedures, and any locally adopted ordinances that directly impact the cost and supply of residential development. The analysis shall also demonstrate local efforts to remove governmental constraints that hinder the locality from meeting its share of the regional housing need in accordance with Section 65584 and from meeting the need for housing for persons with disabilities, supportive housing, transitional housing, and emergency shelters identified pursuant to paragraph (7). (Gov. Code, § 65583, subd. (a)(5).)*

Land-Use Controls: The element identifies and describes various land use controls, including zoning, overlays, development standards but contains little analysis to support conclusions that standards do not constrain housing. The element must include an analysis of the impacts of these land use controls on the cost, supply, and approval certainty of development. This analysis must specifically evaluate land use controls individually and cumulatively for impacts, including the ability to achieve maximum densities without exceptions (e.g., variance, conditional use, density bonus law). For example, regardless of standards imposed by nearby communities, height requirements appear to be a constraint. Also, the City's definition of density appears to be a constraint. The analysis must specifically address heights, including in combination with other development standards and definitions of density and include programs to address and remove or mitigate identified constraints.

Housing for Persons with Disabilities: The element explains the reasonable accommodation procedure and lists approval findings, but the February 3, 2021 revisions omit findings which appear to be a constraint. The element must re-insert these findings and include analysis and programs as appropriate.

In addition, while the element now includes a program (Program 3D) to evaluate parking requirements on group homes, it must actually analyze those constraints as part of the housing element update. Parking requirements on group homes appear to be a constraint, and as a result, programs should also be added or modified as appropriate.

5. *An analysis of potential and actual nongovernmental constraints upon the maintenance, improvement, or development of housing for all income levels, including the availability of financing, the price of land, the cost of construction, the requests to develop housing at densities below those anticipated in the analysis required by subdivision (c) of Government Code section 65583.2, and the length of time between receiving approval for a housing development and submittal of an application for building permits for that housing development that hinder the construction of a locality's share of the regional housing need in accordance with Government Code section 65584. The analysis shall also demonstrate local efforts to remove nongovernmental constraints that create a gap between the locality's planning for the development of housing for all income levels and the construction of that housing. (Gov. Code, § 65583, subd. (a)(6).)*

Nongovernmental Constraints: The element contains information on nongovernmental constraints such as land and construction costs, the availability of financing, and economic constraints. The element must also address the length of time between receiving approval for a housing development and submittal of an application for building permits for that housing development and requests to develop at densities below the density identified in the sites inventory.

6. *Analyze any special housing needs such as elderly; persons with disabilities, including a developmental disability; large families; farmworkers; families with female heads of households; and families and persons in need of emergency shelter. (Gov. Code, § 65583, subd. (a)(7).)*

Persons with Developmental Disabilities: The element contains information about organization serving persons with developmental disabilities in the San Diego region. However, the element must quantify the number of persons with developmental disabilities and include responsive programs.

B. Housing Programs

1. *Identify actions that will be taken to make sites available during the planning period with appropriate zoning and development standards and with services and facilities to accommodate that portion of the city's or county's share of the regional housing need for each income level that could not be accommodated on sites identified in the inventory completed pursuant to paragraph (3) of subdivision (a) without rezoning, and to comply with the requirements of Section 65584.09. Sites shall be identified as needed to facilitate and encourage the development of a variety of types of housing for all income levels, including multifamily rental housing, factory-built housing, mobilehomes, housing for agricultural employees, supportive housing, single-room occupancy units, emergency shelters, and transitional housing. (Gov. Code, § 65583, subd. (c)(1).)*

As noted in the Finding A2, the element does not include a complete sites inventory or analysis; as a result, the adequacy of sites and zoning has not been established. Based on the results of a complete sites inventory and analysis, programs may need to be added, or revised, to address a shortfall of sites and zoning for a variety of housing types. In addition:

Programs 1B and 1C (Accessory Dwelling Units (ADU)): The housing element notes 12 ADUs were permitted between January and December 2020 and later indicates the same number between January and September 2020. This inconsistency must be corrected. Further, neither number supports the City's assumption of 19 ADUs per year and programs and incentives do not appear to promote ADUs much beyond state law. The element must either revise capacity assumptions consistent with past trends or include additional analysis and programs to support the enhanced assumptions.

In addition, given the reliance on ADUs to accommodate the RHNA, programs to monitor ADUs should specifically monitor the number and affordability of ADUs every other year and include specific commitment to rezone or other actions to identify adequate sites within a specified time period (e.g., 6 months) if ADUs are not permitted as assumed in the element. Finally, the element must include a program to incentivize and promote the creation of accessory dwelling units that can be offered at affordable rent. While Program 1B intends to address this, the element must also commit to providing incentives. As such, Program 1B will need a discrete timeline, and provide outcomes for the number of ADUs that will be promoted with this program.

2. *Assist in the development of adequate housing to meet the needs of extremely low, very low, low-, and moderate-income households. (Gov. Code, § 65583, subd. (c)(2).)*

The element must include a program(s) with specific actions and timelines to assist in the development of housing for extremely low-income households and households and individuals with special needs (e.g., farmworkers, persons experiencing homelessness, persons with disabilities, including developmental). The program(s) could commit to adopting priority processing, granting fee waivers or deferrals, modifying development standards, granting concessions and incentives for housing developments that include units affordable to lower and moderate-income households; assisting, supporting or pursuing funding applications; and working with housing developers coordinate and implement a strategy for developing housing affordable to lower and moderate income households.

3. *Address and, where appropriate and legally possible, remove governmental and nongovernmental constraints to the maintenance, improvement, and development of housing, including housing for all income levels and housing for persons with disabilities. The program shall remove constraints to, and provide reasonable accommodations for housing designed for, intended for occupancy by, or with supportive services for, persons with disabilities. Supportive housing, as defined in Section 65650, shall be a use by right in all zones where multifamily and mixed uses are permitted, as provided in Article 11 (commencing with Section 65650). (Gov. Code, § 65583, subd. (c)(3).)*

As noted in the Finding A4 and A5, the element does not include a complete analysis and based on the results of a complete analysis, may need to add or revise programs.

4. *Conserve and improve the condition of the existing affordable housing stock, which may include addressing ways to mitigate the loss of dwelling units demolished by public or private action. (Gov. Code, § 65583, subd. (c)(4).)*

The element includes little to no action to conserve and improve the existing stock and should add or revise programs as appropriate to address this requirement. In addition, as noted in A1, the element should add or revise programs based on the outcomes of a complete analysis of housing stock conditions.

5. *Promote and affirmatively further fair housing opportunities and promote housing throughout the community or communities for all persons regardless of race, religion, sex, marital status, ancestry, national origin, color, familial status, or disability, and other characteristics protected by the California Fair Employment and Housing Act (Part 2.8 (commencing with Section 12900) of Division 3 of Title 2), Section 65008, and any other state and federal fair housing and planning law. (Gov. Code, § 65583, subd. (c)(5).)*

As noted in Finding A2, the element must include a complete analysis of affirmatively furthering fair housing. Based on the outcome of that analysis, the element must add or modify programs.

C. Quantified Objectives

A statement of the community's goals, quantified objectives, and policies relative to the maintenance, preservation, improvement, and development of housing. It is recognized that the total housing needs identified pursuant to subdivision (a) may exceed available resources and the community's ability to satisfy this need within the content of the general plan requirements outlined in Article 5 (commencing with Section 65300). Under these circumstances, the quantified objectives need not be identical to the total housing needs. The quantified objectives shall establish the maximum number of housing units by income category, including extremely low income, that can be constructed, rehabilitated, and conserved over a five-year time period. (Gov. Code, § 65583, subd. (b).)

While the element includes quantified objectives for new construction (Table 4-1), it must also add quantified objectives for rehabilitation and conservation and preservation by income group, including extremely low-income households.

D. Coastal Zone Localities

Coastal localities shall document the number of low- and moderate-income units converted or demolished, and the number of replacement units provided. (Gov. Code, § 65588, subd. (d).)

The element does not meet the statutory requirements. The housing element must identify the number of low- and moderate-income dwelling units that have been replaced, demolished, and/or converted, within the coastal zone, since January 1, 1982. The element must also identify the number of residential dwelling units for low- and moderate-income households that have been constructed or required for replacement within the coastal zone.

Section 3: Housing Constraints, Resources and Fair Housing

A variety of constraints affect the provisions and opportunities for adequate housing in Solana Beach. Housing constraints consist of both governmental constraints, including but not limited to development standards and building codes, land use controls, and permitting processes; as well as, nongovernmental or market constraints, including but not limited to land costs, construction costs, and availability of finances. Combined, these factors create barriers to availability and affordability of new housing, especially for lower and moderate-income households.

A. Nongovernmental Constraints

Nongovernmental constraints largely affect the cost of housing in Solana Beach and can produce barriers to housing production and affordability. These constraints include the availability and cost of land for residential development, the demand for housing, financing and lending, construction costs, and the availability of labor, which can make it expensive for developers to build any housing, and especially affordable housing. The following highlights the primary market factors that affect the production of housing in Solana Beach.

1. Land Costs and Construction Costs

High land costs are a significant constraint to the development of affordable and middle-income housing in the City of Solana Beach. Land cost represents a significant cost component in residential development. There are significant fluctuations in land costs per square foot depending on location.

While the City contains numerous vacant properties, an April 20, 2020, web search revealed that less than 100 units were listed for sale, majority of the parcels zoned for single-family residence. Current housing data shows that the price of single-family residences ranged from \$889,000 for a three bed and two bath unit (1,072 sf) to \$2,545,000 for a three bed and 2 bath (2,124 sf). Beach front property with similar square is listed for as much as \$2,599,000 and homes with higher square footage reach \$4,200,000 and \$5,500,000. The limited supply and high cost of vacant land poses the largest constraint to the construction of affordable housing, especially affordable housing in Solana Beach. High land costs have a demonstrable effect on the cost of housing in Solana Beach, as the price of housing is directly related to the costs of acquiring land.



The cost of construction is another major factor in the price of housing. The International Code Council (ICC) provides estimates for the average cost of labor and materials for typical Type VA wood-frame housing. Estimates are based on “good-quality” construction, providing for materials and fixtures well above the minimum required by state and local building codes. In August 2019, the ICC estimated that the average per square-foot cost for good-quality housing in the San Diego region was approximately \$117 for multi-family housing and \$129 for single-family homes. Construction costs for custom homes and units with extra amenities, run even higher. Although construction costs are a significant portion of the overall development cost, they are consistent throughout the region and, especially when considering land costs, are not considered a major constraint to housing production in Solana Beach.

2. Availability Financing

The availability of financing in a community depends on a number of factors, including the type of lending institutions active in a community, lending practices, rates and fees charged, laws and regulations governing financial institutions, and equal access to such loans. Additionally, availability of financing affects a person’s ability to purchase or improve

a home. Under the Home Mortgage Disclosure Act (HMDA), lending institutions are required to disclose information on the disposition of loan applications and the income, gender, and race of loan applicants. The primary concern in a review of lending activity is to determine whether home financing is available to residents of a community. The data presented in this section include the disposition of loan applications submitted to financial institutions for home purchase, home improvement, and refinancing in Solana Beach.

Table 3-1 below displays the disposition of loan applications for the county of San Diego, per the 2016 Home Mortgage Disclosure Act report. Given the relatively high rate of approval for home purchase, improvement, and refinance loans, home financing is generally available and not considered to be a significant constraint to the provision and maintenance of housing in Solana Beach.

Table 3-1 Disposition of Loan Applications – San Diego County				
Applications	Total	Percent Approved	Percent Denied	Percent Other
<i>By Loan Type</i>				
Conventional Purchase	20,129	77.6%	5.2%	17.2%
Government-Backed Purchase ¹	6,721	72.8%	5.6%	21.5%
Home Improvement	1,875	78.0%	7.9%	14.2%
Refinancing	14,015	72.8%	7.3%	19.8%
<i>Notes: Percent approved includes loans approved by the lenders whether or not they are accepted by the applicants. Percent Other includes loan applications that were either withdrawn or closed for incomplete information. Source: HMDA data, 2017. 1. Government-backed loans include loans insured or guaranteed by the Federal Housing Administration (FHA), Veteran Administration (VA), and Farm Service Agency (FSA)/Rural Housing Services (RHS).</i>				

3. Economic Constraints

Market forces on the economy and the trickle-down effects on the construction industry can act as a barrier to housing construction and especially to affordable housing construction. It is estimated that housing price growth will continue in the City and the region for the foreseeable future. Moving into 2020, the economy was growing, California was seeing a 1.6 percent growth in jobs from 2019 and experiencing all-time lows for unemployment rates.

A 2020 California Association of Realtors (CAR) report found that homes on the market in San Diego County cost an average of \$670,000 in February 2020, a seven percent increase year to year change. According to the CAR First Time Buyer Housing Affordability Index, from 2018 to 2019 the median value of a home in San Diego County was \$556,750 with monthly payments (including taxes and insurance) of \$2,880, requiring an average qualifying income of \$86,400. However, in the City of Solana Beach, homes and cost of living was significantly higher. According to March 2020 data from Zillow, the median cost of a home in Solana Beach is \$1,475,031. According to research conducted on Zillow.com, the median price of a home in Solana Beach increased nine percent from 2018 to 2020 (\$1,200,000 to \$1,310,000), and they are expected to rise another 0.4 percent moving into 2021. The same report found that the median list price per square foot in Solana Beach is \$790, which is higher than the San Diego-Carlsbad Metro average of \$390.

Solana Beach’s home value index (\$1,480,000) outpaced nearby coastal cities such Encinitas (\$925,000) and Carlsbad (\$785,100). The high cost of land and increasing home prices in Solana Beach can be seen as a constraint to the development of and access to housing, particularly the development of and access to affordable housing.

B. Governmental Constraints

In addition to market constraints, local policies and regulations also affect the price and availability of housing and the provision of affordable housing. For example, State and Federal regulations affect the availability of land for housing and the cost of housing production, making it difficult to meet the demand for affordable housing and limiting supply in a region. Regulations related to environmental protection, building codes, and other topics have significant, often adverse, impacts on housing cost and availability.

While the City of Solana Beach has limited control over State and Federal Laws that affect housing, local laws including land use controls, site improvement requirements, fees and exactions, permit processing procedures, and other factors can constrain the maintenance, development, and improvement of housing create barriers to housing.

1. Land Use Controls

In the State of California, cities are required to prepare a comprehensive, long term General Plan to guide future development. The Land Use Element of the General Plan establishes land uses and density of development within the City of Solana Beach, and is consistent with the City's Municipal Code. In 1976 California Legislature enacted the Coastal Act which created a mandate for coastal cities and counties to manage the conservation and development of coastal zone areas. Solana Beach is located entirely within the State's Coastal Zone, therefore, in accordance with the Coastal Act requirements, the City developed a Local Coastal Program (LCP) which provides additional guidelines for development.

The Land Use Element in the City of Solana Beach's General Plan and the City's LCP set forth policies and regulations for guiding local development. These policies, together with existing zoning regulations, establish the amount and distribution of land to be allocated for different uses within the City. The LCP and Zoning Ordinance, each of which is consistent with the Community Plan, identify the following residential categories and their existing allowed densities:

- Estate Residential (ER-1, ER-2) (Max. 2 units/net acre)
- Low Residential (LR) (Max. 3 units/net acre)
- Low Medium Residential (LMR) (Max. 4 units/net acre)
- Medium Residential (MR) (Max. 7 units/net acre)
- Medium High Residential (MHR) (Max. 12 units/net acre)
- High Residential (HR) (Max. 20 units/net acre)

In addition to residential categories, Solana Beach also allows residential uses in commercial zones when integrated into a mixed-use development. Residential uses in commercial zones are also subject to additional limitations such as specific guidelines for placement of units, floor area ratio, and additional review. Commercial zones that allow residential uses include the following:

- General Commercial (C) (Max. 20 units/net acre)
- Special Commercial (SC) (Max. 20 units/net acre)
- Light Commercial (LC) (Max. 12 units/net acre)

These categories accommodate development of a wide range of housing types in Solana Beach. Most future residential development will occur as in-fill housing on existing lots due to the built-out nature of the City. Furthermore, maintaining the existing residential categories is important for ensuring compatibility between the new and existing housing.

Scenic Area Overlay Zone(SAOZ)

The purpose of the Scenic Area overlay zone is to regulate the development in areas of high scenic value to preserve and enhance the scenic resources present within and adjacent to such areas and to assure the exclusion of incompatible uses and structures. All projects within the zone require a Development Review Permit(DRP). Submittal requirements for applications for Development Review Permits in the overlay zone can be found within Title 17, Section 68 (for DRP regulations) and Title 17, Section 48(for SAOZ regulation) of the City’s Municipal Code. The Scenic Area overlay includes some sites identified within the City’s sites inventory along the Highway 101 corridor. The SAOZ is not considered a constraint to the development of housing currently as recent development applications indicate that proposed projects are able to meet density assumptions and (per HCD guidance) the requirements for development within the SAOZ are clearly stated in the section of the City’s Municipal Code identified in this section.

Hillside Overlay Zone(HOZ)

The purpose of the Hillside overlay zone is to restrict the grading of natural slopes with an inclination of 25 percent or greater in order to achieve the following:

- Preserve the natural topography and scenic qualities of the city;
- Protect native coastal sage/chaparral and grassland habitat;
- Preserve existing watersheds; and
- Reduce the potential for environmental hazards including soil erosion, siltation of coastal wetlands, landslides, adverse impacts due to runoff, and other impacts which could affect the public health, safety and general welfare.

All projects within the zone require a Development Review Permit. Submittal requirements for applications for Development Review Permits in the overlay zone can be found within Title 30 of the City’s Municipal Code. The HOZ primarily applies to the hillside areas along the coast and small portions of residential zones. The HOZ is not considered a constraint to the development of housing as none of the City’s identified candidate sites are within the HOZ.

Floodplain Overlay Zone

The purpose of the Floodplain overlay zone is to ensure that any permitted development within the 100-year floodplain of the San Dieguito River Valley will not constitute an unreasonable, undesirable, or unnecessary obstruction to flood flow and that such development will not adversely affect coastal wetlands, riparian areas, or other sensitive habitat areas within the floodplain. All projects within the zone require a Development Review Permit. Submittal requirements for applications for Development Review Permits in the overlay zone can be found within Title 30 of the City’s Municipal Code. The Floodplain overlay zone intends to protect residents from environmental hazards and protect and conserve the land. The Floodplain Overlay Zone is a small area located in the southern portion of the City. Only one site identified to meet the City’s moderate income RHNA need is partially located within this zone. This floodplain area applicable to this site does not affect the viability of the site identified and the capacity of the site considers the minimal floodplain constraints. The Floodplain Overlay Zone is not considered a constraint to housing in Solana Beach.

Scaled Residential Overlay Zone(SROZ)

The purpose of the Scaled Residential overlay zone is to preserve and enhance the existing community character and aesthetic quality of the City of Solana Beach, by providing regulations to ensure and protect the character of established residential neighborhoods; and by preserving the traditional scale and seaside orientation of residential areas in the City of Solana Beach. The requirements of the overlay zone primarily applies to Low-Medium Residential Medium Residential zones west of Interstate 5. The development standards set forth by the Scaled Residential zone include but are not limited to the following:

- Floor Area Ratio (FAR) must comply with a four-tiered standard.

- Required parking within garages is excluded from the FAR calculation.
- The floor area of any basement portion of a residential building will follow standards based on whether the basement has exposed sides or no exposed sides.
- Bay windows may extend into the setback given that they will not exceed three feet by four feet by two feet (depth).
- Three level building facades are prohibited.

Development standards applicable to projects within the SROZ can be found within Title 30 of the City's Municipal Code. The SROZ does not apply to any of the site the City has identified to meet their lower income RHNA need. A number of sites identified to meet the City's moderate and above moderate income RHNA needs are within the SROZ, but development in these areas primarily consists of single-family development which is consistent with the goals and standards of the SROZ.

2. State Density Bonus Law

Density bonuses are another way to increase the number of dwelling units otherwise allowed in a residentially zoned area. The City's Zoning Ordinance identifies the purpose of the Density Bonus Ordinance to provide density bonuses or equivalent financial incentives for the provision of affordable housing and implement the housing element of the Solana Beach General Plan. Density bonus provisions do not apply to senior citizen and senior congregate care housing projects that utilize alternative density bonus provisions. This City's Density Bonus ordinance was most recently amended through Ordinance No. 392 in January, 2009.

Density Bonuses may be awarded to applicants who agree to construct at least one of the following:

- Ten percent (10%) of the total units of a housing development for lower income households;
- Five percent (5%) of the total units of a housing development for very low-income households;
- A senior citizen housing development; or
- Ten percent (10%) moderate income housing in a common interest development; provided, that all of the units in the development are offered to the public for purchase.

If an applicant exceeds the percentages mentioned above, the applicant shall be entitled to an additional density bonus above 20 percent calculated as follows:

- For each one percent (1%) increase above ten percent (10%) in the percentage of units affordable to lower income households, the density bonus shall be increased by one and one-half percent (1.5%), up to a maximum of thirty-five percent (35%) for the total project;
- For each one percent (1%) increase above five percent (5%) in the percentage of units affordable to very low-income households, the density bonus shall be increased by two and one-half percent (2.5%), up to a maximum of thirty-five percent (35%) for the total project;
- For each one percent (1%) above ten percent (10%) in the percentage of units affordable to moderate income households, the density bonus shall be increased by one percent (1%), up to a maximum of thirty-five percent (35%) for the total project.

Each housing developments is entitled to only one density bonus, density bonuses from more than one category may not be combined, additionally, density bonus provisions do not apply to senior citizen and senior congregate care housing projects that utilize alternative density bonus provisions. An applicant with a development which qualifies for density bonus may also submit a proposal for additional incentives. Additional incentives may include, but are not limited to, reductions in restrictions on building standards, parking requirement, or approval of mixed-use development in conjunction with housing development. Qualifications for additional incentives include:

- One additional incentive for projects that include at least 10 percent of the total units for low income households, at least 5 percent for very low-income households, or at least 10 percent for moderate income households in a common interest development where all units are offered for purchase.
- Two additional incentives for projects that include at least 20 percent of the total units for low income households, at least 10 percent for very low-income households, or at least 20 percent for moderate income households in a common interest development where all units are offered for purchase.
- Three additional incentives for projects that include at least 30 percent of the total units for low income households, at least 15 percent for very low-income households, or at least 30 percent for moderate income households in a common interest development where all units are offered for purchase.

3. Residential Development Standards

Residential development standards allow cities to dictate the standards and regulations associated with development in order to maintain community compatibility and to provide well-designed housing options for the community. The City of Solana Beach requires a variety of regulations and restrictions for new developments, those pertaining to the construction of housing are described below and specific requirements can be found in **Table 3-2**. The City's current development standards are accessible to the general public on the City's website. The City's Municipal Code is located on the City's website which provides a listing of all relevant development standards applicable to development in the City.

Minimum Lot Sizes

Minimum lot sizes and dimensions (width and depth) correspond to their residential density categories such that application of these standards will allow planned density to be achieved. For example, the LR Low Residential zone requires a minimum lot size of 14,000 square feet (sf) per dwelling unit (du) to achieve a maximum of 3 du/acre (43,560 sf/3 = 14,000 sf). However, to achieve a higher density, minimum lot area is reduced as in the MHR Medium-High Residential Zone which allows 5,000 square feet lot area to achieve a density of 8 du/acre (43,560 sf /8 du = 5,000 sf/du). While minimum lot sizes, achieve appropriate densities per the desired housing type, all residential zones also allow one Accessory [Living-Dwelling](#) Unit on lots with existing or proposed single-family homes or multi-family developments. Therefore, minimum lot size and lot dimension standards do not constrain the ability to achieve planned densities.

Setbacks

Minimum setback or yard requirements vary among the residential zones. The primary purposes of imposing setbacks is to ensure adequate air and light between properties, to ensure adequate on-site access and circulation, to provide opportunities for private open space areas (yards), and to separate uses between properties to minimize conflicts and potential life/safety hazards. Generally speaking, setbacks are tied to lot size, meaning smaller lots have lower minimum setbacks, and larger lots require larger "yards." While it is possible that setback requirements may inhibit maximum density from being realized in some cases, there is enough flexibility in the current ordinances that setback requirements do not constitute a significant constraint on residential development. Setback requirements have been considered in the City's calculation of realistic site capacity.

Lot Coverage and FAR

Lot coverage and floor area ratio (FAR) standards are intended to control bulk, mass, and intensity of a use. Lot coverage limits a building's footprint and is defined as the percentage between the ground floor area of building(s) and the net area of a lot. FAR limits the total usable floor area and is expressed as a ratio between the bulk floor area of building(s) and gross lot area. Floor area ratio is a supplementary device that under some conditions improves upon (but does not necessarily replace) the traditional means of relating bulk of building to land, to other buildings in

the vicinity, and to public facilities. It permits variable dimensions within an over-all volume limit and it offers a way of predicting the ratio of persons to a unit of land in office building districts of high land use intensity.

In the residential-only zones maximum floor area ratio ranges depending on desired density and requirements. For example, in the LR zone maximum lot coverage is 60 percent for the first 5,000 square feet, 30 percent for each additional square foot between 5,000 and 20,000, and 15 percent for additional square footage above 20,000. However, in the higher density zones such as MHR and HR maximum floor area ratio jumps to 75 percent. As applied to residential development, these standards may only limit the size of dwelling units, and do not limit the number of units, which is an expression of density (that is, zoning). FAR, combined with height limitations, can potentially prevent maximum density from being achieved in certain cases.

Maximum Building Height

All properties within the City of Solana Beach are located within the Coastal Zone as defined in the California Coastal Act. Therefore, the City’s Local Coastal Program, as approved by the California Coastal Commission, restricts the maximum building height within the City to 25 feet in residential zones. Additionally, in the MHR and HR residential zones, maximum building height may be increased to 30 feet pursuant a Development Review Permit or 35 feet pursuant a conditional use permit, as deemed appropriate. This figure is compatible with, and often more generous, than other nearby coastal jurisdictions; for example, the City of Encinitas restricts most building heights to 22 feet. Solana Beach is considered a built-out City, as many of its neighboring coastal cities which have more restrictive building heights, therefore, building height regulations in Solana Beach have not been considered an impediment to the development of housing within the City.

Table 3-2: Residential Development Standards in Solana Beach - Dimensions

Residential Zone	Dimensions					Construction Standards	
	Min. Lot Size (sf)	Street Frontage	Width (Interior)	Width (Corner)	Depth	Max. FAR	Max Height (feet)
Estate Residential (ER-1)	40,000	100'	100'	100'	150'	60% ¹	25
Estate Residential (ER-2)	20,000	80'	80'	85'	150'	60% ¹	25
Low Residential Zone (LR)	14,000	65'	65'	70'	100'	60% ¹	25
Low Medium Residential Zone (LMR)	10,000	60'	60'	65'	100'	60% ¹	25
Medium Residential Zone (MR-East)	6,000	60'	60'	65'	100'	60% ¹	25
Medium Residential Zone (MR-West)	5,000	50'	50'	55'	100'	60% ¹	25
Medium High Residential (MHR)	5,000	50'	50'	55'	100'	75%	25 ²
High Residential Zone (HR)	10,000	60'	60'	65'	100'	75%	25 ²
North Rios Specific Plan	As allowed under the North Rios Specific Plan.						
Tangaroo Estates Specific Plan	As allowed under the Tangaroo Estates Specific Plan.						
Highway 101 Corridor Specific Plan	As allowed under the Highway 101 Corridor Specific Plan.						
FAR= Floor Area Ratio 1. 60% for the first 5,000 sf of lot area, 30% for each additional sf of lot area between 5,000 and 20,000 sf, and 15% for each additional sf of lot area above 20,000 sf. 2. Pursuant to a Development Review Permit the max. building height for may be increased to 30 feet and pursuant to a Conditional Use Permit, limited height increases to a max. of 35 feet for civic uses may be allowed.							

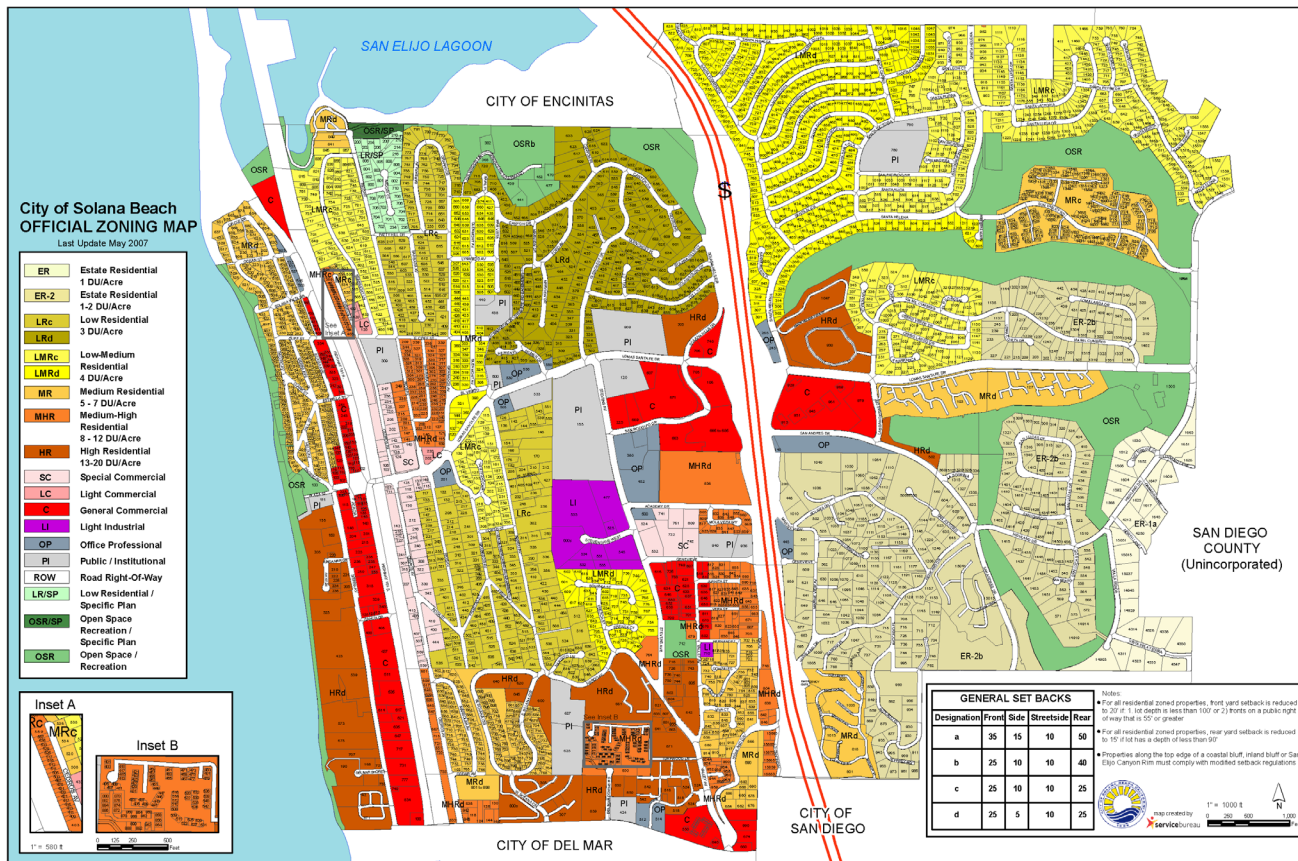
City of Solana Beach
2021-2029 Housing Element Update

Minimum yard dimensions for the (ER-1), (ER-2), (LR), (LMR), (MR), (MHR), and (HR) zones shall be determined by the setback designator indicated on the City of Solana Beach official zoning map, on file with the city clerk and available at the department of community development. All yards shall be measured from the property line and/or road right-of-way as follows:

Setback Designator	Front Yard (feet)	Side Yard Interior (feet)	Side Yard Street (feet)	Rear Yard (feet)
A	35	15	10	50
B	25	10	10	40
C	25	10	10	25
D	25	5	10	25

Source: City of Solana Beach Zoning Ordinance.
Note: Setback Designators are assigned in the City's Zoning Map, Figure 3 below.

Figure 3-1: City of Solana Beach Zoning Map



Parking Standards

In addition to the development standards identified in **Table 3-3**, Solana Beach requires a certain number of covered spaces for two family and multifamily rental apartments as well as an additional space for all accessory ~~dwelling~~ living units. Guest parking is also required for multi-family housing at a ratio of one space for every four units. The Solana Beach Municipal Code provides additional direction for parking standards and regulation, such as when a garage or parking lot is converted or used for purposes other than parking, the required amount of parking shall be provided on the site consistent with the design standards of this chapter.

Table 3-4: Parking Requirements for Residential Uses	
Unit Type	Number of Spaces Required
Single-family dwellings	2 Spaces
Two-family dwellings, multiple-family dwellings and mobile homes ¹	--
Studios/efficiency units/single room occupancy	1.5 Spaces
Two or more bedrooms	2 Spaces
Additional guest parking	1 uncovered space for each 4 units
Mobile home parks	2 covered spaces per unit within an enclosed garage and 1 uncovered guest space for each 4 units.
Group residential	1 space for each resident in accordance with total permitted occupancy plus 1 guest space for each 4 residents of permitted occupancy.
Accessory living-dwelling units	1 space in addition to those required for primary residence.
Residential day care	2 spaces in addition to those required for primary use.
Residential care facilities	2 spaces in addition to those required for primary residence.
1. (For rental apartments - a minimum of 50 percent of required parking spaces shall be covered)	

Typically, the cost associated with garage parking construction can be viewed as a constraint to affordable housing development, particularly for multi-family housing. However, the City’s parking regulations are not a significant constraint because the number of required parking spaces for duplexes and multi-family projects varies by the number of bedrooms. Furthermore, affordable housing projects that qualify for a density bonus can request application for additional incentives which can be provided in the form of reduction of parking requirements. While off-street parking standards can affect planned residential density, especially for small lots and in-fill areas, this potential constraint is mitigated by the incentives and flexible standards described above.

4. Growth Management Measures

Growth management measures are techniques used by a government to regulate the rate, amount and type of development. In 1998 Solana Beach citizens voted into law Ordinance No. 251, which requires a public vote on all City Council approved General Plan amendments meeting the following threshold requirements:

- a 2.5 gross acre size;
- an increase in the amount of potential building space allowed by 50,000 square feet; or

- an increase in potential traffic generation by 25 percent or ten percent during peak hours.

More recently, in the General Election of 2000, Solana Beach’s voters passed Proposition T, known as the “Community Protection Act” which requires voter approval to change, alter, or increase General Plan land use categories. Proposition T amended the General Plan to specify that without approval by a majority of voters in the City, no General Plan Amendment, including a Specific Plan adoptions or changes, shall be adopted if they would:

- change, alter, or increase the General Plan Residential Land Use Categories, or
- change any land use designation to any other, except changes to land already designated residential and which clearly result in a reduction in intensity or density of said land use designated as residential.

Both Proposition T and Ordinance No. 251 require a public vote for general plan amendments affecting land use, with the exception of amendments necessary to comply with state or federal law. Proposition T does not interfere with rights to obtain density bonuses (which do not require a general plan amendment), or limit rights or other entitlements available under affordable housing law. The 2021-2029 Housing Element does not anticipate the need to rezone any land within Solana Beach, therefore Proposition T will not be triggered.

5. Specific Plans

North Rios Specific Plan

The North Rios Specific Plan, approved February 18, 1997, allows for the development of approximately 10 acres of previously underdeveloped land located at the northeast corner of Rios Avenue and Patty Hill Drive in the City of Solana Beach. The Specific Plan consists of a residential development which intends to create a “livable” neighborhood through the implementation of sensitive street and lot design.

The North Rios Specific Plan outlines the development regulations and guidelines, streetscape treatment, view preservation components, and implementation measures applicable to development of the project, which includes development of approximately 24 single-family residences on individual lots. Since adoption of the specific plan, these dwelling units have been constructed and currently remain as of September 2020.

Tangaroa Estates Specific Plan

The Tangaroa Estates Specific Plan, adopted September 3, 1996, permits the proposed residential development of a single parcel of land of approximately six acres in size. The subject land is located at the northern terminus of Rios Avenue in the City of Solana Beach, County of San Diego, California. The specific plan permits the development of nine single-family residential dwelling units, with an average lot size greater than 14,000 square feet. The specific plan permits a residential density three units per net acre with a maximum of nine lots.

These units are located directly north of the North Rios Specific Plan area. Since adoption of the specific plan, these dwelling units have been constructed and currently remain as of September 2020.

Highway 101 Corridor Specific Plan

The Highway 101 Corridor Specific Plan is a plan for physical development and redevelopment of this important roadway area that defines Solana Beach. The Plan provides a set of guidelines and regulations for directing development within the 163-acre project area. The purpose of the Specific Plan is to provide for new development and redevelopment to achieve a physical environment along the Highway 101 corridor that is cohesive and representative of the unique character of Solana Beach.

The Specific Plan carries out the goals and objectives of the Solana Beach General Plan through its identification of a development plan which complements General Plan policy, while implementing area-specific development standards and design guidelines. Additionally, the Specific Plan and the Zoning Ordinance are designed to work together in the Highway 101 corridor to implement General Plan policy for this area. As such, certain development standards contained in the Specific Plan are tailored to the unique character of the Highway 101 corridor and supersede those contained in the Zoning Ordinance. The Specific Plan designates ten land uses; commercial and industrial uses include, General Commercial, Light Commercial, Office/Professional, Planned Industrial, and Special Commercial. Residential development consists of single-family low medium residential (approximately four units per acre), single-family medium residential (up to seven units per acre), and single-family/multi-family medium high residential (up to 12 units per acre). For other standards, the Specific Plan refers directly to those contained in the Zoning Ordinance. Residential development standards for the Highway 101 Corridor Specific Plan are shown in **Table 3-5**.

Table 3-5: Highway 101 Residential Development Standards		
Development Standard	Designated Zone	
	Residential Low Medium and Medium	Residential Medium High
Minimum Lot Area (a)	10,000 SF	6,000 SF
Front Setback	25'	20'
Side Setback	10'	5'
Rear Setback	25'	25'
Max. FAR	N/A	N/A
Height Limit*	25'	30'
Parking	Refer to Zoning Ordinance	
Landscaping	Refer to Zoning Ordinance	
<i>Source: Highway 101 Specific Plan</i>		
<i>* Building height greater than 16 feet is subject to View Assessment Process.</i>		

6. Provisions for a Variety of Housing Types

Housing Element law specifies that jurisdictions must identify adequate sites to be made available through appropriate zoning and development standards to encourage the development of a variety of types of housing for all income levels. **Table 3-6** below summarizes the City's zoning provisions for various types of housing. Permitted, conditional, and prohibited residential uses are indicated as follows:

- "P" indicates the use shall be a permitted use in the zone.
- "PL" indicates the use shall be permitted subject to the limitations set forth in the individual zone.
- "C" indicates the use is subject to a conditional use permit issued by the director of community development.
- "CC" indicates the use is subject to a conditional use permit issued by the city council.
- "E" indicates the use shall be prohibited within the zone.

Table 3-6: Permitted, Conditional, and Prohibited Uses in Solana Beach													
Housing Type	Residential Zones							Commercial/Industrial/Professional Zones					
	Er-1	Er-2	LR	LMR	MR	MHR	HR	C	SC	LC	OP	PI	LI
P = Permitted Use PL = Permitted subject to Limitations C = Conditional Use Permit issued by Community Development Director CC = Conditional Use Permit issued by City Council E = Prohibited													
Single-family Dwelling	P	P	P	P	P	P	P	E	E	E	E	E	E
Two-Family Dwellings (duplex)	E	E	E	E	P	P	P	PL	PL	PL	E	E	E
Multiple-Family Dwellings (condos, townhomes, apartments)	E	E	E	E	P	P	P	PL	PL	PL	E	E	E
Residential/ Mixed Use Buildings	E	E	E	E	E	E	E	PL	PL	PL	E	E	E
Residential Care Facilities (6 or fewer persons)	P	P	P	P	P	P	P	P	P	E	E	E	E
Residential Care Facilities (7 - 12 persons)	C	C	C	C	C	C	C	C	C	E	E	C	E
Residential Care Facilities (13 or more persons)	CC	CC	CC	CC	CC	CC	CC	CC	CC	E	E	CC	E
Family Day Care Homes (6 or fewer persons)	P	P	P	P	P	P	P	P	P	E	E	E	E
Group Residential Facilities	E	E	E	E	E	C	C	CC	E	E	E	E	E
Senior Citizen/ Congregate Care Housing	E	E	E	E	CC	CC	CC	E	E	E	E	E	E
Mobile Home and Manufactured Housing (individual lots)	PL	PL	PL	PL	PL	PL	PL	E	E	E	E	E	E
Mobile Home Parks	CC	CC	CC	CC	CC	CC	CC	E	E	E	E	E	E
Guest Houses	PL	PL	PL	E	E	E	E	E	E	E	E	E	E
Accessory Living Dwelling Units	PL	PL	PL	PL	PL	C	C	E	E	E	E	E	E
Caretaker Units	E	E	E	E	E	E	E	PL	PL	PL	PL	C	PL
Home Occupations	PL	PL	PL	PL	PL	PL	PL	PL	PL	PL	E	E	E
Live/Work Uses	E	E	E	E	E	E	E	C	E	E	E	E	E
Emergency Shelters	E	E	E	E	E	E	E	P	E	E	E	C	E
*Permitted as an accessory to an allowed use													
Source: City of Solana Beach, Zoning Ordinance, accessed April 2020.													

Single-family

Any building designed and used to house not more than one family including all domestic employees of such family. Single-family use is permitted in all residential zones in the City.

Two-Family Dwellings

Any building designed and used to house two families living independently of each other on the same legal lot. Dwelling units may be attached or detached. Minimum separation between principal structures on the same lot is 15 feet. Duplexes are permitted in the MR, MHR, and HR zones, and they are permitted with limitations in the C, SC, and LC zones.

Multi-family

Any building designed and used to house three or more families living independently of each other on the same legal lot. Dwelling unit may be attached or detached. Minimum separation between principal structures on the same lot is 15 feet. This includes apartment houses, townhomes, and condos. Currently, multi-family housing is permitted in the MR, MHR, and HR zones and permitted with limitations in the C, SC, and LC zones.

Residential/Mixed Use Buildings

Any buildings designed and used to house one or more families living independently of each other in addition to one or more principal nonresidential uses permitted by the zone. Residential/Mixed Use is permitted with limitations in the C, SC, and LC zones.

Residential Care Facilities

Any family home, group care facility, or similar facility for 24-hour nonmedical care of persons in need of personal services, supervision, or assistance essential for sustaining the activities of daily living that is licensed by the State of California Department of Social Services or the Department of Alcohol and Drug Programs. Small residential care facilities serve six or fewer persons. Large residential care facilities serve seven or more persons. Residential care facilities designed for six persons or fewer are permitted in all residential zones and the C, SC and LC zones. Residential care facilities designed to for seven to twelve persons are conditionally permitted in all residential zones and the C, SC, and PI zones. Residential Care Facilities designed for thirteen or more persons are conditionally permitted in all residential zones and the C, SC, and PI zones.

Employee Housing

As part of the City's 5th Cycle Housing Element, the City included **Program 6H** which states that the City would review the current regulations for compliance with the Employee Housing Act, particularly sections 17021.5 and 17021.6 of the Health and Safety Code regarding farmworker housing and make amendments to the City's regulations as necessary. The City conducted this review during the 5th cycle and believes that the current code, while it does not explicitly state compliance with Sections 17021.5 and 17021.6 of the Health and Safety Code regarding farmworker housing. **Program 1M** states that the City will revise the City of Solana Beach Municipal code to define employee housing and ensure that the City's code meets the requirements of Section 17021.5 and 17021.6 of the Health and Safety Code.

Family Day Care Homes

A day care facility for six or fewer children. Family Day Care homes include infant centers, preschools and extended day care facilities. Family Day Care Homes are permitted in all residential zones and the C and SC zones.

Farmworker Housing

The City has a very small portion of land designated for agriculture uses. According to the American Community Survey, less than two percent of Solana Beach’s workforce was employed in the farming industry. Therefore, there is no need for farmworker housing in Solana Beach. However, the City’s overall efforts to provide and maintain affordable housing opportunities will help to provide housing for any farmworkers that may choose to reside in the City.

Group Residential Facilities

Any fraternity, sorority, boarding house, retirement homes or other residential occupancy of living units by groups of seven or more persons, exclusive of residential care facilities, single room occupancy hotels and senior congregate care housing. Group Residential Facilities are conditionally permitted in the MHR, HR, and C zones.

The City of Solana Beach’s Municipal Code states that the parking requirement for Group Residential is one space for each resident in accordance with the total permitted occupancy plus one guest space for each four residents of permitted occupancy. The City of Solana Beach has not had an applicant express that the existing parking standards present a constraint or have resulted in a project not being developed.

The City analyzed this against standards required in surrounding jurisdictions to determine how Solana Beach’s parking requirements compared for similar developments. Table 3-7 shows that comparison analysis using a sample 20 bed group residential home with two beds per room assumed.

Table 3-7: Group Residential Parking Analysis		
Jurisdiction	Group Residential Parking Requirement	Sample Required Parking for a 20 Bed Development, two beds per room
<u>Solana Beach</u>	<u>1 parking space per bed and 1 guest parking space per four beds</u>	<u>25 parking spaces</u>
<u>Encinitas</u>	<u>1 parking space per bed</u>	<u>20 parking spaces</u>
<u>Del Mar</u>	<u>1 space per 2 sleeping rooms</u>	<u>5 parking spaces</u>
<u>Carlsbad</u>	<u>1.25 spaces per sleeping room</u>	<u>13 parking spaces</u>
<u>Note: In Solana Beach, Group Residential can mean fraternity, sorority, boarding house, retirement homes or other residential occupancy of living by groups of seven or more persons. Encinitas, Del Mar, and Carlsbad do not have Group Residential defined in their code. This analysis uses applicable requirements for fraternities, boarding/rooming houses, and similar uses.</u>		

Senior Citizen/ Congregate Care Housing

A structure providing residence for a group of senior citizens (60 years of age or more) with central or private kitchen, dining, recreational, etc. facilities with separate bedrooms and/or living quarters. Senior Citizen/Congregate Care Housing is conditionally permitted in the MR, MHR, and HR zones.

Mobile Homes/Manufactured Housing and Mobile Home Parks

The Solana Beach Municipal Code defines Mobile/Manufactured Homes as a factory-built or manufactured home as permitted by state of California and federal laws and installed on a permanent foundation system. Therefore, a Mobile Home Park is defined as a residential facility arranged or equipped for the accommodation of two or more mobile homes, with spaces for such mobile homes available for rent, lease, or purchase, and providing utility services and

other facilities either separately or in common to mobile home space therein. Mobile/Manufactured Homes are permitted with limitations in all residential zones. Mobile Home Parks are conditionally permitted in all residential homes.

Guest Houses

The Solana Beach Municipal Code defines a guest house as a detached accessory building for the temporary use by guests of the occupants of the premises including provisions for living, sleeping, and sanitation, but exclusive of cooking facilities. Guest Houses are allowed as an accessory use in the ER-1, ER-2, and LR zones subject to requirements set for in the Solana Beach Municipal Code.

Accessory Living-Dwelling Units¹

The Solana Beach Municipal Code defines Accessory Living-Dwelling Units as a dwelling unit attached to a primary residence or accessory garage (to a primary residence) providing complete independent living facilities for no more than two persons including provisions for living, sleeping, eating, cooking, and sanitation. Accessory dwellingliving units include granny flats and second units. Accessory dwellingliving units are permitted with limitations in the ER-1, ER-2, LR, LMR, and MR zones, and are conditionally permitted in the MHR and HR zones.

Development standards applied to Accessory dwellingliving Units are as follows:

- A detached primary dwelling unit shall exist on the lot or premises.
- The lot on which an accessory dwellingliving unit is proposed shall have a minimum area of 6,000 square feet, not including any commonly owned area.
- The accessory dwellingliving unit shall be attached to or contained within the primary dwelling in such a manner as to avoid the appearance of the add-on unit. For the purposes of this regulation, “attachment” shall include second story additions to (a) the principal structure, (b) an attached garage, or (c) a detached garage. The accessory dwellingliving unit shall be architecturally integrated with the structure to which it is attached. The entrance to an accessory dwellingliving unit shall not be visible from the street adjacent to the front yard setback.
- The maximum allowed area of the accessory dwellingliving unit shall be 640 square feet. The minimum allowed area of the accessory unit shall be 350 square feet.
- The total floor area of all structures shall not exceed the maximum floor area (FAR) for the site.
- The owner of the property must continually occupy either the main dwelling unit or the accessory living dwelling unit. For purposes of this section, “owner” includes a lessee if the leasehold includes both the main dwelling and accessory dwellingliving unit.
- One off-street parking space shall be provided for the accessory dwelling living unit and all off-street parking deficiencies shall be corrected.
- Any construction of an accessory dwellingliving unit shall conform to all property development regulations of the zone in which the property is located as well as all fire, health, safety and building provisions of this title.

¹ In February 2020, the City passed Ordinance 508 which repealed and replaced the existing section referring to Accessory Living Units with new guidelines consistent with State law. The ordinance text reads “Accessory Dwelling Units” as opposed to the current “Accessory Living Units”. Program 1K in the Housing Element commits the City to amending the Municipal Code for consistency within 1 year. ~~As the Municipal Code currently reads “Accessory Living Units”, that is the term used in this document.~~

- The City may offer incentives to encourage development of accessory dwelling units. If owners of accessory units elect to file a 30-year deed restriction to rent the unit to lower income households, the City will consider waiving fees and reducing parking and development standards or providing other incentives consistent with the Costa Hawkins Act.

New State Law require cities to lessen certain restrictions surrounding ADUs and JADUs. As part of the Housing Plan (**Program 1B**), the City will commit to amending the ADU/JADU ordinance to be consistent with State law.

Caretaker Units

A dwelling unit accessory to a principal use on a site and intended for occupancy on the same site by a caretaker, security guard, servant or similar position requiring residence on the site, exclusive of a hotel/motel manager's unit. Caretaker Units are permitted with limitations in the C, SC, LC, OP and LI zones and conditionally permitted in the PI zone.

Home Occupations

An accessory use of a dwelling unit for gainful employment involving the provision or sale of goods and/or services and the creation of handicrafts and artwork. A home occupation is incidental to the primary use of the building as a residence. Home Occupations are permitted with limitations in all residential zones and in the C, SC, and LC zones.

Live/Work Uses

An occupancy by an individual or a family maintaining a common household consisting of one or more rooms or floors in a building originally designed for industrial or commercial occupancy, or in a new building specifically designed for live/work use and includes the following:

- Cooking and sanitary facilities in accordance with applicable standards as adopted by the City of Solana Beach; and
- Adequate working space reserved for that sole purpose and used by one or more persons residing therein.

Live/Work Uses are conditionally permitted in the C zone.

Emergency Shelters

Temporary housing with minimal supportive services for homeless persons. No individual or household may be denied emergency shelter because of an inability to pay. Emergency Shelters are permitted in the [General Commercial \(C\)](#) zone and ~~conditionally permitted~~ are permitted in the [Public/Institutional \(PI\)](#) zone with a director's use permit. The City currently has approximately 183 acres of land zoned for C and PI which may accommodate emergency shelters.

Per the City's code, emergency shelters must comply with the following development standards:

- A new emergency shelter shall not be closer than 300 feet to another emergency shelter as measured between property lines.
- An emergency shelter shall contain a maximum of one bed per 150 square feet of sleeping area not to exceed 20 beds and shall serve no more than 20 persons.
- Emergency shelters shall have an interior, enclosed client waiting and intake area large enough to accommodate the number of persons equal to 25 percent of the number of beds. The area shall be based on space required for seated persons. Any exterior overflow waiting area shall be fenced, screened, gated, and covered and shall not obstruct sidewalks or driveways.
- Emergency shelters shall have an interior multipurpose area separate from the sleeping area. The multipurpose area shall be provided with space equal to at least 10 square feet per bed, but not be less than

150 square feet. The exterior multipurpose area shall have a gathering area equal to at least 25 square feet per bed and shall be fenced, screened, and landscaped.

- Facilities shall maintain a management plan which documents that management and staffing is sufficient for adequate control of the facility.
- Parking standards as described below.

In Solana Beach, the square footage of office space in a shelter is a separate component of the shelter that needs to be parked at office requirements and the shelter (number of beds) needs parking at 1 space per 10 beds. The amount of required parking associated with the office use is limited to staff working in the emergency shelter, but the 1 space per 10 beds requirement provides parking for those housed temporarily at the emergency shelter. Emergency shelters must provide 1 bed per 150 square feet of sleeping area, not to exceed 20 beds. This equates to requiring one parking space per 1,500 square feet of sleeping area, well below the requirement of typical uses within the General Commercial and Public/Institutional zones.

In comparison, general commercial uses are required to be parked at a rate between 1 space per 200-250 sf depending on the size. Office uses are required to be parked at a rate between 1 space per 200-300 sf depending on the size. Office components of emergency shelters, as stated above, would be parked at the typical rate required by the City's code. This analysis demonstrates that the City's code requirement for parking at emergency shelters is less than that of typical uses permitted in those zones.

Transitional and Supportive Housing

Transitional housing is a type of supportive housing used to facilitate the movement of homeless individuals and families to permanent housing. California law defines "transitional housing" and "transitional housing development" as buildings configured as rental housing developments but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient after a predetermined period, not less than six months (Health and Safety Code Section 50675.2). Residents of transitional housing are usually connected to supportive services designed to assist the homeless in achieving greater economic independence and a permanent, stable living situation.

Supportive housing links the provision of housing and social services for the homeless, people with disabilities, and a variety of other special needs populations. State law defines "supportive housing" as housing with no limit on length of stay, that is occupied by low income adults with disabilities, and that is linked to on-site or off-site services that assist the supportive housing resident in retaining the housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community (California Health and Safety Code Section 50675.14).

The Solana Beach Municipal Code defines Transitional and Supportive Housing consistent with the State's definitions and requirements. The Solana Beach Municipal Code identifies both transitional and supportive housing as permitted residential uses within residential zones. Supportive and transitional housing are not a specified type of residential use and may be proposed as single family units or multifamily units, though the City's Municipal Code does not specifically indicate this within Table 17.12.020-A. Therefore, the regulations which are applicable to residential uses within the zone, where the transitional or supportive housing is proposed, will apply. The City has included Program 1L to amend Table 17.12.020-A of the Solana Beach Municipal Code to indicate that transitional and supportive housing are permitted by right in zones where multifamily and mixed-use are permitted, including nonresidential zones permitting multifamily uses pursuant to Government Code Section 65651.

Tiny Homes

Tiny Homes are not currently defined or included in the Solana Beach Zoning Ordinance. The State of California also does not have existing guidelines for tiny homes, however, the 2018 International Residential Code (IRC) defines tiny homes as a dwelling unit which is 400 square feet or less in floor area excluding lofts. In its rulemaking document the ICC cited reasons for updating and including tiny homes in the IRC, including the following:

- The average US home size is increasing, while family size is decreasing;
- Tiny Houses use a fraction of the wood and wood products of a conventional home;
- Increased housing cost makes home ownership unfeasible for many, and;
- Tiny Houses can add to affordable owned and rental housing stock.

Single Room Occupancy Units

The Department of Housing and Urban Development (HUD) defines a Single Room Occupancy Unit (SRO) as a residential property that includes multiple single room dwelling units. Each unit is for occupancy by a single eligible individual. The unit need not, but may, contain food preparation or sanitary facilities, or both. They are distinct from a studio or efficiency unit, in that a studio is a one-room unit that must contain a kitchen and bathroom. Although SRO units are not required to have a kitchen or bathroom, many SROs have one or the other and could be equivalent to an efficiency unit. Currently, the Solana Beach Municipal Code does not contain specific provisions for SRO units, however, they do fall within the category of Multifamily housing and are subject to the same development standards as multifamily housing.

7. Housing for Persons with Disabilities

Both the Federal Fair Housing Amendment Act (FHAA) and the California Fair Employment and Housing Act direct require governments to make reasonable accommodations (that is, modifications or exceptions) in their zoning laws and other land use regulations to afford disabled persons an equal opportunity to housing. State law also requires cities to analyze potential and actual constraints to the development, maintenance, and improvement of housing for persons with disabilities.

The Housing Element Update must also include programs that remove constraints or provide reasonable accommodations for housing designed for persons with disabilities. The analysis of constraints must touch upon each of three general categories: 1) zoning/land use; 2) permit and processing procedures; and 3) building codes and other factors, including design, location and discrimination, which could limit the availability of housing for disabled persons.

Reasonable Accommodation

Persons with mobility disabilities may require modifications to their living quarters such as access ramps, wider doors and hallways, larger bathrooms, and lowered countertops. The City enforces the California Building Standards Code which provides flexibility in the design of housing for persons with disabilities.

Both the Federal Fair Housing Act and the California Fair Employment and Housing Act require local governments to make reasonable accommodations in their zoning laws and other land use regulations and practices when such accommodations are necessary to afford disabled persons with an equal opportunity to use and enjoy a dwelling.

Reasonable accommodation in the land use and zoning context means providing individuals with disabilities or developers of housing for people with disabilities, flexibility in the application of land use and zoning and building regulations, policies, practices and procedures, or even waiving certain requirements, when it is necessary to eliminate barriers to housing opportunities. For example, it may be reasonable to accommodate requests from persons with disabilities to waive a setback requirement or other standard of the Municipal Code to ensure that homes are accessible for the mobility impaired. Whether a particular modification is reasonable depends on the circumstances.

Solana Beach provides reasonable accommodation in procedures and regulations to ensure equal access to housing for persons with disabilities and the development of housing for persons with disabilities in the Request for Reasonable Accommodation Ordinance, adopted in February of 2014 and available under SBMC Section 17.66. The purpose of the Request for Reasonable Accommodation Ordinance is to provide a procedure under which a person with disabilities, or property owner of industrial or commercial uses, may request a reasonable accommodation in the application of zoning regulations to secure equal access to housing (or commercial/industrial facilities), and outline a process for decision makers to act upon such requests. A request for a reasonable accommodation in land use, zoning, and building laws, regulations, policies, or practices may be made by any person with a disability, or by an entity acting on behalf of a person or persons with disabilities, to secure equal access to housing. The requested accommodation may be approved or granted with modifications if the following findings can be made:

- The housing which is the subject of the request will be used by one or more individuals with a disability protected under the Acts;
- The accommodation requested is necessary to provide one or more individuals with a disability an equal opportunity to use and enjoy a dwelling;
- The requested reasonable accommodation will not impose an undue financial or administrative burden on the City; and
- The requested reasonable accommodation will not require a fundamental alteration in the nature of a city program or law, including but not limited to the general plan, zoning ordinance, and building laws.

The community development director may impose any conditions of approval needed to ensure that the project complies with the required findings mentioned above. Conditions may include, but are not limited to, ensuring that any removable structures or physical design features that are constructed or installed in association with a reasonable accommodation are capable of being removed once those structures or physical design features are no longer necessary to provide access to the dwelling unit for the current occupants.

Currently, the following criteria, among other factors, may be considered by the community development director regarding the reasonableness of the requested accommodation:

- Whether there are alternative reasonable accommodations available that would provide an equivalent level of benefit; and
- Whether the requested reasonable accommodation substantially affects the physical attributes of the property or has impacts on surrounding properties that would fundamentally alter a city program or law.

The City has reviewed the two criteria stated directly above which may be considered by the community development director and found that they may potentially create a constraint. In response, the City has included Program 4F within the Housing Element to remove this criteria from the City's Municipal Code.

Residential Care Facilities

The City of Solana Beach Municipal Code defines Residential Care Facilities as any family home, group care facility, or similar facility, with or without food services and kitchen facilities, for 24-hour nonmedical care of persons in need of personal services, supervision, or assistance essential for sustaining the activities of daily living or for the protection of the individual including, but not limited to, alcoholism or drug abuse recovery facilities, congregate living facilities, community care facilities, intermediate care facilities/disabled habilitative, or intermediate care/developmentally disabled-nursing facilities licensed by the state of California, excluding housing for the elderly, nursing and convalescent homes.

Residential care facilities designed for six persons or fewer are permitted in all residential zones and the C, SC and LC zones. A residential care facility for seven or more persons shall be permitted only by conditional use permit. Specific conditions providing for the development, operation, and design of any residential care facility for seven to 12 persons shall be made by the director of community development. Specific conditions providing for the development, operation, and design of any residential care facility for 13 or more persons shall be made by the city council.

The following development standards are intended as minimum requirements for residential care facilities. Since the Conditional Use Permit process is discretionary, each application will be considered on its own merits. Additional requirements may be imposed in order to meet the objectives of the general plan or to address special circumstances of the proposal including, but not limited to, state and county licensing requirements:

- The use should comply with all property development regulations of the underlying zone, including but not limited to setbacks, yards, floor area ratio, height and parking, unless a variance to the above standards is granted in conjunction with the Conditional Use Permit.
- Sleeping areas must meet all of the following criteria:
 - A minimum of 70 square feet of sleeping area per resident, exclusive of closet or storage space.
 - No room commonly used for other purposes shall be used as a sleeping area. Such rooms shall include but shall not be limited to living rooms, dining rooms, family rooms, dens, recreation rooms, hallways, stairways, unfinished attics, basements, garages, storage areas, sheds, or similar attached or detached buildings.
 - No sleeping area shall be used as a public or general passageway to another room, bath, or toilet.
 - A minimum of eight square feet of storage (closet or drawers) shall be provided per bed.
- The facility shall provide one full bathroom (toilet, sink, shower, and/or bathtub) per every seven beds.
- The facility shall be required to provide one parking space per employee and one parking space for every seven beds, unless the director of community development determines that additional parking spaces are required.
- The facility shall comply with citywide landscaping regulations.
- The facility shall be required to provide a common living area of 100 square feet plus five square feet per bed, exclusive of the sleeping, dining and kitchen areas.
- Existing and new facilities shall comply with all other health, building, and safety requirements.

Occupancy Standards

California law requires local governments to treat licensed group homes and residential care facilities with six or fewer residents no differently than other by-right single-family housing uses. "Six or fewer persons" does not include the operator, the operator's family or persons employed as staff. The City must allow these licensed residential care facilities in any area zoned for residential use and may not require licensed residential care facilities for six or less to obtain Conditional Use Permits or variances that are not required of other family dwellings. Currently, Chapter 17.08.030 of the City's Zoning Ordinance defines a "family" as "Two or more persons living together as a bona fide single housekeeping unit," the City also permits residential care facilities in all residential zones. The City's definition of family does not produce potential constraints in providing access to care facilities or housing opportunities.

8. Development Fees

Residential developers are subject to a variety of fees and exactions to process permits and provide necessary services and facilities as allowed by State law; these fees include, but are not limited to, development impact fees, permit issuance, subdivision processing fees, and engineering and public works fees. Development impact and permit

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issuance fees are used to support a variety of functions including checking submitted plans, paying local facilities management fees, special road assessments, and public service-related fees for other agencies such as school districts, water districts, and utility providers. Subdivision processing fees are used to cover the City's administrative costs incurred through the processing of subdivision applications and plans. Engineering and public works fees perform a similar function.

In general, fees and exactions can impact the cost and feasibility of developing the housing as well as its affordability. They can be a constraint to the maintenance, improvement, and development of housing because the additional cost borne by developers contributes to overall increased housing unit cost. However, the fees are necessary to maintain adequate planning services and other public services and facilities in the City. According to the City's 2020-2021 adopted budget, in addition to development and impact fees, Solana Beach receives primary funds through the following top six General Fund revenues:

- Property Tax
- Sales Tax
- Motor Vehicle In-lieu
- Transient Occupancy Tax
- Franchise Fees
- Fire Benefit Fees

The City's revenues, listed above, help to fund public facilities, park maintenance, public arts, and public services, additionally in-lieu housing fees provide revenue supplementary to the listed fees.

The current fee schedule became effective 2020, is summarized in **Table 3-87**, and is publicly available on the city's website. Under the fee schedule, the City recovers a portion but not all of the City's administrative costs for processing development applications. The City's Engineering fees and Development Impact fees, also effective 2020, are summarized in **Tables 3-8 and 3-9**. Based on the City's 2020-2021 Budget, service charges, which include planning and zoning fees, building/plan check fees, public facilities fees, engineering fees, fire plan check fees, and park fees, account for about 3.5 percent of the City's total general fund revenue.

Description of Service	Fee/Deposit	Description of Service	Fee/Deposit
Conditional Use Permit	\$8,877	Major Subdivision - Tentative Map	\$14,350
Bluff Retention Device CUPs & Wireless Communication Facility CUPs	Require add'l deposit for third-party reviews at Cost + 15%	Major Subdivision - Final Map	\$4,976
Community Development Directors Use Permit	\$2,665 Per application	Minor Subdivision - Tentative Map	\$10,993
Zoning Letter	\$159	Minor Subdivision - Parcel Map	\$4,033
Variance - Processing	\$6,719	Environmental Impact Report	Deposit for third-party review at Cost + 15% Admin Fee
General Plan Amendment	\$10,000 Deposit or a deposit determined by staff with charges at the fully allocated hourly rates for all personnel involved plus any outside costs as determined	Structure Develop. Permit - Processing	\$3,680
Rezoning Review/Specific Plan		Structure Develop. Permit - Processing	\$1,104 If in conjunction with a Development Review Permit, fee will be \$1,077 per application
Zoning Text Amendment		Structure Develop. Permit - Processing	\$3,128 If in conjunction with multiple entitlements, a 15% discount is applied to lower cost entitlements, and fee will be \$3,052 per application
Development Review Permit - Processing - Level I Resident	\$5,228	Landscape Plan Review/Inspection	Deposit for third-party review at Cost + 15% Admin Fee
Development Review Permit - Processing - Level I Non-Resident	\$10,470	Planning Public Noticing	\$548 per notice plus mailing and Newspaper
Development Review Permit - Processing - Level II	\$17,543	Multi-Permit discount of 15%	A multi-Permit discount of 15% is available for each add'l Planning Department permit filed on the same project at the same time as the first permit service.

Source: City of Solana Beach, Schedule of Fees effective January 1, 2020.

Table 3-98: Engineering Review Fees			
Description of Service	Fee	Description of Service	Fee
Lot Line Adj./Cert. Of Compliance. - Review	\$1,881 per application	Grading Plan check/ Public Improvement Permit/Inspection - \$200,001+	\$3,100 + \$10 for each \$1000 or fraction thereof of the construction value over \$200,000
Grading Plan check/ Public Improvement Plan Check - \$0-\$10,000	\$1,025 Min. fee	Grading Deposits	Based on an Engineer's Estimate of the work performed under the permit.
Grading Plan check/ Public Improvement Plan Check - \$10,001-\$20,000	\$1,025 + \$10.25 for each additional \$100 or fraction thereof of the construction value over \$10,000	Geotechnical Plan Review/Inspection	Deposit for third-party review at Cost + 15% Admin Fee
Grading Plan check/ Public Improvement Plan Check - \$20,001-\$80,000	\$2,050 + \$3.08 for each additional \$100 or fraction thereof of the construction value over \$20,000	Encroachment Permit	Street Cut - \$774 Standard - \$543
Grading Plan check/ Public Improvement Plan Check - \$80,001-\$200,000	\$3,898 + \$10.25 for each additional \$1000 or fraction thereof of the construction value over \$80,000	Miscellaneous Engineering Permit/Inspection	\$226
Grading Plan check/ Public Improvement Plan Check - \$200,001+	\$5,128 + \$10.25 for each \$1000 or fraction thereof of the construction value over \$200,000	Easement Abandon/Street Vacation	\$1,758 per application or a deposit determined by staff with charges at the fully allocated hourly rate for all personnel involved plus any outside costs.
Grading Plan check/ Public Improvement Permit/Inspection - \$0-\$20,000	\$1,025 Min. fee	Easement/R.O.W Dedication	\$487
Grading Plan check/ Public Improvement Permit/Inspection - \$20,001-\$80,000	\$1,025 + \$15.38 for each additional \$1,000 or fraction thereof of the construction value over \$20,000	Subdivision Monuments	security deposit is based on estimate provided by surveyor to set the monuments.
Grading Plan check/ Public Improvement Permit/Inspection - \$80,001-\$200,000	\$1,948 + \$10.25 for each additional \$1,000 or fraction thereof of the construction value over \$80,000	Sewer Connection Fees	Future Capacity = 50% Ocean Outfall = 27% Existing Facility = 23% Per total of \$4,500 per 1.0 EDU

Source: City of Solana Beach, Schedule of Fees effective January 1, 2020.

Development Impact Fees

In addition to City fees charged at the time Building Permits are issued, developers are required to pay a number of impact fees (shown in **Table 3-109**). Additionally, school impact fees are required and collected by the San Dieguito School district. Considering the high cost of land in Solana Beach, the fees charged by the City and school district do not create a constraint to the construction of market rate housing. The fees only comprise a very small percentage of the entire cost to construct a residence in Solana Beach. All the development fees listed in **Table 3-109** are posted on the City's website and available to the public.

Although there are no specific establishments for a right to receive any additional incentive from the City or any other party or agency to enable the developer to meet the obligations of the City's Code, the city council at its sole discretion may discount city fees, expedite the application process, or provide other assistance when it finds that provision of such assistance is needed to meet housing needs. Furthermore, the city manager is authorized to reduce city

development impact fees by 75 percent for accessory dwelling units (ADU) processed consistent with the City’s code, provided that a deed restriction for state law affordability provisions is recorded for the term of 99 years. [The City does currently reduce development impact fees for affordable projects.](#)

Table 3-109: Development Impact Fees

Description of Service	Fee	Description of Service	Fee
Regional Transportation Congestion Program RTCIP Fee	Single family \$3,623 per du Multi-family \$2,899 per du	Third Party Review	
Public Facilities Fee	1% of project valuation	Landscape Review	+ 15% of Third-Party Review Cost
Master Art Policy Fee	0.5% of project valuation	Wireless Review	+ 15% of Third-Party Review Cost
Affordable Housing Impact Fee	\$25.28 per sf	Geotechnical Review	+ 15% of Third-Party Review Cost
Transportation Impact Fee - Single Family	\$ 15,714.00 per unit	Biological Review	+ 15% of Third-Party Review Cost
Transportation Impact Fee - Condo & Multi-Family	\$ 11,206.00 per unit	Counsel Review	+ 15% of Third-Party Review Cost
Transportation Impact Fee - Accessory Living (units)	\$ 3,929.00 per unit	Stormwater Review	+ 15% of Third-Party Review Cost
Fire Mitigation Impact Fee - Detached Dwelling (units)	\$ 1,759.00	Traffic Review	+ 15% of Third-Party Review Cost
Fire Mitigation Impact Fee - Attached Dwelling (units)	\$ 248.00	Environmental Review	+ 15% of Third-Party Review Cost
Park Development Impact Fee - Detached Dwelling (units)	\$ 6,913.00	Shoreline Development Noise	+ 15% of Third-Party Review Cost
Park Development Impact Fee - Attached Dwelling (units)	\$ 5,002.00	Review Cultural Resources	+ 15% of Third-Party Review Cost
Public Use Facilities Impact Fee - Detached Dwelling (units)	\$ 640.00	Review Bluff Retention	+ 15% of Third-Party Review Cost
Public Use Facilities Impact Fee - Attached Dwelling (units)	\$ 463.00	Third Party Review Admin Fee	15% of Third Part Review Cost

Source: City of Solana Beach, Schedule of Fees effective January 1, 2020.

Estimated Fees and Direct Costs

Estimated total development fees and impact fees for a typical single-family residential project, assuming it is not part of a subdivision and is consistent with existing city policies and regulations are about \$122,500 for a 3,000 square foot home, assuming all related impact fees. Estimated total development and Impact fees for a typical multi-family residential project with thirteen units, assuming it is consistent with existing city policies is about \$1,143,800. The City of Solana Beach is committed to encouraging and increasing affordable housing, assuming a developer choose to include affordable units and the affordable housing impact fee is waived, total fees for the same single-family unit total about \$46,700 and for the same multifamily development total about \$334,900.

These estimates are illustrative in nature and that actual costs are contingent upon unique circumstance inherent in individual development project applications. Considering the cost of land in Solana Beach, and the International Code Council (ICC) estimates for cost of labor and materials, the combined costs of permits and fees range from approximately 3.6 percent to 9.4 percent of the direct cost of development for a single-family residential project and 4.1 percent to 13.9 percent for a multi-family residential project. Direct costs do not include, landscaping, off-site

improvements, shell construction or amenities, therefore the percentage of development and impact fees charged by the City may be smaller if all direct and indirect costs are included.

Affordable Housing In-lieu Fees

Payment of Affordable Housing Impact Fees

As an alternative to the construction of affordable units on-site, a developer may propose to pay affordable housing impact fees adopted by City Council resolution to mitigate the residential project's impact on the need for affordable housing in the City, if the city council makes both of the following findings:

- The affordable housing impact fees will be used to provide financial assistance to an identified city or city-sponsored affordable housing project that: (a) is proposed by an affordable housing developer; (b) has received all discretionary approvals from the city and the Coastal Commission; and (c) requires additional funds to commence construction.
- Provision of the affordable housing impact fee will create more affordable units than would be created by on-site provision of the affordable units.

Any approved affordable housing impact fees shall be paid prior to the first issuance of a Building Permit for the residential development. At the time of adoption of the Housing Element, the cost for In-lieu fees were \$25.26 per square feet. The City's preference is for units to be built on-site as part of projects and to date, there has been limited interest in paying in lieu fees as opposed to providing units.

Affordable Housing Impact Fees

Any affordable housing impact fees are set by city fee resolution or other action of the city council. Fees may be based on a fee per dwelling unit, fee per square foot, or any other reasonable basis. The city council may review the fees from time to time at its sole discretion and may, based on that review, adjust the fee amount. Affordable housing impact fees may not exceed the cost of mitigating the impact of residential projects on the need for affordable housing in the City. Based on the City's 2020 adopted fee schedule, the current affordable housing impact fee is \$25.28 per square foot. The current affordable impact fees are posted on the City's website and available to the public

In addition, all affordable housing impact fees shall be deposited into the City of Solana Beach designated housing fund. The fees collected and all earnings from investment of the fees shall be expended exclusively to provide or assure continued provision of affordable housing in the City through acquisition, construction, development assistance, rehabilitation, financing, rent or other subsidies, provision of supportive services, or other methods, and for costs of administering programs which serve those ends. The housing assisted shall be of a type, or made affordable at a cost or rent, for which there is a need in the City and which is not adequately supplied in the City by private housing development in the absence of public assistance and to the extent feasible shall be utilized to provide for low and very low-income housing.

9. Inclusionary Housing and Provisions for Affordable Housing

Due to the High cost of land and housing in Solana Beach, the City has established and implemented different programs and fees to provide housing access to all community members. Title 17, Chapter 70 of Solana Beach's Municipal Code establishes regulations and standards regarding the provision of affordable housing. The code states that new housing contributes to the demand for goods and services in the City, increasing local employment at wage levels which often do not permit employees to afford housing in the city. Further, new housing construction which does not include affordable units aggravates the existing shortage of affordable housing by absorbing the supply of available residential land. Providing affordable units or impact fees as required by chapter 70 of the code will ensure that part of the City's remaining developable land is used to provide affordable housing. The requirements, programs,

and fees, detailed below, coincide with the City's housing goals, as expressed in the Housing Element component of the Solana Beach General Plan.

For the purposes of this section, a unit is affordable if it meets the requirements for affordable housing costs for very low- or low-income households established by Health and Safety Code Section 50052.5 and regulations adopted by the California Department of Housing and Community Development (California Code of Regulations Title 25, Sections 6910 through 6924) determining affordability of residential housing units based upon household size and income levels. The following discussion identifies Affordable Housing requirements and includes an analysis of potential constraints:

Affordable Housing Required – For-sale and Rental residential projects

Developers of for-sale residential projects providing five or more dwelling units, or five or more lots for sale for residential purposes, shall construct and set aside 15 percent of all units or lots for sale to very low or low income households at sales prices affordable to such persons or households. The required affordable units shall remain affordable for 99 years from the date of final inspection, as shown on the inspection record card for the affordable unit.

Developers of rental residential projects providing five or more dwelling units shall construct and set aside 15 percent of all units for rent to very low or low income households at rents affordable to such persons or households. Additionally, the required rental affordable units shall remain affordable for 99 years from the date of final inspection, as shown on the inspection record card for the affordable unit.

As defined by the City's code, when the calculation of the number of affordable units required for a residential project results in a fraction of one-half or more, one additional affordable unit must be provided. When the calculation results in a fraction of less than one-half, the developer must either provide an additional affordable unit or pay an affordable housing impact fee calculated by multiplying the area (in square feet) of the average market-rate unit in the project by the fraction and multiplying that number by the impact fee per square foot. For example, based on the City's current fee schedule, if the average market-rate unit has 2,500 square feet, and there is a fraction of 0.2, the impact fee would total 500 multiplied \$25.28, generating a total \$12,640.

Affordable Housing Plan and Affordable Housing Agreement

An affordable housing plan shall be submitted as part of the first submittal of any residential project and will be processed, reviewed, and approved, conditionally approved, or denied concurrently with all other applications required for the residential project. The affordable housing plan may indicate that the developer intends to pay affordable housing impact fees. However, if affordable units are proposed to be provided, the affordable housing plan shall include the following, as applicable:

- Number, affordability level, unit type, tenure (for-sale or for-rent), number of bedrooms, location, unit size (square feet), and design of all affordable units.
- Construction schedule and phasing of affordable units in relation to market-rate units.
- Any requested alternative to the provision of affordable units including information as required by the City and reasonably required by the community development director to demonstrate compliance with the Solana Beach Municipal Code.
- Such additional information as may be required by the community development director to ensure conformance of the project with this chapter or the general plan or any specific plan.

Additionally, Prior to final or parcel map approval for the residential project, or, if a tentative or parcel map is not requested for the residential development, prior to issuance of any Building Permit within the residential development, an affordable housing agreement between the developer and the City shall be recorded against the property included in the residential project. The affordable housing agreement shall be binding on all future owners and successors in interest. After approval of the affordable housing plan, the city manager is authorized to approve the affordable housing agreement and any additional documents necessary to implement this section.

The affordable housing agreement shall be consistent with the affordable housing plan and shall include, but not be limited to, the following:

- Number, affordability level, unit type, tenure, number of bedrooms, location, unit size, and design of all affordable units.
- A description of the household income groups to be accommodated by the housing development, and the standards for determining the corresponding affordable rent or affordable sales price and housing cost.
- A description of provisions for income certification and screening of potential purchasers or renters of affordable units, resale control mechanisms (in for-sale units), and ongoing monitoring and administration.
- Terms of affordability.
- A schedule for completion of affordable units and phasing of development in relation to construction of market-rate units.
- A description of remedies for breach of the agreement by either party.
- For for-sale affordable units, conditions governing the initial sale and resale of affordable units to eligible households to ensure continued compliance with the restrictions of this chapter; and a condition requiring disclosure by the developer to the buyer of affordable units of the existence of the deed restrictions affecting the resale of the property.
- For rental affordable units, conditions establishing rules and procedures for qualifying tenants, setting rental rates, filling vacancies, operating and maintaining rental affordable units, and annually monitoring affordable units. A rent regulatory agreement acceptable to the City will be recorded against the residential project prior to issuance of a Building Permit for any dwelling unit in the residential project. The rent regulatory agreement shall include the developer's agreement to the limitations on rents required by the City.
- If an alternative to affordable units is approved (alternatives detailed below), provisions to ensure that the affordable housing is provided and that the requirements applied to the alternative have been complied with. Where off-site property is proposed for affordable housing, additional restrictions or agreements may be required to be recorded against the off-site property.
- Other provisions needed to ensure implementation and compliance with this chapter, to ensure continued affordability of the units, or to comply with state or federal law.

Alternatives for Provision of Affordable Units

The City of Solana Beach has a number of alternatives for the provision of affordable units. The alternatives are broken down by the following categories and detailed below.

Rental Units in a For-Sale Residential Project

- A developer of a for-sale residential project may propose to provide rental affordable units rather than for-sale affordable units.
- If the developer elects to provide rental affordable units, at least 15 percent of the units in the residential project shall be rented to very low- or low-income households at affordable rents.

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- The rent regulatory agreement will include provisions for sale of the affordable units and relocation benefits for tenants of the rental affordable units if the owner of the residential project later determines to offer any rental affordable units in the residential project for sale.
- The owner must also provide all notices to prospective tenants of the residential project required by state law and, at the time sale of the units is proposed, provide all tenants of the rental affordable units with the same notices, rights, and relocation benefits as provided by state law and the Municipal Code for tenants in condominium conversions.
- The owner shall provide written notice to the City at least 90 days before offering any rental affordable unit for sale. The owner shall provide as many for-sale affordable units at affordable housing cost as are required.
- At the time of sale, documents acceptable to the community development director, all consistent with the requirements of this chapter, shall be recorded against the for-sale affordable units for a term of 99 years from the date of sale.

Construction of Off-Site Affordable Housing

As an alternative to the construction of affordable units on-site, a developer may propose to construct an affordable housing development on other property within the City. The affordable housing plan must provide evidence of and contain the following:

- Financing or a viable financing plan, which may include public funding, shall be in place for the off-site affordable units.
- The off-site location must be suitable for the proposed affordable housing, consistent with any adopted affordable housing guidelines and the housing element, will not tend to cause residential segregation, and be located within the city of Solana Beach boundaries with appropriate infrastructure and services. Any off-site alternative must comply with the density, intensity and development standards that are permitted under the zone for the site.
- Prior to issuance of a Building Permit for any unit in the residential development, the off-site development shall have all discretionary permits and approvals necessary for the construction of the affordable housing, and the developer approved by the city shall have purchased the site for the off-site affordable housing.
- Prior to occupancy of any unit in the residential development, occupancy shall have been authorized for all units in the affordable housing development.

Preservation or Conversion of Existing Unit

As an alternative to the construction of affordable units on-site, a developer may propose to preserve existing affordable units at risk of loss or convert market-rate units to affordable units, if the preservation or conversion of these units is consistent with requirements of the City's Code allows the City to substitute the preservation or conversion of these units for the obligation to identify sites.

Legalization of Existing Unpermitted Dwelling Units

As an alternative to the construction of affordable units on-site, a developer may acquire and place deed restrictions upon existing housing units within the City constructed without Building Permits, for occupancy by very low- or low-income households at prices or rents affordable to such households subject to the following standards and conditions:

- The developer must demonstrate ownership of the unpermitted dwelling units or an executed agreement with the owner of the dwelling units agreeing to record an affordable housing agreement against the property and to grant the developer access to perform any required rehabilitation or improvements.
- The existing unpermitted housing units must not have a separate address that was included in the most recent United States Census.

- The units must be ready for occupancy by an eligible household prior to final inspection, as shown on the inspection record card, for any market-rate units in the residential project.
- A Building Permit shall be obtained for each unpermitted dwelling unit. Any substandard unit shall be rehabilitated in conformance with applicable local ordinances and state statutes.
- If the units will be for-sale or rental affordable units, the number, affordability, and term of affordability of the affordable units shall conform with the provisions of the City's Code requirements.

Affordable Housing Design and Standards

When an affordable unit is the unit may be constructed as a separate single-family dwelling unit or may be combined with other dwelling units. Affordable units must be designed to be integrated into the residential style of the residential project, and shall have the same general bulk, scale, average square footage, same mix, and height as market-rate units in the development. Subject to approval of the community development director or designee, affordable units may have different interior finishes and features than market-rate units in the same residential development project, so long as the finishes and features are durable, of good quality and consistent with contemporary standards for new housing.

Additionally, affordable units must be comparable to market-rate units in overall number of bedrooms and the proportion of units in each bedroom category. For multifamily residential projects, the affordable units shall be integrated into the project and located so as not to create a geographic concentration of affordable units within the residential project, unless required to provide housing for senior citizens or to obtain financial assistance from state or federal agencies.

Finally, all affordable units must be constructed and occupied concurrently with or prior to the construction and final inspection of market-rate units. In phased residential projects, affordable units shall be constructed and occupied in proportion to the number of units in each phase of the residential project.

Waivers of Affordable Housing Requirements

As part of an application for the first approval of a residential project, a developer may request that the requirements of this chapter be waived or modified, based upon a showing that applying the requirements of this chapter would result in an unconstitutional taking of property or would result in any other unconstitutional result. Any request for a waiver or modification shall be submitted concurrently with the project application. The developer shall set forth in detail the factual and legal basis for the claim, including all supporting technical documentation, and shall bear the burden of presenting the requisite evidence to demonstrate the alleged unconstitutional result. Any request for a waiver or modification based on this section shall be reviewed and considered at the same time as the project application. In deciding whether to grant the waiver or modification, the city council shall assume each of the following when it is applicable to the project:

- The developer will provide the most economical inclusionary units feasible in terms of construction, design, location and tenure.
- The developer is likely to obtain housing subsidies when such funds are reasonably available.

The waiver or modification may be approved only to the extent necessary to avoid an unconstitutional result, based upon legal advice provided by or at the behest of the city attorney, after adoption of written findings, based on legal analysis and the evidence. If a waiver or modification is granted, any change in the project shall invalidate the waiver or modification, and a new application shall be required for a waiver or modification.

10. On-/Off-Site Improvements

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Site improvements in the City consist of development for on-site improvements (fronting streets, curbs, gutters, sewer/water, and sidewalks), and off-site improvements (drainage, parks, traffic, schools, and sewer/water). Thus, these are costs that will be added to the sale or rental price of housing. Because residential development cannot take place without the addition of adequate infrastructure, site improvement requirements are not seen as a constraint to the development of housing within the City.

The infrastructure in Solana Beach is fully developed and well maintained. As a result, only minimal on or off-site improvements are required for most new development. Typical on-site improvements consist of curbs, gutters, sewers/water, and sidewalks. Required off-site improvements are also minimal and directly relate to project impacts. For example, a project approval may be accompanied by conditions for localized street and intersection improvements. But again, because the City's infrastructure is largely in place and because there is minimal land available for subdivisions, requirements for construction of new public streets or other significant infrastructure is very rare. The required public improvement standards are used primarily to ensure that the existing roadways adjacent to new residential construction maintain or provide the appropriate right-of-way. In conclusion, given the completely developed nature of the City's infrastructure, the cost to developers of providing public facilities is relatively low when compared to other parts of the region where the infrastructure is not already available or is inadequate to serve new development.

11. Building Codes and Enforcement

The City of Solana Beach's construction codes are based upon the California Code of Regulations, Title 24 (Building, Plumbing, Mechanical, Electrical and Housing Codes) and are considered to be the minimum necessary to protect the public health, safety and welfare of the City's residents. Code enforcement is conducted by the City and is based on systematic enforcement in areas of concern and on a complaint basis throughout the City. The Code Enforcement Division works with property owners and renters to assist in meeting state health and safety codes. The Code Compliance Department investigates complaints regarding violations of the Solana Beach Municipal Codes, Uniform Building Codes, Fire Codes, and Parking regulations. The intention and goal is to work together with the community to help resolve issues through voluntary compliance.

12. Local Processing and Permit Procedures

The processing time for permits varies in Solana Beach based upon the scope and type of project and the applicant's compliance with the City's ordinances and completeness of applications. Certain types of applications/permits are discretionary and require a public hearing, while others are processed administratively. Projects needing discretionary review typically involve significant grading activity or buildings over 500 square feet in size. On average, permit processing for discretionary projects takes between six and eight months. Administrative approval takes between several days to two or three weeks. A significant portion of the permit processing in the City is associated with single-family remodels.

Projects that take a longer time to secure final approval generally have significant environmental impacts or involve general plan amendments or rezoning. The developers may be responsible for delays by failing to provide information or requesting continuances. Permit approval under these circumstances requires more time for public notice, public hearings, and negotiation of design modification to resolve problems.

For a discretionary Development Review Permit, the City automatically proceeds with a development proposal hearing at the next scheduled City Council meeting once the following findings are met: (1) the proposed development is consistent with the General Plan and all applicable requirements, including special regulations, overlay zones, and specific plans; (2) the proposed development complies with the development criteria; (3) environmental review as required by CEQA is completed; and (4) all required permits and approvals, including Variances, Conditional Use Permits, Comprehensive Sign Plans, etc., are processed concurrently with the Development Review Permit.

Once the criteria are met, the City continues to apply the State of California Streamlining Act requirements to ensure continued timely and predictable permit processing. The process is further expedited in the City of Solana Beach because the City has no Planning Commission; the Council acts as the Planning Commission and; thereby, reduces the steps in the process and removes uncertainty of Planning Commission-City Council policy interpretations. An application for a Development Review Permit shall be required for any structure or site development which meets, but is not limited to, the following criteria:

- New construction (including structural additions to existing development) totaling 30,000 gross square feet or more, except greenhouses in the (A) zone and structures in residential zones.
- Any residential projects of 20 or more units.
- Any site development, including grading, or construction including any structural additions to existing development, that involves an aggregate of more than 100 cubic yards of cut and/or fill, excluding:
 - Residential swimming pools/spas
 - City of Solana Beach approved public works projects in the existing right of way

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- Any new residential structure or structural addition in the MHR or HR zones which exceeds 25 feet in height and any new nonresidential structure or structural addition which exceeds 30 feet in height.
- Any developments located in the Hillside, Scenic, or Floodplain Overlay Zones.
- Any development on a coastal bluff top property or on the face or toe of a bluff for which a Coastal Development Permit issued by the California Coastal Commission is presently required.
- Any new construction, including replacement of an existing structure or structural additions to existing development in residential zones, shall require a Development Review Permit if either or both of the following development criteria are satisfied:
 - The total of existing square footage plus proposed new square footage of the structure exceeds 60 percent of the maximum floor area allowable under the applicable floor area ratio.
 - If new square footage is proposed for an existing or new second story, the total of the existing square footage plus proposed new square footage of only the second story of the structure exceeds 40 percent of the floor area of the first story existing floor area for residential lots of 6,000 square feet or less, or 35 percent of the floor area of the first story existing floor area for residential lots of greater than 6,000 square feet.

No Building Permit or Grading Permit shall be issued relating to a project for which a Development Review Permit is required by this title until a Development Review Permit is obtained. Additionally, Solana Beach is located entirely within the state's coastal zone and all Coastal Development Permits must be heard by the State Coastal Commission.

The general process for obtaining an Administrative Building Permit in Solana Beach is as follows:

- One set (1) of building plans are initially reviewed by the Planning Department. Once the planning department has reviewed and noted required revisions or comments, the plans are marked to proceed with plan check. The applicant is advised to submit four (4) additional sets to the Building Department, which is managed by Esgil, an independent firm that provides plan check services to the City of Solana Beach. The Engineering, Environmental and Fire Departments conduct their reviews at the same time. The plans are reviewed for compliance with both the City's Municipal Code and applicable State laws.
- The Building Department plan check process may require plan revisions and subsequent rechecks until the plans are determined to meet all California Building Codes.
- The final set of plans must then be resubmitted to the City of Solana Beach for a "Re-Stamp." This Re-Stamp is required to allow each department the opportunity to review the final plan to confirm that required revisions were made, and to evaluate whether changes required by a different department did not create additional comments. Once the building permit plans have been placed in stamp out, the City sets no longer than ten days to sign off. Generally, the Re-Stamp proceeds more quickly than the initial review.

The City reviewed entitled projects over the past three years to determine how many applied for and received building permits and how long that took approximately. Table 3-11 below shows how many projects received a building permit within one year of their entitlement approval. Not every project that received entitlement approvals applied for building permits in a timely fashion or at all. Entitlement approvals remain in place for a period of two years and may receive extensions from the City if desired by the applicant. The City continues to work with applicants that receive entitlement approvals to determine next steps and assist applicants with navigating the permitting process.

<u>Year</u>	<u>No. Projects Entitled</u>	<u>Entitled Projects that did not Apply for Building Permits</u>	<u>Projects that Received Building Permits within One Year of Entitlement Approval</u>
<u>2018</u>	<u>15</u>	<ul style="list-style-type: none"> • <u>3 projects have not submitted for permits yet</u> • <u>2 projects were revised by the applicant and are currently in the permit process</u> 	<u>9</u> <u>1 additional project received a permit within 2 years</u>
<u>2019</u>	<u>18</u>	<ul style="list-style-type: none"> • <u>4 projects have not submitted for permits yet</u> • <u>2 projects were revised by the applicant and are currently in the permit process</u> • <u>1 project changed owners and has re-applied for permits</u> 	<u>11</u>
<u>2020</u>	<u>14</u>	<ul style="list-style-type: none"> • <u>5 projects have not submitted for permits yet</u> • <u>2 projects are in process to receive building permits</u> 	<u>7</u>

The City operates a permit and processing counter with daily hours and provides extensive technical assistance to project proponents to ensure that their applications are complete and correct. In this manner, the City is able to provide a high degree of certainty and process proposals within seven to eight weeks.

The majority of these entitlements were for single-family residences and were entitled at the maximum density. As shown in Table 3-17 the City receives applications to develop below the maximum density on projects that propose a mixed-use type development. In these instances, the projects were determined to have the physical capacity to develop at the maximum density but chose to include a commercial or office component.

13.State Policies and Regulations

State policies and regulations, which are regularly updated to include new standards for development, requirements to improve accessibility, and updated environmental standards, may also serve to constrain housing development in local communities.

California Code of Regulations, Title 24

The state of California regularly updates and adopts new standards for construction which are known as the California Building Standards Code. The California Building Standards Code is a compilation of three types of building standards from three different origins, listed as follows:

- Building standards that have been adopted by state agencies without change from building standards contained in national model codes;
- Building standards that have been adopted and adapted from national model codes to address California's ever-changing conditions; and
- Building standards, authorized by the California legislature, that constitute amendments not covered by national model codes, that have been created and adopted to address particular California concerns.

Regulations for residential use, maintenance, and occupancy for existing buildings are found in the California Code of Regulations, Title 24 Part 2.5. The most recent Code was published July 1, 2019 and went into effect January 1, 2020. The City of Solana Beach has adopted the 2019 Code as the City's building standards, and the regulations and requirements provided by the California Code are not considered a constraint to development of accessible and affordable housing being they are required by law and developed to implement safe and well design standards.

Environmental Protection

State regulations require environmental review of proposed discretionary projects (e.g., subdivision maps, use permits, etc.). Costs resulting from fees charged by local government and private consultants needed to complete the environmental analysis, and from delays caused by the mandated public review periods, are also added to the cost of housing. However, the presence of these regulations helps preserve the environment and ensure environmental safety to Solana Beach residents.

C. Infrastructure Constraints

Another factor that could constrain new residential construction is the requirement and cost to provide adequate infrastructure (major and local streets; water and sewer lines; and street lighting) needed to serve new residential development. In most cases, where new infrastructure is required, it is funded by the developer and then dedicated to the City, which is then responsible for its maintenance. Because the cost of these facilities is generally borne by developers, it increases the cost of new construction, with much of that increased cost often "passed on" in as part of home rental or sales rates. However, such infrastructure costs do not represent a barrier in Solana Beach because as a built-out community, Solana Beach's infrastructure is, likewise, built out and in place. Therefore, the high development costs often associated with installing infrastructure systems in other communities are not found in Solana Beach.

1. Water Supply and Wastewater Capacity

Among the municipal services that the City of Solana Beach provides are the functions of wastewater, and clean water (storm water pollution prevention). These utility services are funded exclusively from fees and rates charged to the City's utility customers related to their use. Water supply is provided by the Santa Fe Irrigation District.

The City of Solana Beach has evaluated the availability of infrastructure from a Citywide and site specific standpoint. In determining the feasibility of sites to accommodate the City's RHNA needs, infrastructure provision was a determining factor. Based on the site inventory analysis contained in Appendix B of this Housing Element, deficiencies in infrastructure adjacent to, or on the parcels within the inventory of sites, do not pose a constraint to development. All of the lower income sites are adjacent to existing public roads that contain utilities and other infrastructure.

The City's current General Plan EIR evaluated the infrastructure capacity for all sites within the City as identified in the current Land Use Element. The City is not rezoning or adding additional capacity beyond what is currently permitted and what has previously been evaluated. Therefore, the current EIR analysis which states there is adequate infrastructure in place to accommodate future anticipated development is accurate. Additionally the City's draft MND for the Housing Element Update was conducted to evaluate any potential impacts to the environment.

Water Supply

The Santa Fe Irrigation District provides reliable water to the Rancho Santa Fe, Fairbanks Ranch and City of Solana Beach area, and has been for almost a century. The Mission of the Santa Fe irrigation District is to efficiently provide its customers with safe and reliable water. The Santa Fe Irrigation District was originally formed by landowners under the California Irrigation District Act to provide water service to the area. The District serves approximately 19,400 customers on 10,200 acres of land in three communities: Rancho Santa Fe, Fairbanks Ranch and the City of Solana Beach.

The Santa Fe Irrigation District has 100% ownership of 151 miles of pipelines and a six million-gallon filtered water reservoir in Solana Beach known as Larrick Reservoir. It shares ownership with the San Dieguito Water District (SDWD) of a 40 million-gallon-per day (mgd) water treatment and filtration plant (R.E. Badger Filtration Plant). The San Dieguito Reservoir was constructed in 1918 and has the capacity to hold 550-acre feet of raw water.

Wastewater Capacity

In compliance with the Federal Clean Water Act requirements, the City maintains the sanitary sewer system. A private contractor, under contract with the City of Solana Beach, provides routine cleaning of the public sewer mains. All public sewers are cleaned at least once a year using high pressure jetting and/or mechanical rodding. Problem sewers are cleaned up to four times annually. Root intrusion and grease buildup are the primary culprits of sewer backups.

The City's sewage is pumped to the San Elijo Water Reclamation Facility in Cardiff for treatment and disposal. The treatment facility supplies reclaimed water for landscape irrigation and industrial applications. The City Council appoints representatives to sit as voting members on the San Elijo Joint Powers Authority Board.

Sewer service charges are billed annually on the County property tax bill. The charge is determined based upon a user classification or category. Sewer service is not determined by water usage. The City Council, upon review of operating expenses and staff recommendations, determines the annual sewer fees each year.

Based on current service, routine care of the City's system, and the fact that the City of Solana Beach is built-out and well connected, additional housing will not pose a significant impact on the City's water services or ability to provide such services to new units. Additionally, cooperation with local service providers will support the prioritization of water and sewer services for future residential development, including units affordable to lower-income households. The City will submit the adopted Housing Element to local water and sewer providers for their review and consideration when reviewing new residential projects

2. Stormwater Management

Solana Beach is located within the Carlsbad and San Dieguito River Watershed Management Areas (WMAs). Major surface water bodies in the Carlsbad WMA that receive urban runoff discharges from areas within the City include the San Elijo Lagoon and the Pacific Ocean. Major surface water bodies in the San Dieguito WMA that receive urban runoff discharges from areas within the City are the San Dieguito River/Estuary and the Pacific Ocean. The City of Solana

Beach Public Works Department has and is responsible for maintaining the storm drain infrastructure through comprehensive programmatic efforts.

As mandated by the National Pollutant Discharge Elimination System Permit Order No. R9-2013-0001 (NPDES Permit) issued by the Regional Water Quality Control Board (RWQCB), the City is required to prevent and eliminate non-storm water discharges into the City's storm drain system. Non-compliance with the NPDES Permit can result in heavy fines to the City, up to \$10,000 per day per violation. In order to stay in compliance, the City has a comprehensive program to reduce the amount of pollutants that are allowed to enter the storm drain system. This is important because storm drains are NOT connected to wastewater treatment facilities, so the water that enters them flows directly to creeks, lagoons, and oceans untreated. The City of Solana Beach prohibits all non-storm water discharges unless a discharge is authorized by a separate NPDES permit. Typical non-storm water discharges include, but are not limited to:

- Oil from vehicles
- Excess pesticides and fertilizer from landscaping
- Bacteria from pet waste
- Sediment from construction and landscaping projects
- Soap from car washing
- Litter
- Lawn and garden debris
- Improperly disposed home improvement debris
- Irrigation runoff
- Water from residential and commercial street, sidewalk, and parking lot washing
- Air conditioning condensation
- Chlorinated swimming pool discharges
- Sanitary sewer and septic system overflows

Jurisdictional Runoff Management Program

The City has a Jurisdictional Runoff Management Program (JRMP) that governs the activities and programs implemented to comply with the NPDES Permit. The purpose of the City's JRMP is to implement strategies that effectively prohibit non-storm water discharges to the MS4 and reduce the discharge of pollutants in storm water to the maximum extent practicable (MEP). Improving the quality of the discharge from the MS4 should have beneficial effects on the local receiving water bodies.

While the primary responsibility of managing the JRMP lies with the Department of Public Works, other City departments participate in the implementation of the program. Each Department and associated Division has an established role in implementing the components of the JRMP. The JRMP is broken up into the following sections, each with their own set of guidelines and requirements that City staff must adhere to and implement to stay in compliance with the NPDES Permit:

- Development Planning
- Construction
- Municipal
- Industrial and Commercial
- Residential
- Illicit Discharge Detection and Elimination
- Education
- Public Participation
- Fiscal Analysis
- Effectiveness Assessment

The City also has responsibilities above and beyond the requirements of the JURMP. The NPDES Permit requires the City to participate with neighboring jurisdictions and the entire region to develop and implement Watershed programs and a Regional Program. The City is in two separate watersheds, the Carlsbad Watershed and the San Dieguito Watershed, which each have pollution prevention programs called Watershed Urban Runoff Management Programs (WURMPs). City staff must develop and implement programs with staff from neighboring jurisdictions and the region to address water pollution on a much larger scale.

3. Fire and Emergency Services

Management of the fire department is handled through a Management Services Agreement with the City of Encinitas. Through this agreement the department is staffed with a Fire Chief, Deputy Fire Chief, 4 Battalion Chiefs, Fire Marshal, 6 Fire Captains, 6 Fire Engineers, 4 Firefighter/Paramedics, 2 Probationary Firefighters, a Management Analyst, and a Fire Prevention Specialist. In addition, the fire station is home to 6 Paramedics operating an ambulance owned by American Medical Response.

Responsibilities

Duties include supervising fire suppression operations and emergency medical services; emergency management; fire prevention activities; purchasing of materials, supplies, and fire equipment; management of service contracts; and administrative functions. In addition to Del Mar and Encinitas, the Solana Beach Fire Department has automatic aid agreements with the City of San Diego and the Rancho Santa Fe Fire District. The Solana Beach Fire Department provides mutual aid to the Northern San Diego Zone, San Diego County and as needed throughout the State of California

Emergency Response

Emergency response is handled according to the nature of the emergency with a combination of vehicles and equipment housed at the Solana Beach station and from surrounding agencies through mutual aid and automatic aid agreements. For example, a call for a structure fire would bring an engine, truck and paramedic unit from Solana Beach as well as engines from Rancho Santa Fe, Del Mar, Encinitas and San Diego. An increase to a second or third alarm would bring vehicles from as far as Carlsbad, Oceanside, Vista, San Marcos and Escondido.

The City of Solana Beach contracts with Trauma Intervention Programs of San Diego County, Inc. (TIP), a non-profit organization of specially trained citizen volunteers, to provide immediate emotional and practical support to victims and their families in the first few hours following a tragedy.

It is not anticipated that any new fire or emergency facilities would be required as a result of development on the housing sites. Therefore, this does not place a constraint on development.

4. Police Services

The City of Solana Beach is contracted for law enforcement services from the San Diego County Sheriff's Department. Through contract with the Sheriff's Department, the City of Solana Beach receives routine patrol of streets by patrol and traffic deputies, crime prevention services, and a wide array of other law enforcement services. The North Coastal Station serves nearly 60 square miles which includes the cities of Solana Beach, Encinitas and Del Mar, and the unincorporated communities of Rancho Santa Fe, Del Dios, Camp Pendleton and San Onofre.

Patrol Division

Patrol deputies respond to crimes or emergencies in progress and calls for service. They conduct routine patrols with their primary focus on the protection and preservation of life. They conduct preliminary investigations and apprehend law violators.

Traffic Division

Traffic deputies focus on vehicle code enforcement, traffic collision investigations and traffic control. The California Highway Patrol is the agency responsible for traffic enforcement in the unincorporated areas throughout the state of California.

It is not anticipated that any new police facilities would be required as a result of development on the housing sites. Therefore, this does not place a constraint on development.

D. Environmental Constraints

This section contains environmental constraints commonly found in the southern California region that may apply to future development within the City of Solana Beach. Most of these, while present within Solana Beach, do not reduce the development capacity of individual sites, nor do they alter the City's ability to develop housing within the planning period.

As demonstrated in the Overlay and Sites Analysis sections, the City has conducted a careful site analysis that takes into consideration the various environmental factors that may apply to future housing development within the City. As part of this analysis, the City mapped known environmentally sensitive areas using SANGIS data as well as available very high fire severity zone data. The City did not include any sites located within either of these areas. The City also addressed geologic, seismic, and liquefaction hazards by not identifying sites within the Coastal Bluff Overlay zone, where the majority of these hazards are present. Lastly, the City did not identify sites within the Floodplain Overlay zone.

The City has made diligent efforts to identify sites that are not impacted by known environmental constraints based on available data. The majority of the identified housing sites are in infill areas which are either currently developed or previously disturbed, which generally limits the environmental factors present on site. Further analysis of environmental factors is included within the environmental clearance document for the housing element.

1. Geologic and Seismic Hazards

Southern California is considered as one of the most seismically active regions in the United States because the faulting is dominated by the compression regime associated with the "big bend" of the San Andreas Fault Zone. The San Diego region is transected by several sub-parallel, pervasive fault zones, as well as smaller faults. Historically, earthquakes less than magnitude 4 have been common to the San Diego region.

Solana Beach is located on the western edge of the Peninsular Range geologic province. The Peninsular Range province is a physiographic feature which includes the Laguna Mountains, the Agua Tibia Mountains, the Santa Rosa Mountains, the San Jacinto Mountains, and the Santa Ana Mountains. The formation of this province's mountain ranges and other features is due to the relative movement of the Pacific and North American continental plates along the San Andreas fault system. The province is located immediately west of the San Andreas fault and is affected by a number of other faults.

Therefore, Solana Beach, like much of southern California, is located in a region of high seismic activity. An offshore extension of the Rose Canyon fault lies approximately two miles to the west of Solana Beach and is considered to be potentially active. Events are much less likely to occur on potentially active faults as compared to active faults. However, given the close proximity of the Rose Canyon fault to Solana Beach, a strong earthquake on this fault could produce severe ground shaking in the city. In addition, recent offshore seismic activity has demonstrated that small magnitude earthquakes (less than 4.5 magnitude) can be generated on offshore faults, located approximately five

miles offshore, and known as the South Coast Offshore Zone of Deformation. Below is an analysis of geologist and seismic constraints to development in Solana Beach per the City's Safety Element and Climate Action Plan.

Geologic and Seismic Constraints to Development

The suitability of land for development is influenced strongly by the presence of certain geologic and seismic hazards. These hazards range from the direct and indirect effects associated with earthquakes to problems associated with slope stability and soil conditions that are not conducive to development.

Seismic Shaking

The energy released by movement along a fault travels through the earth's crust as shock waves which cause the ground motion associated with earthquakes. The severity of ground motion at any given location is related to the total amount of energy released, the distance from the earthquake's origin, and the character of surface and subsurface geologic conditions.

Virtually all of Solana Beach consists of well-consolidated geologic materials rather than poorly consolidated soils such as alluvial deposits. Nevertheless, it should be noted that ground shaking in hillside areas could induce the slumping of geologic structures or landslides in areas of slope instability. According to the California Division of Mines and Geology, Solana Beach is within an area where the intensity of maximum expectable earthquakes would likely be moderate.

Liquefaction

Liquefaction is the substantial loss of strength of poorly consolidated and saturated soils due to the effects of seismic shaking. The passage of seismic waves through such soils can cause soil particles to be suspended temporarily in water, creating conditions very similar to quicksand. The resultant loss of strength can cause significant damage to structures as they settle, tilt, or collapse.

The potential for liquefaction in a given area is dependent upon soil characteristics, groundwater conditions, and the intensity of seismic shaking. In the Solana Beach area, the potential for liquefaction is greatest in the area located generally between Stevens Avenue and Valley Avenue, and in the area north of Via de la Valle between Del Mar Downs and Stevens Avenue. These are the only areas in the City which are underlain by poorly consolidated alluvium and slope wash which could liquefy during an earthquake depending upon groundwater conditions.

Seiches

Seiches are the oscillation of water in bodies of water sometimes caused by earthquakes. A common example is the "sloshing" of water in a swimming pool during an earthquake. Seiches are potentially hazardous when the wave action created in lakes or bays is strong enough to threaten human beings and structures nearby the body of water. The only area near Solana Beach where this is a potential concern is San Elijo Lagoon. However, this is a very minor concern since urban development in the City is not in close enough proximity to the lagoon to be exposed to seiches.

Landslides

Landslides are the downslope movement of geologic materials. Typically, such movement occurs as block glide or as a slump. In addition to landslides, other slope stability problems found in hillside areas must be considered in planning future land uses. These problems include soil creep, earthflows, and mudflows.

- Soil creep is the slow downslope movement of individual soil particles at varying rates.
- Earthflows involve the downslope movement of soils that have been saturated and form a viscous flow of material.

- Mudflows involve the rapid downslope flow of mud and debris.

In Solana Beach, the principal area of concern regarding slope stability is along the City's coastal bluffs.

Bluff/Slope Stability

Slope stability is a significant concern along Solana Beach's entire coastal bluff area. The steep bluffs have experienced losses resulting from the combined effect of natural and man-made activities. Urban development on the bluffs has placed increased loads upon the geologic structure of the area. All coastal blufftop areas are of concern to the City.

The City has recognized the challenges that come with managing the actively eroding shoreline. Multiple factors, such as wave action, winter storms, sea-level rise, and the lack of sand replenishment contribute to an unstable geologic environment. Seacliff erosion poses a threat to the public recreational use of the beach and to the homes located at the top of the bluffs. Shoreline protective devices along the coast include seawalls, revetments, shotcrete walls/cave infills, notch and dripline infills, and mid- and upper-bluff retention systems

Although future development constructed under the Housing Element may involve the construction of new residential structures in a seismically active area, the potential hazards would be less than significant because of the existing regulatory framework related to seismic safety. Additionally, development standards, updated building codes, and design requirements are in place in Solana Beach to mitigate potential hazards from natural disasters as well as developments.

2. Flooding

Flooding problems in Solana Beach have historically involved coastal flooding and San Dieguito River flooding in the area of Stevens Avenue and Valley Avenue. With respect to coastal flooding, the occurrence of storm events in combination with high astronomical tides and strong winds can cause a significant wave runup and allow storm waves to attack higher than normal elevations along the coastline. When this occurs, shoreline erosion and coastal flooding frequently result in damage to inadequately protected structures and facilities located along low-lying portions of the shoreline.

Floodplains are relatively flat land areas subject to periodic inundation by nearby drainage courses. These areas have historically attracted human settlement by virtue of their flat terrain, proximity to water, and soil characteristics that are often very fertile. Flooding represents a hazard only after human settlement on the floodplain exposes people and property to risks associated with the inevitable flood flows. Flood hazard areas in the Solana Beach area have been mapped through the National Flood Insurance Program administered by the U.S. Department of Housing and Urban Development (HUD) and the Federal Emergency Management Agency (FEMA). According to the City's Climate action Plan, a total of 9,300 people are vulnerable to a 100-year flood along the San Diego coast.

The relationship between land use and flood hazards has two key aspects. First, the potential for flooding is a major constraint to land development in that the hazards posed by flooding severely restrict the types of land uses within the floodplain. Second, urban land use development could result in adverse effects on downstream areas by increasing the potential for flooding. Urban development can result in adverse effects upon downstream areas involving increased flooding and/or erosion and sedimentation problems. Through the development of buildings, roads, sidewalks, and accompanying infrastructure, the amount of impermeable surfaces increases reducing the amount of land area capable of absorbing precipitation. Consequently, stormwater runoff conveyed to the San Dieguito River and the San Elijo Lagoon will increase in both volume of flow and flow velocity. While the effect of individual projects

themselves may be relatively minor, the cumulative effect of increased impermeable surfaces and storm drain construction throughout upstream portions of Solana Beach could result in greater frequency and magnitude of flooding in downstream areas. However, given the extent of existing urbanization in Solana Beach, additional effects upon downstream areas are expected to be very minor.

However, the City recognizes the potential hazards which accompany flooding and has developed the following measures to prepare:

- As data and coastal science progress, conduct sea-level rise studies in addition to the study prepared as a part of the U.S. Army Corps of Engineers (USACE) Solana Beach & City of Encinitas Coastal Storm Damage Reduction Project to better understand the risks and cost/benefits of development within flooding hazard zones and potential long-term mitigation recommendations;
- Protect existing, and construct new buffers to protect the coastline from flooding;
- Implement and expand upon the short- and long-term sediment management programs identified in the Solana Beach & City of Encinitas Coastal Storm Damage Reduction Project to preserve shorelines through beach replenishment and nourishment to address impacts of sea-level rise on shorelines;
- Incorporate sea-level rise effects into capital improvement plans;
- Install “green infrastructure,” using vegetation and soils to restore natural processes required to manage stormwater, around buildings and other parcel areas;
- Expand upon living shoreline-related projects similar to the Southern California Reef Technology Project to create shoreline habitat, enhance recreation, and improve sand retention; and
- Encourage the use of native landscaping with deep roots that can provide a sponge-effect by absorbing urban runoff.
- Join with other coastal cities in the region to share information and collaborate on adaptation measures.

Using the measures listed above, in addition to the requirements and standards outlined in the Floodplain Overlay Zone, it can be deduced that the impacts of potential flooding in Solana Beach will not pose a serious threat or constraint to the development and maintenance of safe and affordable housing within the City.

E. Housing Resources

1. Residential Sites Inventory

Appendix B of the Housing Element includes the required site analysis tables and site information for the vacant and non-vacant properties to meet the City’s RHNA need through the 2021-2029 planning period. The following discussions summarize the City’s site inventory and discuss the City’s past experience in redeveloping non-vacant sites and sites within non-residential zones.

2. Above Moderate and Moderate Income Sites

For the 2021-2029 planning period, the City’s RHNA allocation is 160 for moderate income site and 240 for above moderate income sites. The City anticipates growth to meet the moderate and above moderate income need to come in existing residentially and commercially zoned areas (that presently permit residential development as a primary use) through the development of new units and through the development of accessory ~~living~~ dwelling units (ADUs) and junior accessory ~~dwelling~~ living units (JADUs).

78 moderate income and above moderate income units can be accommodated on residentially zoned sites. The City has also identified commercially zoned sites within the City that permit residential as a primary use with the capacity to accommodate 182 above moderate income units. The City contains the required descriptive information for these sites within **Appendix B**.

An additional 125 units can be accommodated through the development of ADUs/JADUs throughout the community. This is based on the methodology described within this section and incorporates guidance from HCD’s Housing Element Site Inventory Guidebook.

Analysis Of The City’s Existing Capacity And Zoning

The Housing Element must demonstrate the City’s ability to accommodate the RHNA either through production or the availability of properly zoned land that can accommodate additional growth. The City of Solana Beach is able to accommodate all of its moderate and above moderate income RHNA need through available land with existing zoning classifications that permit residential as a primary use, as well as through the anticipated development of accessory dwelling units. **Appendix B** in this document contains a list and description of the sites designated to meet the City’s moderate and above-moderate need. **Table 3-129** below summarizes the capacity of the sites by current zoning classification which can accommodate 44 moderate income and 34 above moderate income dwelling units. In conjunction with ADU development, these amounts exceed the City’s 2021-2029 RHNA allocation as shown in **Table 3-162**.

Table 3-129: Residential Capacity for Moderate and Above Moderate Income Sites					
	Max Density (DU/AC)	Realistic Density (Used for Potential Yield Calculations)	Number of Parcels	Acreage	Potential Units
Above Moderate Income Sites					
LRc	3	3	15	15.01	26
LRd	3	3	2	1.48	2
LMRc	4	4	4	2.87	4
LMRd	4	4	2	1.38	2
C	20	16	6	11.84	182
<i>Subtotal</i>			29	32.58	216
Moderate Income Sites					
MRd	7	5	7	3.86	13
MHRd	12	8	15	5.84	31
<i>Subtotal</i>			22	9.70	44
Total			51	42.28	260

Reasonable Capacity Assumptions

This section describes the methodology developed to determine the site capacity for the moderate and above moderate-income sites. Reasonable capacity for sites identified to meet the City’s above moderate need was calculated based on a number of factors, including site size, existing zoning requirements, and the maximum density achievable for projects within the LRc, LRd, LMRc, and LMRd zones. Reasonable capacity for sites identified to meet the City’s moderate need was calculated based on the same methodology described above, however the methodology assumed development of sites at the minimum density achievable for projects within the MRd and MHRd zones.

Potential constraints, to the extent they are known, such as environmentally sensitive areas and steep slopes were considered and deductions made where those factors decreased the net buildable area of a parcel. Additionally, existing units non-vacant parcels were analyzed to determine the number of existing units currently on the parcel. Replacement of existing units was included as a factor to prevent no net loss of existing housing stock.

3. Sites Suitable for Lower Income Housing

The City of Solana Beach has a RHNA need of 316 very-low income units and 159 low-income units. As demonstrated below, the City is able to take credit for 32 low-income units, reducing that low-income need to 127 units. The City has identified residentially and commercially zoned parcels that can accommodate 531 dwelling units. The City also anticipates the development of ~~35-15~~ affordable ADUs based on the methodology described in this section. This is in excess of the City's 443 low and very-low RHNA need by ~~88-68~~ units, or an additional ~~20-15~~%.

The very-low and low-income sites inventory within **Appendix B** describes each of these sites, with information provided per the HCD required data tables. Dwelling unit yield for each of the parcels within this inventory were analyzed to determine a net parcel size based on the City's established definition of net acreage and known physical and environmental constraints. Due to the nature of infill development opportunities, parcels with non-residentially zoned areas were analyzed differently as described in the following section.

As identified in **Appendix B**, the City is able to accommodate their lower income RHNA need, including a buffer, on sites currently zoned to permit residential as a primary use. Non-vacant sites designated to meet the very-low and low-income RHNA need that have been identified in a previous housing and vacant sites designated to meet the very-low and low-income RHNA need that have been identified in two previous housing elements will also allow 'by-right' approval for any project with 20 percent low income housing that does not involve a subdivision per State law. This is described in **Program 1F** within the Housing Plan.

Development Of Non-Residentially Zoned Sites For Affordable Housing

In order to meet the City's very-low and low-income RHNA need of ~~475 dwelling units~~, the City has identified parcels currently located on non-residentially zoned parcels that permit residential uses as a primary use. The City's existing zoning allows for the development of housing in a mixed-use setting at 20 dwelling units per acre in the following zones:

- General Commercial (C)
- Special Commercial (SC)

Per the City of Solana Beach Municipal Code, "Residential dwellings shall be permitted only on the upper floors, basement, and rear 50 percent of the ground floor. Alternatively, residential dwellings may be permitted on any portion of the building (or buildings) pursuant to a Development Review Permit; provided, that total residential development does not exceed 50 percent of gross allowable floor area." Residential units must be a minimum of 650 square feet in size, however "efficiency units" are permitted in these zones pursuant to a Development Review Permit. These units may range in size between 220 and 650 square feet. The reduced unit size may result in the development of more affordable units.

It is anticipated that while all sites identified with the City's sites analysis have the potential to develop at 20 dwelling units per acre at the full net acreage, some sites located within non-residentially zoned areas may develop with commercial uses. To account for this, the City has reviewed past residential development within these areas and

determined that an 80% factor is appropriate to realistically gauge the residential development potential on the identified sites. As shown by the examples below in Table 3-17, the City has a past history of developing residential uses within the general commercial and special commercial zones at approximately 80% of the maximum capacity.

The following residential development projects have been constructed within the City's general and special commercial zones:

- ~~636 Valley Avenue – 3 dwelling units~~
- ~~625 Valley Avenue – 2 dwelling units~~
- ~~330 S. Cedros Avenue – 8 dwelling units~~
- ~~343 S. Highway 101 – 25 dwelling units (project currently under construction)~~

Pursuant to HCD's Building Blocks, there are a number of additional methods available to the City to analyze the likelihood of future development within these areas. These methods include:

- Discussion of residential development trends (regionally or locally) in nonresidential zones.
- Description of any existing or planned policies, programs, or local guidance or efforts promoting residential development in nonresidential zones.
- Description of any existing, or planned, mixed-use or overlay zoning, performance standards, or incentives for promoting residential development in nonresidential zones.
- Demonstrate a surplus of non-residentially zoned sites relative to the regional housing need.

The following sections describe local and regional development trends promoting mixed-use development within established commercial corridors as well as Solana Beach's existing or planned policies, programs, zoning amendments, and incentives for promoting residential development in nonresidential zones.

EXISTING OR PLANNED POLICIES AND PROGRAMS

The City of Solana Beach currently allows residential development within three of its commercial zones. Two of these zones, General Commercial (C) and Special Commercial (SC) allow for development at 20 dwelling units per acre, a density which HCD deems appropriate for the development of low income housing within a jurisdiction of Solana Beach's size.

In addition to existing zoning, the Highway 101 Corridor Specific Plan (amended July 2006) promotes the development of mixed-use residential and commercial uses along Highway 101 at a range of densities. The Specific Plan states that mixed-use development provides the opportunity to work toward the attainment of Housing Element objectives as well as provide an opportunity to enhance the pedestrian character of the Plaza and Transit Districts by introducing a residential component into the core of the Specific Plan area.

Regional Housing Needs Allocation

Future Housing Needs

Future housing need refers to the share of the regional housing need that has been allocated to the City. The State Department of Housing and Community Development (HCD) supplies a regional housing goal number to the San Diego Association of Governments (SANDAG). SANDAG is then mandated to allocate the housing goal to city and county jurisdictions in the region through a RHNA Plan. In allocating the region's future housing needs to jurisdictions, SANDAG is required to take the following factors into consideration pursuant to Section 65584 of the State Government Code:

- Market demand for housing;
- Employment opportunities;

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- Availability of suitable sites and public facilities;
- Commuting patterns;
- Type and tenure of housing;
- Loss of units in assisted housing developments;
- Over-concentration of lower income households; and • Geological and topographical constraints.

HCD, through a determination process, allocates units to each region across California. It is then up to each region to determine a methodology and process for allocating units to each jurisdiction within that region. SANDAG adopted its Regional Housing Needs Allocation (RHNA Plan) in July 2018. This RHNA covers an 8-year planning period (starting in 2021) and addresses housing issues that are related to future growth in the region. The RHNA allocates to each city and county a “fair share” of the region’s projected housing needs by household income group. The major goal of the RHNA is to assure a fair distribution of housing among cities and counties within the San Diego region, so that every community provides an opportunity for a mix of housing for all economic segments.

Solana Beach’s share of the SANDAG regional growth allocation is 875 new units for the current planning period (2021-2029). **Table 3-113, Housing Needs for 2021-2029**, indicates the City’s RHNA need for the stated planning period.

Income Category (% of County AMI)	Number of Units	Percent
Extremely Low (30% or less) ¹	158	
Very Low (31 to 50%)	316	36.1%
Low (51 to 80%)	159	18.2%
Moderate (81% to 120%)	160	18.3%
Above Moderate (Over 120%)	240	27.4%
Total	875	100.0%

Note 1: Pursuant to AB 2634, local jurisdictions are also required to project the housing needs of extremely low income households (0-30% AMI). In estimating the number of extremely low income households, a jurisdiction can use 50% of the very low income allocation or apportion the very low income figure based on Census data. This number is not additive to the total allocation.
Source: Final Regional Housing Needs Allocation, SANDAG, 2019.

Credits Toward The 2021-2029 Rhna

The current 5th Housing Element cycle covers the reporting period from January 1, 2013 to December 31, 2020. The projection period for 6th cycle Housing Elements, which is the period in which cities within the SANDAG region are permitted to begin attributing development of housing units towards meeting their RHNA need, begins on June 30, 2020. The City is permitted by State law to count any units developed within the projection period prior to adoption of the 2021-2029 housing element towards meeting their RHNA need for the 6th Cycle.

Since June 30, 2020, the City has approved entitlements for 103 total units. **Table 3-142** shows a summary of these units.

Table 3-142: Approved Entitlements Counted as Credit Towards 2021-2029 RHNA

Description	Permit Issued	Affordability Level				Total
		Very Low	Low	Moderate	Above Moderate	
Solana Highlands Multi-family	To be issued		32		30	62
Solana 101 Multi-family	To be issued				25	25
895 Genevieve – ADU Garage Conversion	To be issued			1		1
515 Ford Avenue – New Single-family	To be issued				1	1
521 S. Rios Avenue – New Single-family and ADU	To be issued			1	1	2
984 Avocado Place – New Single-family and ADU	Issued – Date N/A			1	1	2
986 Avocado Place – New Single-family	Issued – Date N/A				1	1
431 Marview Lane – New Single-family	Issued – Date N/A				1	1
970 Avocado Place – New Single-family	Issued – Date N/A				1	1
752 Sonrisa Street – ADU Garage Conversion	Issued – Date N/A			1		1
166 S Nardo Avenue – New ADU	7/30/2020			1		1
200 Marine View Avenue – ADU Guest House Conversion	9/29/2020			1		1
739 N Rios Avenue – New ADU	7/7/2020			1		1
564 N Rios Avenue – New ADU	10/1/2020			1		1
336 S Nardo Avenue – New ADU	9/29/2020			1		1
1103 Santa Rufina Court – ADU Garage Conversion	11/12/2020			1		1
Total		0	32	10	61	103

The Solana Highlands Multi-family project, which includes 32 units available at the low-income level, includes and Affordable Housing Agreement which was approved by the Solana Beach City Council in 2018. That agreement ensures these units are deed-restricted at the low-income level beyond the duration of the planning period.

Adequacy Of Sites For ~~Rhna~~RHNA

Solana Beach has identified sites with a capacity to accommodate 531 lower income dwelling units, which is in excess of its 475-unit lower income housing need. Sites designated are on parcels that permit residential development as a primary use up to 20 dwelling units per acre.

Due to the nature of parcels within the general commercial and special commercial zones, some sites may be smaller in nature. Sites that are smaller than 0.5 acres are shown in the table below and were analyzed to determine their viability to redevelop for residential uses within the planning period. That analysis is described further in Appendix C and summarized here. Table 3-15 shows the sites identified to meet the City of Solana Beach’s lower income RHNA need that are smaller than 0.5 acres and the analysis findings that support their likelihood to redevelop. Additional sites are identified as likely to be consolidated within the City’s Sites Analysis, as shown in Appendix C. Those sites are not listed here as they are individually over the 0.5 acres and may likely develop individually as well.

Table 3-15: Adequacy of Small Sites to Meet RHNA

<u>APN</u>	<u>Address</u>	<u>Parcel Size</u>	<u>Consolidated Site (Shown in HCD Site Inventory Template)</u>	<u>Analysis Findings/Description</u>
2982118100	S Sierra Avenue	0.33	A	This parcel is currently a city-owned parking lot with no existing structures. The Sites Analysis shows this parcel as consolidated with 511 S Highway 101 (APN 2982114000), a fit athletic club for which it currently serves as overflow parking. These parcels are directly adjacent, share an ingress/egress point and the parking is not used for any other adjacent use. As the parcel is City-owned, the City has added control over the future use of this parcel and is interested in developing it for residential uses as indicated in the Housing Element.
2980103200	201 S Highway 101	0.35	C	This parcel as well as the parcel directly adjacent to it (APN 2980103100) are both vacant parcels within the City's downtown core. Both parcels have a common ownership under the Kornberg Family Trust and have no existing structures or developed sections. The properties are in close proximity to a number of multi-family developments which have developed on parcels within similar size, shape, and location.
2980103100	204 S Sierra Avenue	0.43	C	See above description. Parcels are anticipated to be developed together and have been identified as consolidated sites in the City's Sites Inventory.

~~As previously described, the City has a history of developing residential uses within these areas, as demonstrated within this section.~~

The City of Solana Beach has a total 2021-2029 RHNA allocation of 875 units. As demonstrated previously, the City is able to take credit for 89 units currently within the projection period, lowering the total RHNA obligation to 786 units as show in **Table 3-163**. The Housing Element update lists sites, including accessory dwelling units, that can accommodate approximately 916-884 additional units, in excess of the required 786-772 units. As described in this section, the City believes that due recent State legislation and local efforts to promote accessory dwellingliving unit production, the City can realistically anticipate the development of 160-128 ADUs within the 8-year planning period. Overall, the City has adequate capacity to accommodate its 2021-2029 RHNA with a 15% buffer in excess of the City's lower income RHNA need.

Table 3-163: Summary of RHNA Status and Sites Inventory

	Extremely Low/ Very Low Income	Low Income	Moderate Income	Above Moderate Income	Total
2021-2029 RHNA	316	159	160	240	875
RHNA Credit (Units Built)	--	32	10	61	89
Total RHNA Obligations	316	127	150	179	772
Sites Available					
Existing Residentially Zoned Properties	10		44	34	88
Existing Commercially Zoned Properties	486		--	182	668
Total Potential Capacity Based on Existing GP and Zoning	496		44	216	756
Accessory Living-Dwelling Unit Production	3515		117113	--	152128
Total Sites Available	534511		161157	216	908884
Sites Surplus	8868		117	37	136112

4. Development of Non-Vacant Sites and Converting to Residential Uses

The City has designated non-vacant sites, both residentially and non-residentially zoned, to meet the their 6th Cycle RHNA need. The Housing Element considers only parcels that are residentially zoned currently to meet their moderate and above moderate RHNA need. Parcels designated to meet the two remaining categories (very-low and low-income) are on both residentially and non-residentially zoned parcels. The majority of these parcels have existing single-family residential uses on the parcel but have lot sizes and development standards that provide the opportunity for these parcels to subdivide and accommodate additional units while still meeting all of the applicable development standards for that zone.

State law requires that the City analyze:

- the extent to which existing uses may constitute an impediment to the future residential development within the planning period,
- the City’s past experience with converting existing uses to higher density residential uses,
- current market demand for the existing use,
- analysis of leases that would prevent redevelopment of the site,
- development trends,
- market conditions, and
- regulatory or incentives to encourage redevelopment.

Past Experience Developing Non-Vacant Sites for Residential Uses

The following approved projects illustrate the viability of developing non-vacant, non-residentially-zoned sites within Solana Beach. These projects are all zoned either General Commercial (C) or Special Commercial (SC). These zones permit residential development at up to 20 dwelling units per acre. The projects below were developed with a mixture of uses and the square footage of non-residential uses has been provided where available. In all instances, development did not occur at the maximum density due to the presence of other uses, but development was at or near the lowered capacity factor that the City assumed in the sites analysis process. Additionally, it was found that all projects could have achieved the maximum allowable density with the application of current development standards, but instead chose to include non-residential uses.

- ~~636 Valley Avenue – 3 dwelling units~~
- ~~625 Valley Avenue – 2 dwelling units~~
- ~~330 S. Cedros Avenue – 8 dwelling units~~
- ~~343 S. Highway 101 – 25 dwelling units (project currently under construction)~~

Table 3-174X: Example Development of Non-Vacant Sites for Residential Uses

<u>Project Address/ APN</u>	<u>Dwelling Units</u>	<u>Zoning</u>	<u>Use Prior to Redevelopment</u>	<u>Project Analysis</u>
<u>636 Valley Avenue/ 2981333900</u>	<u>3</u>	<u>C</u>	<u>Small single-family residence on a large lot, mostly undeveloped lot.</u>	<u>Project developed 3 residential units and a small commercial component. At 20 du/ac, the project could accommodate 4 dwelling units but opted to only do 3 to incorporate the commercial component. This justifies the City’s adjustment factor shown in Table B-4 in Appendix B</u>

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625 Valley Avenue/ 2981310800	2	C	Commercial dentist offices on a large lot.	Project redeveloped the lot to keep the dentistry office uses and add two residential units at the rear part of the parcel. The parcel. This project had the potential to include additional residential but chose to keep over half of the lot for dentist offices and related parking.
330 S. Cedros Avenue/ 2980761300	8	SC	Commercial nursery with outdoors sales/display areas and a small commercial store structure.	Project developed 8 residential units in addition to ground floor commercial space along Cedros Avenue and additional creative office space for lease within the two story structure. This development could have met the maximum number of residential units but chose to include additional commercial/office space.
343 S. Highway 101/ 2980521400	25	C	Five adjacent parcels consisting of a commercial car repair/autobody shop, vacant mobile home park, vacant residence, and homes converted to office uses.	This 1.95 acre project site consists of 5 parcels in the General Commercial (C) zone that were directly adjacent and consolidated to develop this mixed-use project. The project consists of approximately 52,000 square feet of commercial office, restaurant and dining, and retail space in addition to 25 multi-family residential units. This development could have met the maximum number of residential units permitted within the current zoning but chose to include additional commercial/office space.

Existing Uses on Candidate Sites

Table B-4 shows the existing uses on each of the candidate sites identified to meet Solana Beach’s low and very-low income RHNA need. These sites are largely commercial in nature currently though a broad level analysis shows that a number of the existing retail, restaurant, and gym facilities are either temporarily or permanently closed, likely due to recent economic conditions relating to the impacts of COVID-19. Where known, this has been indicated within the individual parcel analysis. A December 2020 publication in SanDiegoVille listed 115 San Diego restaurants and bars alone that closed in 2020, approximately 15 of which were in Solana Beach and the surrounding coastal cities of Del Mar, Encinitas, and Carlsbad.

Three of the four development examples in **Table 3-17** above were existing commercial uses and all were on parcels zoned commercially. These recent examples demonstrate an uptick in residential development where previously commercial uses existed in Solana Beach.

The City is continuing to outreach to property owners of the identified candidate sites and the development community to collect letters of interest in residential development. Letters received are included within **Appendix A**.

Lease Analysis

Existing lease agreements on infill and non-vacant properties present a potential impediment that may prevent residential development within the planning period. State law requires the City to consider lease terms in evaluating the use of non-vacant sites, however the City does not have access to private party lease agreements or other contractual agreements amongst private parties. As part of the sites analysis for very-low and low-income sites, the City conducted discussions with those property owners who came forward as interested in developing their properties for affordable housing through the planning period.

Regulatory Incentives

Many development projects in infill areas like the Solana Beach commercial corridor utilize density bonus provisions to construct affordable units. The City understands that existing land use policy may not necessarily contribute to the development of housing. Therefore, regulatory incentives can be helpful in bringing housing units to the market.

The Housing Element looks at the ability to sub-divide existing residential parcels into multiple lots as one method to meet the RHNA need. Creating lots by subdividing one lot from another creates the regulatory structure land resources for additional housing development activity.

The City has created programs expressly written to address the potential development of additional regulatory incentives to incentivize the creation of affordable housing.

Current Market Demand for Existing Uses

Social and demographic trends within Solana Beach and the San Diego region as a whole have changed since the adoption of the 5th cycle Housing Element. With those changes come changes in the types of housing needed to serve the existing and future populations. According to draft population forecasts developed by SANDAG (Series 13), the region's population will rise to 4,068,759 million in 2050, from 3,095,313 million in 2010 (31% increase). Current SANDAG modeling anticipates that Senior Citizens (ages 65+) will drastically outpace other age demographic categories. An increasing elderly population presents cities within the San Diego region with a range of potential scenarios in regards to how to adequately house and accommodate for a large portion of the population with potentially limited mobility increased community care needs. These age demographics also typically have fixed or decreasing incomes and may look for senior care facilities or easily walkable communities that decrease dependence on automobiles. During outreach workshops across the region, many senior citizens express the desire to age in place and stay within the communities they have invested in and are comfortable with. This often requires moving to smaller units or other types of senior communities where services and help are readily available.

Another subset of the population to consider is Generation Y, often referred to as millennials. As millennials enter into their late 20s to mid-30s, many show the desire to purchase housing in some form. A 2014 ULI study stated that "fully 70% of Gen Yers expect to be homeowners by 2020, despite the fact that only 26 own today (2014)". (ULI, Gen Y and Housing, 2014) The study goes on to show that 35% of respondents lived in other city neighborhoods (neighborhoods outside of main downtown areas) and 28% lived in suburbs, while only 13% lived within or near downtown areas. This indicates an increasing desire for millennials to live in outlying city neighborhoods or suburbs where housing is still relatively cheaper and there is more opportunity to have larger lots and more space. Solana Beach is largely classified as a suburban community situated between the major downtown areas of San Diego and Los Angeles. If trends continue, millennials will continue to seek out opportunities to live in communities like Solana Beach, though the current high cost of housing and land values may deter some to less expensive areas.

Development Trends

As a coastal community with high land values and limited land resources, Solana Beach has developed into a mostly built-out community with little available developable land. This trend is seen in many of the neighboring North San Diego County cities like Encinitas and Del Mar. Solana Beach's comparatively small size in terms of physical land further constrains the ability to rely on undeveloped or underutilized parcels to meet their RHNA need.

State, regional, and local policy direction promoting the development of housing at all levels to meet existing housing shortages, especially for low-income families, has further driven up the demand for housing. The redevelopment of existing non-vacant land, both in residential and non-residential zones, for multi-family rental and for sale housing provides a realistic opportunity to create affordable housing using the resources available within communities such as Solana Beach.

Many of the proposed sites within the housing element sites inventory involve the redevelopment and revitalization of non-vacant parcels. This development is anticipated to occur in existing commercial corridors where commercial uses may be both supplemented or replaced by needed housing units as traditional retail uses shift to focuses of smaller physical footprints and a larger online presence. This follows a statewide shift in development trends towards infill properties and creating walkable hubs that rely on alternative methods of transportation such as walking, biking, and mass transit.

Development on non-vacant parcels was analyzed to determine a reasonable development capacity based on known constraints and historic development patterns within each of the different zones. [The majority of this development is anticipated to occur in the General Commercial \(C\) and Special Commercial \(SC\) zones. Detailed analysis of the methodology and yield for each site in these zones is described in Appendix X. Table B-4 in Appendix B contains a detailed description of each existing use. Many of the existing uses were found to be similar with recent redevelopment examples in Solana Beach \(shown in Table 3-17\) as well as the regional development trend analysis in this section. Appendix A also includes outreach to property owners and letters of owner support/developer interest for specific parcels identified in the Housing Element.](#)

Accessory Living-Dwelling Unit Production

One of the proposed methods for meeting the City's RHNA at all income levels is through the production of accessory [living-dwelling](#) units (ADUs). A number of State Assembly and Senate Bills were passed in 2018 and 2019 that promote development of ADUs and remove barriers that may inhibit their development within communities. The following is a summary of those bills:

- AB 68 and 881
 - Prohibit minimum lot size requirements
 - Cap setback requirements at 4', increasing the size and location opportunities for ADUs
 - Prohibit the application of lot coverage, FAR, or open space requirements that would prevent an 800 square foot from being developed on a lot
 - Remove the need for replacement parking when converting an existing garage to an ADU
 - Limit local discretion in establishing min and max unit size requirements
 - Mandate a 60 day review period for ADU applications through a non-discretionary process
- SB 13
 - Prohibit owner-occupancy requirements for 5 years
 - Reduce impact fees applicable to ADUs
 - Provide a program for homeowners to delay compliance with certain building code requirements that do not relate to health and safety
- AB 670

- o Prohibits Homeowner’s Associations (HOAs) from barring ADUs

These bills, as well as other significant legislation relating to ADUs creates a development environment that is likely to increase the number of ADUs developed within Solana Beach over the 2021-2029 planning period. Solana Beach, with a large proportion of single-family residential properties (many on larger lots), is well-oriented for the development of ADUs.

As a result of this legislation and an increased effort by the City to promote ADUs, the City ~~saw~~ ~~has seen~~ an increase in ~~approvals~~ ~~applications so far~~ in 2020. The City had 12 ADUs approved for development between January 1, 2020 and December 31, 2020, 2 of which are affordable. HCD guidance states that ADUs may be calculated based on the City’s production since January 1, 2018. In 2018 and 2019, the City of Solana Beach approved 6 and 10 ADUs respectively. ~~Utilizing HCD’s approved strategy for ADU production, the City assumes the average of ADUs permitted from 2018 to 2020, multiplied by 2 for each year of the 2021 to 2020 Planning Period. The City therefore assumes 19~~ ~~The City of Solana Beach has determined based on past performance and HCDs approved methodology that it is appropriate to anticipate the development of 16 accessory~~ dwelling units per year from 2021 to 2029 for a total of ~~452-128~~ ADUs.

~~Solana Beach believes that due to more recent efforts at the local level and further emphasis placed on ADUs through identification of Programs 1B and 1C, the City’s 2020 performance of 12 ADUs permitted from January to September 2020 will be an accurate depiction of the City’s future ADU performance. Additionally, This is supported by the fact that~~ the City received 24 applications for ADUs in 2020. The City is still processing some of these applications, which will likely receive permits early in 2021. In accordance with State law, ADUs are allowed in all zones that allow single dwelling unit or multiple dwelling unit development. Junior Accessory ~~Living-dwelling~~ Units (JrADUs) are permitted only in single dwelling unit zones.

Through the Housing Element, Solana Beach commits to creating an ADU tracking program and performing a mid-cycle assessment of their ADU development performance. As stated in HCD guidance, the City may use other justifiable analysis to calculate anticipated ADU performance.

As part of the sites analysis found within **Appendix B**, the City has accounted for future ADU and JADU production using the City’s 2018, 2019 and 2020 performance to date. This City anticipates ADU development of ~~452-128~~ ADUs over the next 8 years, ~~1535~~ of which are anticipated to be affordable. The ADUs not designated to meet the City’s lower income RHNA need are anticipated to be affordable at the moderate income levels.

F. Financial Resources

Providing an adequate supply of decent and affordable housing requires funding from various sources, the City may have access to the following finding sources.

1. Section 8 Housing Choice Voucher

The Section 8 Housing Choice Voucher program is a Federal government program to assist very low-income families, the elderly, and the disabled with rent subsidy payments in privately owned rental housing units. Section 8 participants are able to choose any housing that meets the requirements of the program and are not limited to units located within subsidized housing projects. They typically pay 30 to 40 percent of their income for rent and utilities. The County of San Diego administers Section 8 Housing Choice vouchers within the City of Solana Beach. The County makes the determination for the number of vouchers available within Solana Beach based on available funding from year to year. This is not determined by the City of Solana Beach.

2. Community Development Block Grants (CDBG)

The Community Development Block Grant (CDBG) program provides annual grants on a formula basis to cities to develop viable urban communities by providing a suitable living environments and by expanding economic opportunities, principally for low- and moderate-income persons (up to 80 percent AMI).

CDBG funds can be used for a wide array of activities, including:

- Housing rehabilitation;
- Lead-based paint screening and abatement;
- Acquisition of buildings and land;
- Construction or rehabilitation of public facilities and infrastructure, and;
- Public services for low income households and those with special needs.

3. HOME Investment Partnership Program (HOME)

The HOME program provides federal funds for the development and rehabilitation of affordable rental and ownership housing for households with incomes not exceeding 80 percent of area median income. The program gives local governments the flexibility to fund a wide range of affordable housing activities through housing partnerships with private industry and non-profit organizations. HOME funds can be used for activities that promote affordable rental housing and homeownership by low income households.

4. Infrastructure and Facilities

As a highly urbanized community, infrastructure facilities are available to serve development throughout Solana Beach. Access to required infrastructure was a consideration in determining the draft candidate sites to meet the City's RHNA need.

Safety Considerations for Development Near Railroad Tracks

The City of Solana Beach follows the guidelines for train safety published by Operation Lifesaver. There are no considerable constraints to development due to the hazards or safety concern caused by the train in Solana Beach. Additional train safety information and guidelines for visitors and residents can be found on the Solana Beach website.

5. Energy Conservation

The primary uses of energy in urban areas are for transportation lighting, water heating, and space heating and cooling. The high cost of energy demands that efforts be taken to reduce or minimize the overall level of urban energy consumption. Energy conservation is important in preserving non-renewable fuels to ensure that these resources are available for use by future generations. There are also a number of benefits associated with energy conservation including improved air quality and lower energy costs. The City of Solana Beach has many opportunities to directly affect energy use within its jurisdiction.

6. Title 24 and Solana Beach Climate Action Plan

Title 24 of the California Administrative Code is a set of requirements for energy conservation, green design, construction maintenance, safety, and accessibility. Title 24 was published by the California Building Standards Code and applies to all buildings in California, not just state-owned buildings. Title 24 regulations and requirements are enforced when an applicant pulls a Building Permit for a proposed project and have plans reviewed or building inspected.

In 2019, the City adopted the Solana Beach Climate Action Plan which sets targets for reducing greenhouse gas, identifies strategies to meet the targets, formulates and implementation plan, and discusses adaptation methods for the City. Green House gas emissions reduction targets for the CAP were established consistent with State guidance as follows, 15 percent below 2010 levels by 2020 and 50 percent below 2010 levels by 2035. The Program also includes strategies to reduce water consumption and waste generation, promote energy efficiency and encourage sustainable transportation alternatives.

7. Solana Energy Alliance

2002, Community Choice Aggregation (CCA) (AB 117) was signed into law. This legislation removed a significant organizational hurdle for local governments interested in providing electricity to their communities. Unlike AB 1890, which required each customer to specifically choose non-IOU service (“opt-in” to the new service), formation of a CCA assumes that all utility customers within the CCA’s boundaries will become CCA customers. However, customers within the CCA’s boundaries may choose to continue their utility service, to “opt-out” of the CCA program. Customers will have, at a minimum, four opportunities to opt-out of the CCA and remain with the CCA at no additional cost during the CCA formation process. Customers that remain in the CCA can switch back to SDG&E at any time in the future.

Unlike a municipal utility, such as the Los Angeles Department of Water and Power or the Sacramento Municipal Utility District, a CCA does not own the transmission and delivery systems (i.e., the poles and wires). Instead, a CCA is responsible for providing the energy commodity (i.e., the electrons themselves) to its constituents—which may or may not entail ownership of electric generating resources. The Investor Owned Utility (IOU), SDG&E, still provides transmission and delivery, maintains the infrastructure and provides billing services (the customer will see no changes in the billing process) in a CCA.

The Value of Forming a CCA

Many communities want to increase the amount of non-polluting, renewable energy they use, and are looking at Community Choice Aggregation as a mechanism for doing so. CCAs have shown to be one of the most significant mitigation measures necessary for communities to reach greenhouse gas reduction targets established by the State.

Local control over retail electric rates is another important motivation for initiating CCA. Investor-owned utilities currently propose service rates for electric generation, transmission and distribution, and the California Public Utilities Commission either approves or rejects these proposals. Under CCA, decisions about rates, generating resources and public benefit programs will be made locally and be accountable to local customers.

The Benefits of CCA

A community will need to present strong incentives for choosing CCA to its potential customers. Many California cities and counties have agreed to reduce greenhouse gas emissions or have other, similar environmental goals. CCAs can help by increasing local consumption of renewable energy.

Local control of electric rates can also allow a community to attract new businesses and retain existing ones by offering targeted incentives to these customers. Other communities may want to develop generation projects that increase local employment. Some may focus on creating income to offset municipal expenditure. And perhaps most importantly, preliminary feasibility studies indicate that CCAs, through the use of local government financing, should be able to reduce electric rates compared with IOUs. This reduction is because private financing costs are more than

twice those of a CCA. Based on a pilot project funded by the California Energy Commission, CCA capital costs were about 5.5%, compared to 12.9% for IOUs.

This capital financing advantage is especially important for high capital, low-operating-cost facilities like renewable energy generation.

The Risks of CCA

The biggest risk is that CCA rates may be higher than utility rates. Well-managed power purchasing and development should mitigate this risk. A well-balanced portfolio of resources that includes short and long-term contracts and CCA financed new generation projects should result in competitive rates.

One way to hedge against volatile energy prices is to create a rate stabilization fund, which many municipal utilities do. This will allow a CCA to hold prices steady, even when fuel prices rise. And there is no fuel cost to generate electricity from wind and solar sources.

Future regulatory decisions could result in cost increases for CCA programs. Most of the decisions about CCA programs have already been made by the CPUC, however. Local governments participated in that process, and their concerns were favorably reflected in those decisions.

G. Affirmatively Furthering Fair Housing (AFFH) Analysis

Beginning January 1, 2019, AB 686 established new requirements for all California jurisdictions to ensure that local laws, programs, and activities affirmatively further fair housing. All Housing Elements due on or after January 1, 2021 must contain an Assessment of Fair Housing (AFH) consistent with the core elements of the analysis required by the federal Affirmatively Further Fair Housing Final Rule of July 16, 2015.

Under State law, affirmatively further fair housing means “taking meaningful actions, in addition to combatting discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity based on protected characteristics. These characteristics can include, but are not limited to race, religion, sex, marital status, ancestry, national origin, color, familial status, or disability.

In May 2015, San Diego County and the San Diego Regional Alliance for Fair Housing completed the Regional Analysis of Impediments (AI) to Fair Housing Choice for FY 2015-2020. The City of Solana Beach is one of thirteen jurisdictional members of the San Diego Regional Alliance for Fair Housing (SDRAFFH). The Regional Alliance for Fair housing is a coalition of fair housing organizations, community-based groups, concerned citizens, representatives of the housing industry, and government agencies working toward the goal of affirmatively furthering fair housing.

The AI identifies impediments that may prevent equal housing access and develops solutions to mitigate or remove such impediments. Solana Beach’s 6th Cycle Housing Element references analysis from the AI in order to identify potential impediments to housing that are specific to the City.

1. Needs Assessment

The AI contains a Countywide analysis of demographic, housing, and specifically fair housing issues for all cities in San Diego County, including Del Mar. The City’s demographic and income profile, household and housing characteristics,

housing cost and availability, and special needs populations are discussed in the Community Profile Section of the Housing Element.

Fair Housing Assessment

The AI identifies impediments to fair housing within jurisdictions in San Diego County. Within the AI, there are several potential constraints that are either directly related to the coastal jurisdictions within San Diego County or to Solana Beach specifically. The following potential constraints are related to analysis within the regional AI:

- High housing cost and affordability of housing in coastal areas
- Low number of loan applications due to the built out character of the community
- Lack of racial diversity
- Residential density constraints
- Low concentration of rent-restricted units
- Existing growth management policies
- Lack of education and outreach

As part of the AI, the County of San Diego surveyed residents to learn more about fair housing issues in each jurisdiction. The County received approximately 1,100 total individual responses, with only 1 response by a resident within Solana Beach. The respondent stated that they believed they were discriminated on the basis of their source of income (e.g. welfare, unemployment insurance, Housing Choice Voucher/Section 8 Voucher). The respondent did not report the incident as they did not know where to report it. There were zero fair housing complaints within Solana Beach filed with the State Department of Fair Employment and Housing (DFEH) between 2009-2014 and one fair housing within Solana Beach filed with the State Department of Housing and Urban Development (HUD).

The Regional AI (2015-2020) provided the following recommendations for the City of Solana Beach. Some of these are in the form of actions that may have been taken by the City since the adoption of the AI.

1. The City should evaluate its definition of family and revise the definition to ensure that it does not constrain the development of housing for persons with disabilities or residential care facilities.
2. Amend the Zoning Ordinance to permit emergency shelters by right in at least one zone to comply with State law
3. Amend its Zoning Ordinance to include provisions for transitional housing, transitional housing, and SRO pursuant to State law.

Local Contributing Factors

The regional AI outlines the following local characteristics which can contribute to fair housing issues in Solana Beach:

- **Housing Age and Condition** – Section 2.X.X of this Housing Element analysis the housing stock within the City of Solana Beach. The analysis found that 46.2 percent of all housing in Solana Beach was built between 1970 and 1978. Only about 4 percent units in Solana Beach built after 2000, and about 2 percent in 2014 or later. From 2019 to 2020 a total of 81 code enforcement reports were filed related to dilapidated properties, property maintenance, and/or substandard living conditions. Similarly, the housing stock in the San Diego region is older, with majority of the housing units (54 percent) built before 1979 and is at least 40 years old. Home rehabilitation can be an obstacle for senior homeowners with fixed incomes and mobility issues.
- **Housing Cost and Affordability** - Section 2.F.5 of this Housing Element analysis the cost and affordability of housing within the City of Solana Beach. The cost of homeownership varies within San Diego County depending on the community. According to the regional AI, in 2019, the median sales price for homes in San Diego County was \$594,909, an increase of 38 percent from 2014. Home prices vary by area/jurisdiction.

with very high median prices in coastal areas such as in Solana Beach where the median cost of a home was \$1,103,900 in 2017, (56% higher than the County median).

Access to Opportunities for Persons with Disabilities - Affordability, design, location, and discrimination limit the supply of housing for persons with disabilities. Amendments to the Fair Housing Act, as well as state law, require ground-floor units of new multifamily construction with more than four units to be accessible to persons with disabilities. However, units built prior to 1989 are not required to be accessible to persons with disabilities. Noted above, more than half of the Solana Beach Housing stock was built prior to 1989 creating challenges to finding adequate and accessible housing for persons with disabilities. **Program 4F** in the **Section 4: Housing Plan** identifies strategies to support reasonable accommodation and increase the opportunity for housing for persons with disabilities.

Fair Housing Enforcement And Outreach Capacity

The Regional AI identifies six workshops that were hosted throughout the County in October and November 2019 to gather input regarding fair housing issues in the region. The locations and dates of the workshops were as follows:

- Central Region: LISC San Diego, San Diego, CA - October 30, 2019
- Eastern Region: El Cajon Police Department, El Cajon, CA - November 6, 2019
- Northern Region: Escondido City Hall, Escondido, CA - November 7, 2019
- Central Region: Valencia Park/Malcolm X Library - November 13, 2019
- Southern Region: Chula Vista City Hall, Chula Vista, CA - November 20, 2019
- Southern Region: MLK Jr. Community Center, National City, CA - November 21, 2019

In addition to the input given by representatives from local organizations in attendance at the community workshops, key stakeholders were contacted for one-on-one interviews about the AI. Participants represented organizations that provide fair housing services and/or complementary and related support services. Additionally, a fair Housing Survey was released throughout the County, available in multiple languages. One survey respondent reported being from Solana Beach; the respondent noted that he/she were decimated against based on source of income and did not file a report because he/she did not know where to file.

Currently, North County Lifeline (NCL) provides fair housing services within Solana Beach. Through Facilitative Mediation, NCL provides tools for dispute resolution in order to resolve conflicts outside of court. For those in need of additional assistance, North County Lifeline also provides a monthly legal clinic to provide legal advice to residents in need of counseling.

The U.S. Department of Housing and Urban Development (HUD) maintains a record of all housing discrimination complaints filed in local jurisdictions. These grievances can be filed on the basis of race, color, national origin, sex, disability, religion, familial status and retaliation. From FY 2014-18 there were a total of 5 fair housing complaints filed, 3 of which were related to discrimination bases on disability, 1 was related to discrimination based on national origin and 1 was related to discrimination based on retaliation. Of the 5 reports filed a total of 4 fair housing cases filed with HUD. Of the 4 cases, 3 concluded as no cause for determination and 1 was successfully settled. The complaints reported equate 1 percent of all complaints filed with HUD in the San Diego Region, as identified by the regional AI.

Racially or Ethnically Concentrated Areas of Poverty (R/ECAP)

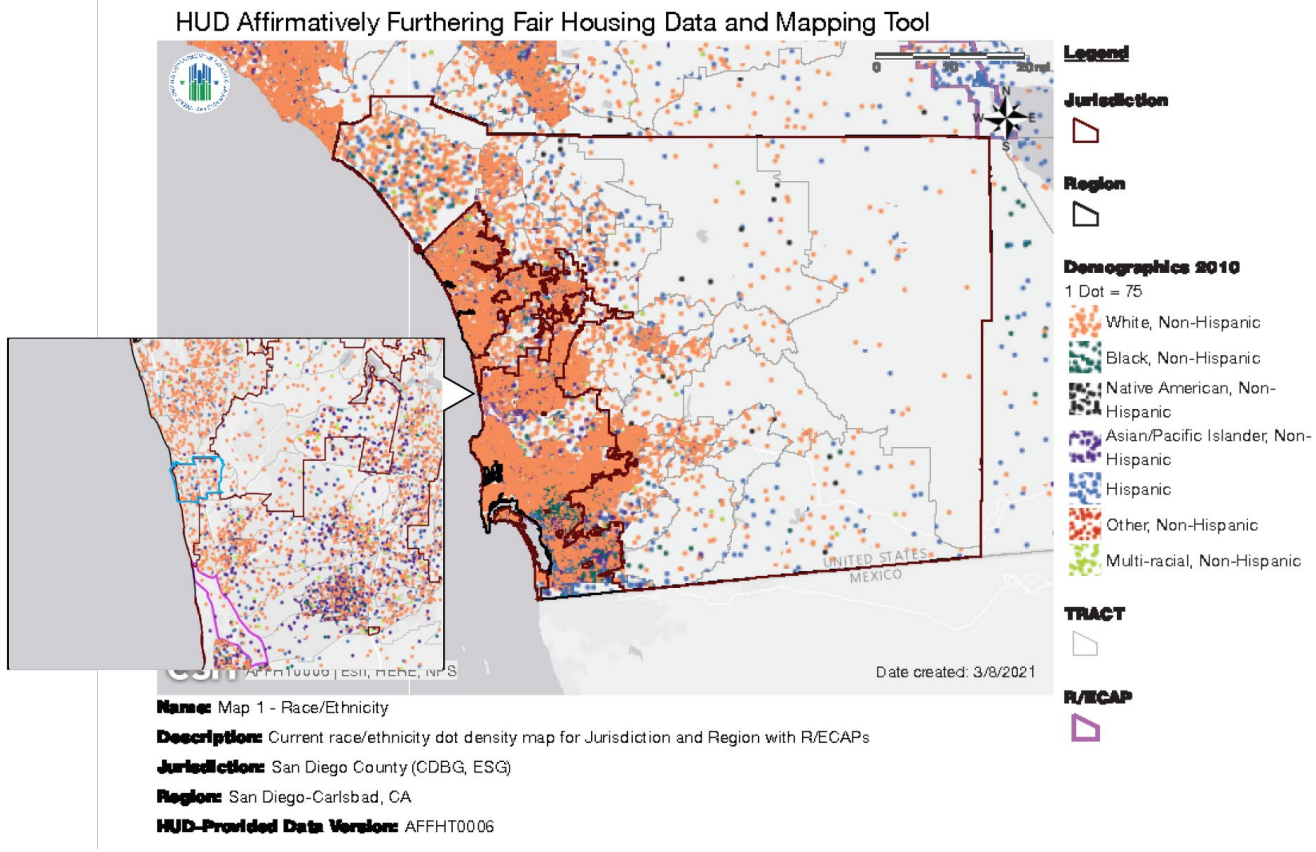
To assist communities in identifying racially/ethnically-concentrated areas of poverty (R/ECAPs), HUD has developed a census tract-based definition of R/ECAPs. The definition involves a racial/ethnic concentration threshold and a poverty test. The racial/ethnic concentration threshold is straightforward: R/ECAPs must have a non-white population

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of 50 percent or more. Regarding the poverty threshold, Wilson (1980) defines neighborhoods of extreme poverty as census tracts with 40 percent or more of individuals living at or below the poverty line. Because overall poverty levels are substantially lower in many parts of the country, HUD supplements this with an alternate criterion. Thus, a neighborhood can be a R/ECAP if it has a poverty rate that exceeds 40% or is three or more times the average tract poverty rate for the metropolitan/micropolitan area, whichever threshold is lower.

The 2015 AI performed an analysis of R/ECAPs within San Diego County and found small pockets within certain jurisdictions. None were located within the City of Solana Beach. Further analysis using the U.S. Department of Housing and Urban Developments R/ECAP GIS mapping tool confirms that all census tracts within Solana Beach have a R/ECAP value of 0, indicating that the census tracts within Solana Beach do not meet the defined parameters for a racially or ethnically concentrated area of poverty as defined by HUD. - Figure 3-2 below displays the results for R/ECAPs within the Solana Beach Region. The map identifies one R/ECAP area to the south of Solana Beach near the University of California, San Diego. The region is 37.13 percent Asian Pacific Islander and 12.2 percent Hispanic Nonwhite. The proximity to the University may be a factor in the areas R/ECAP designation, Section 2.E.8 outlines the City of Solana Beach's student population ; the City is committed to furthering housing options for all demographics.

Figure 3-2: Racially and Ethnically Concentrated Areas of Poverty (R/ECAPs), County of Sand Diego and Solana Beach



Disparities in Access to Opportunity

The UC Davis Center for Regional Change and Rabobank partnered to develop the Regional Opportunity Index (ROI) intended to help communities understand local social and economic opportunities. The goal of the ROI is to help target resources and policies toward people and places with the greatest need to foster thriving communities. The ROI incorporates both “people” and “place components, integrating economic, infrastructure, environmental, and social indicators into a comprehensive assessment of the factors driving opportunity.

The ROI: People is a relative measure of people’s assets in education, the economy, housing, mobility/transportation, health/environment, and civic life as follows:

- **Education Opportunity:** Assesses people’s relative success in gaining educational assets, in the form of a higher education, elementary school achievement, and regular elementary school attendance.
- **Economic Opportunity:** Measures the relative economic well-being of the people in a community, in the form of employment and income level.
- **Housing Opportunity:** Measures the relative residential stability of a community, in the form of homeownership and housing costs.
- **Mobility/Transportation Opportunity:** Contains indicators that assess a community’s relative opportunities for overcoming rural isolation.
- **Health/Environment Opportunity:** Measures the relative health outcomes of the people within a community, in the form of infant and teen health and general health.
- **Civic Life Opportunity:** A relative social and political engagement of an area, in the form of households that speak English and voter turnout.

The ROI: Place is a relative measure of an area’s assets in education, the economy, housing, mobility/transportation, health/environment, and civic life.

- **Education Opportunity:** Assesses a census tract’s relative ability to provide educational opportunity, in the form of high-quality schools that meet the basic educational and social needs of the population.
- **Economic Opportunity:** Measures the relative economic climate of a community, in the form of access to employment and business climate.
- **Housing Opportunity:** Measures relative availability of housing in a community, in the form of housing sufficiency and housing affordability.
- **Health/Environment Opportunity:** A relative measure of how well communities meet the health needs of their constituents, in the form of access to health care and other health-related environments.
- **Civic Life Opportunity:** Measures the relative social and political stability of an area, in the form of neighborhood stability (living in same residence for one year) and US citizenship.

As shown in **Figures 3-32(a and b)** below, the majority of the City of Solana Beach is classified as a high opportunity zone. This indicates a high level of relative opportunities that people are able to achieve as well as a high level of relative opportunities that Solana Beach provides. As such, the analysis indicates that access to opportunity is not a substantial issue within Solana Beach. However, Figure 3-3(b) identifies two regions directly to the south east of Solana Beach considered low and very low resource areas. The data shows low access to housing in both regions as well as low health and environmental opportunities as primary factors in the low/very low resource designation. Being that the City of Solana Beach is a high opportunity region, the City is committing to implementing policies and programs to encourage access to such opportunities to persons residing outside of the City. Program X.X identifies the strategies the City will explore in order to provide opportunity and housing for persons within the Solana Beach/North County San Diego region.

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Figure 3-32(a and b): Regional Opportunity Index, People (Left) and Place (Right), 2014

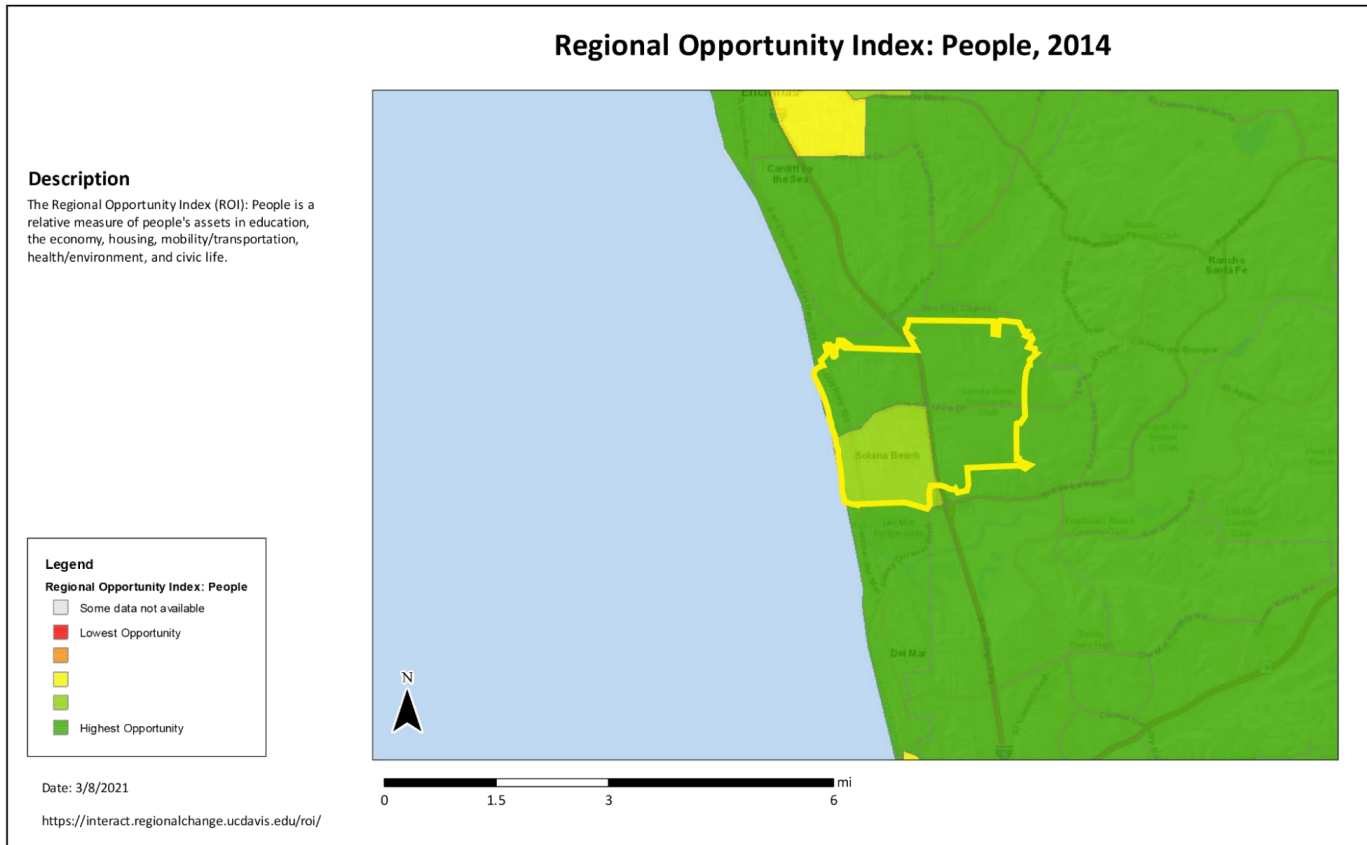
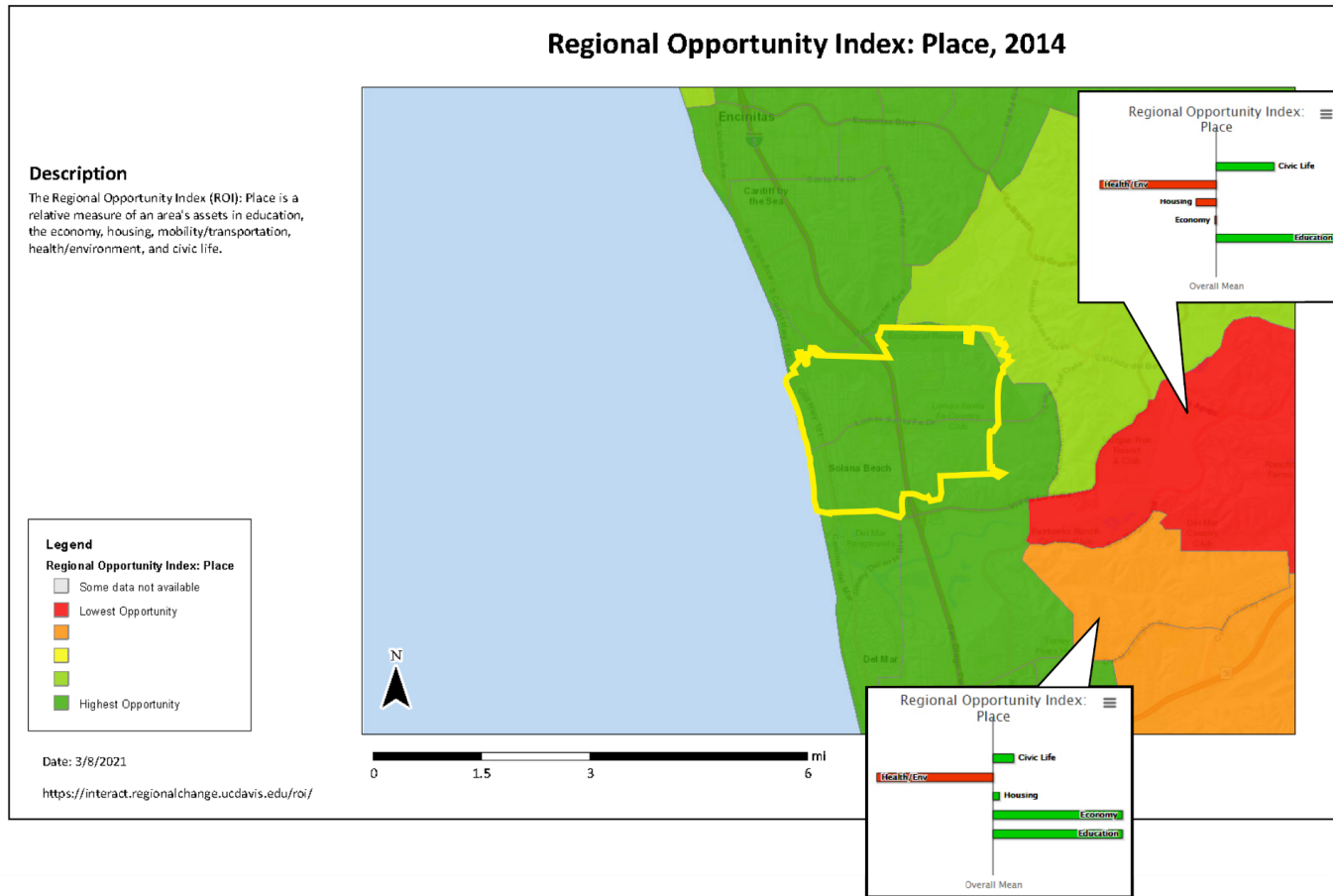
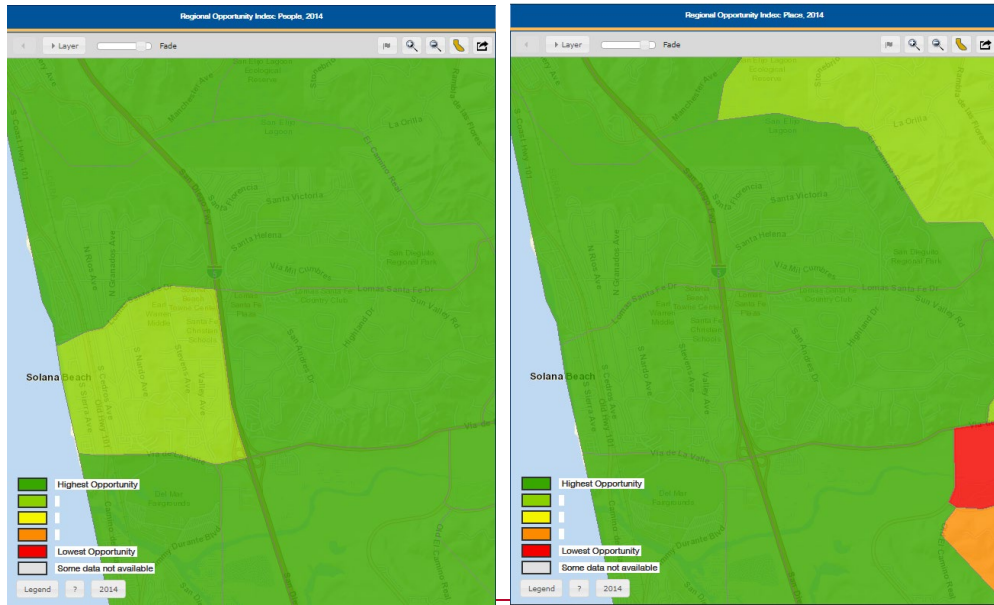


Figure 3-23b): Regional Opportunity Index, Place, 2014



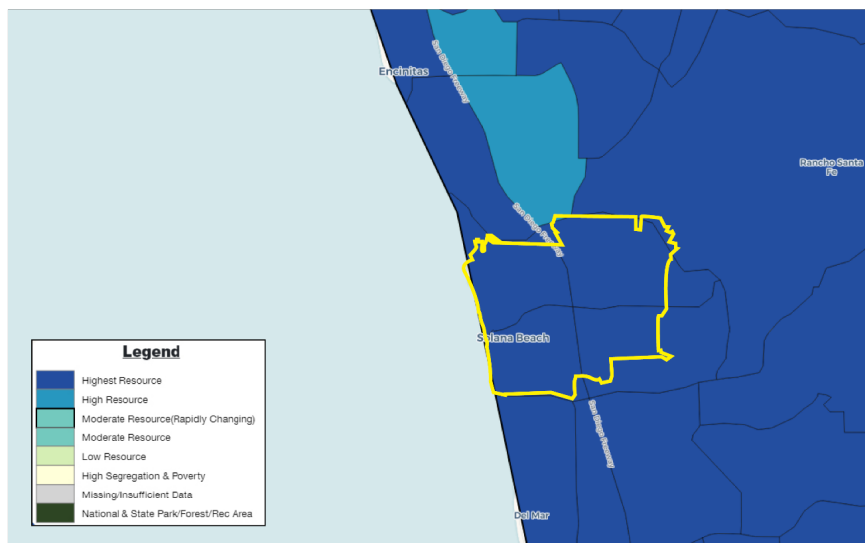
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Additionally, the Department of Housing and Community Development together with the California Tax Credit Allocation Committee established the California Fair Housing Task Force to provide research, evidence-based policy recommendations, and other strategic recommendations to HCD and other related state agencies/departments to further the fair housing goals (as defined by HCD). The Task force developed the TCAC/HCD opportunity Area Maps to understand how public and private resources are spatially distributed. The Task force defines opportunities as pathways to better lives, including health, education, and employment. Overall, opportunity maps are intended to display which areas, according to research, offer low-income children and adults the best chance at economic advancement, high educational attainment, and good physical and mental health.

According to the Task Force’s methodology, the tool allocates the 20 percent of the tracts in each region with the highest relative index scores to the “Highest Resource” designation and the next 20 percent to the “High Resource” designation. Each region then ends up with 40 percent of its total tracts as “Highest” or “High” resource. These two categories are intended to help state decision-makers identify tracts within each region that the research suggests low-income families are most likely to thrive, and where they typically do not have the option to live—but might, if given the choice. As shown in Figure 3-4 below, all of Solana Beach and the surrounding regions are classified as high and highest resource.

Figure 3-4: TCAC/HCD Opportunity Area Maps, Solana Beach (2020)



Opportunity indicators included in the AI also help inform communities about disparities in access to opportunity. HUD-provided index scores are based on nationally available data sources and assess residents’ access to key opportunity assets in San Diego County. These indices are only available to Entitlement Jurisdictions (with population over 50,000 and receiving CDBG funds from HUD). For Urban County jurisdictions for which a HUD-provided index is not provided, a similar analysis as that provided by the indices was conducted using comparable information.

Table 3-185 below displays opportunity indicators based on school proficiency, labor market, and job proximity. The City of Solana Beach has 3 Title I school, which helps low-achieving children meet state standards in core academic subjects. These schools coordinate and integrate resources and services from federal, state, and local sources. To be

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considered for Title 1 school funds, at least 40 percent of the students must be considered low-income. Additionally, the AI showed that for the time period analyzed, the City had an annual unemployment rate of 1.4%, below the County average of 2.8% and lower than the nearby city of Del Mar. Additionally, over 70 percent of jobs were within a 30-minute commute from Solana Beach residents.

Table 3-185: Opportunity Indicator – School Proficiency, Labor Market, Job Proximity

Opportunity Indicator	Solana Beach
School Proficiency	
Total Title I Schools	3
Total Schools	4
% of Schools	75.0%
Unemployment Rate	
Annual Rate	1.4%
Job Proximity	
<29 mins.	70.5%
30-59 mins.	24.6%
60 mins. or more	4.9%
Source: San Diego Regional Analysis of Impediments, American Community Survey 2013-2017, S1701.	

Transit explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. According to the data shown in **Table 3-196**, Solana Beach scored a 5.9 AllTransit performance score, illustrating a moderate combination of trips per week and number of jobs accessible that enable a moderate number of people to take transit to work. In total, 68,617 jobs are accessible within a 30-minute trip from Solana Beach, however just 2.2 percent of commuters use transit. By comparison, Solana Beach scored of the highest alongside Lemon Grove (7.9), Imperial Beach (6.7), and Coronado (6.6), whereas Del Mar (5.1) and Poway (3.1) scored lowest.

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Table 3-196: Opportunity Indicator – Transit

Jurisdiction	All Transit Performance Score	Transit Trips Per Week within 1/2 Mile	Jobs Accessible in 30-min trip	Commuters Who Use Transit	Transit Routes within 1/2 Mile
Solana Beach	5.9	950	68,617	2.02%	3
Source: San Diego Regional Analysis of Impediments, American Community Survey 2013-2017, S1701.					

Discussion of Disproportionate Housing Needs

The analysis of disproportionate housing needs within Solana Beach evaluated existing housing need, need of the future housing population, and units within the community at-risk of converting to market-rate.

Future Growth Need

The City’s future growth need is based on the RHNA production of 316 very-low and 159 low income units within the 2021-2029 planning period. **Figure 3-53** shows that both existing and proposed affordable units are well dispersed throughout the community and do not present a geographic barrier to obtaining affordable housing. The Sites Inventory of this Housing Element shows the City’s ability to meet their 2021-2029 RHNA need at all income levels.

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Appendix B of this Housing Element demonstrates the City's ability to meet its 2021-2029 RHNA need at all income levels. This demonstrates the City's ability to accommodate the anticipated future affordable housing needs of the community.

Displacement Risk

There are no affordable units currently at risk of converting to market-rate within the 2021-2029 planning period.

Assessment of Contributing Factors for Affirmatively Furthering Fair Housing in Solana Beach

The AI does not identify impediments to fair housing specific to Solana Beach, however some of the regional impediments to fair housing identified within jurisdictions in San Diego County may assist Solana Beach in opening the community up to a broader range of future residents. :

- Fair housing information needs to be disseminated through many media forms to reach the targeted groups.
- Hispanics and Blacks continue to be under-represented in the homebuyer market and experience large disparities in loan approval rates.
- Housing choices for special needs groups, especially persons with disabilities and seniors, are limited.
- Fair housing enforcement activities, such as random testing, are limited
- Patterns of racial and ethnic concentration exist in the region, although there are no racially or ethnically concentrated areas of poverty in Solana Beach.

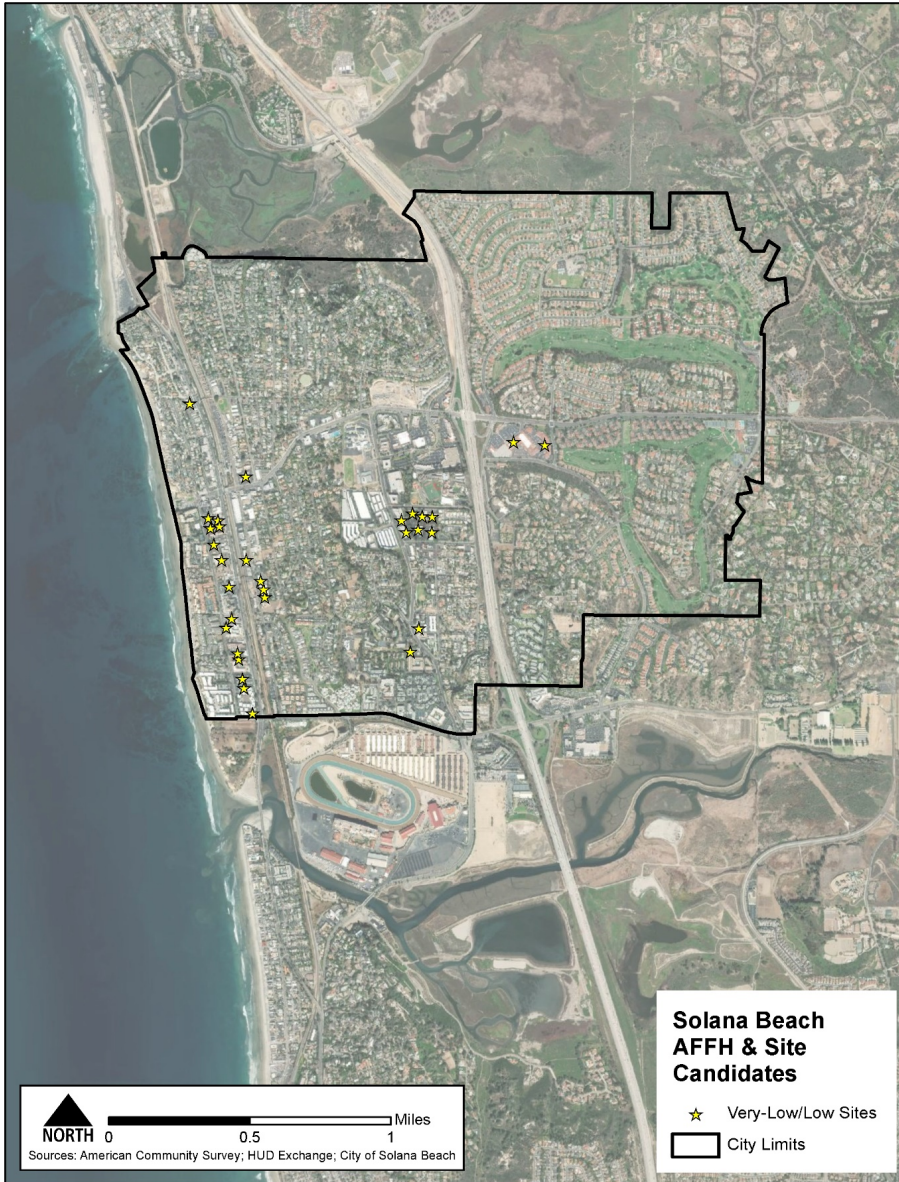
The analysis conducted in this section regarding fair housing issues within Solana Beach yielded the following conclusions:

- There are no racially or ethnically concentrated census tracts (RECAPs) within Solana Beach as identified by HUD within the 2020 County of San Diego Analysis of Impediments (AI). This indicates that there are no census tracts within Solana Beach with a non-white population of 50 percent or more or any census tracts that have a poverty rate that exceeds 40% or is three or more times the average tract poverty rate for the metropolitan/micropolitan area.
- The UC Davis Regional Opportunity Index shows that the majority of residents within Solana Beach have a high level of access to opportunity throughout the majority of the City, with all census tracts showing the highest level of access to opportunity. Additionally, analysis of the TCAC/HCD opportunity Area Maps show that all census tracts in Del Mar are classified with the "Highest Resource" designation. This indicates that these census tracts are within the top twenty percent in the region in terms of areas that lower-income residents may thrive if given the opportunity to live there.
- The City has demonstrated the ability to meet the anticipated future affordable housing needs of the community through the designation of sites to meet the very-low and low income RHNA need (**Appendix B**). These sites are dispersed throughout the community.
- [City to confirm status of at-risk units prior to HCD submittal]

Analysis of Sites Pursuant to AB 686

AB 686 requires that jurisdictions identify sites throughout the community in a manner that is consistent with its duty to affirmatively further fair housing. The site identification requirement involves not only an analysis of site capacity to accommodate the RHNA, but also whether the identified sites serve the purpose of replacing segregated living patterns with truly integrated and balanced living patterns, transforming racially and ethnically concentrated areas of poverty into areas of opportunity.

Figure 3-53: Existing and Proposed Affordable Housing Locations in Solana Beach



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Figure 3-63 shows the proposed candidate sites to meet the very-low and low income RHNA for Solana Beach in relation to the location of residents of Hispanic origin. The City of Solana Beach is relatively small in size with the majority of housing opportunity areas, including areas with higher access to vital goods, services, and public transportation, are located within the downtown areas. As such, these are ideal areas for the City to focus much of its future housing growth. It is anticipated that accessory living-dwelling unit growth, including growth for affordable ADUs, will occur in the less dense areas of the community.

Figure 3-64 shows the following findings:

- 18 proposed (totaling 138 potential units, or 26.1% of the total potential units) sites to accommodate the Low and Very Low RHNA allocation are located within block groups that have a percentage of the population that identifies as Hispanic greater than 13 percent
- 2 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 69 potential units, or 13.0% of the total potential units) are located within block groups that have a percentage of the population that identifies as Hispanic between 10 percent and 13 percent
- 27 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 322 potential units, or 60.9% of the total potential units) are located within block groups that have a percentage of the population that identifies as Hispanic between 7 percent and 10 percent

The data shows that the proposed candidate sites to meet the very-low and low income RHNA need are evenly dispersed throughout the community with an emphasis on locating units where there is a high level of access to important public services and transit. As shown in **Figure 3-64**, the distribution of proposed units does not disproportionately impact areas with larger concentrations of the Hispanic population.

Figure 3-64: Candidate Sites – Ethnicity Analysis

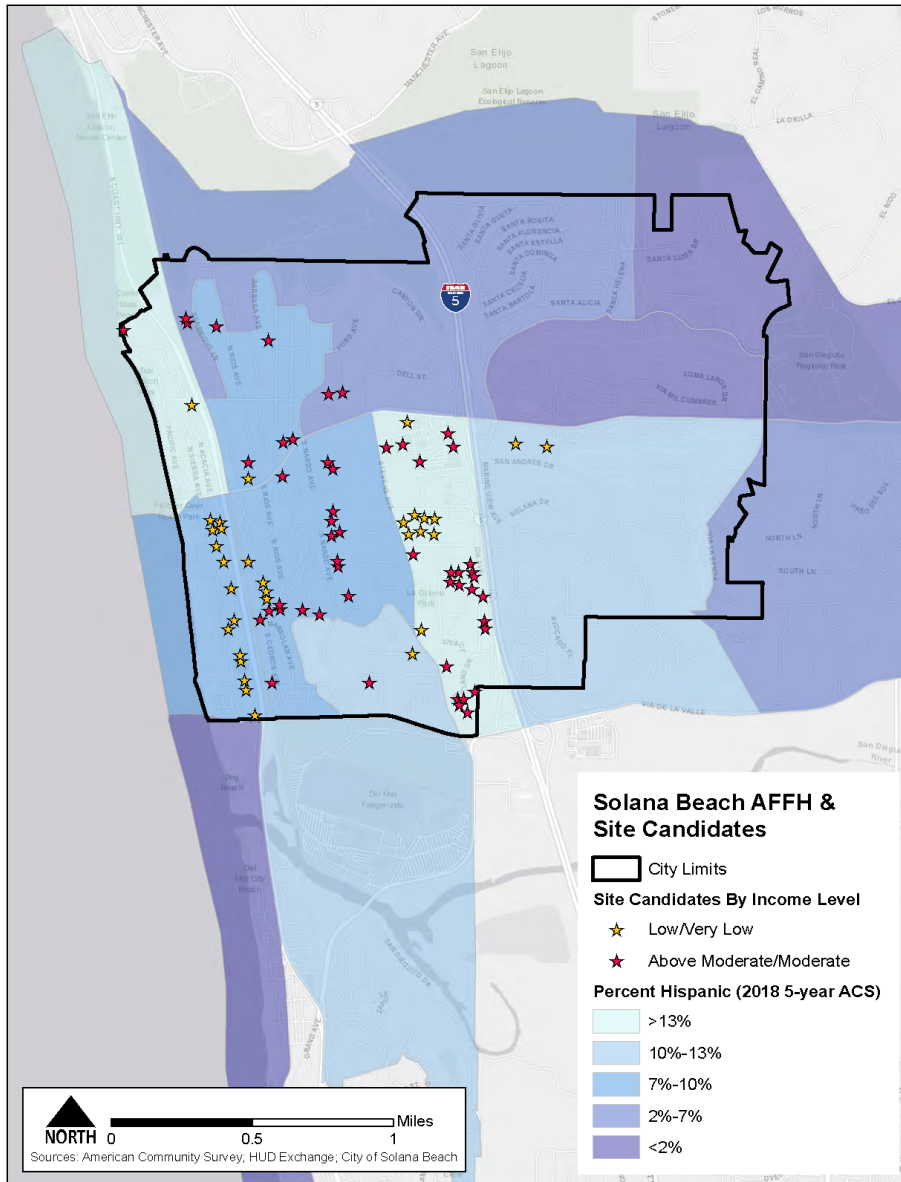


Figure 3-75 shows location of proposed candidate sites to meet the very-low and low income RHNA for Solana Beach in comparison with census data showing the percentage of the population within each block group that is non-white.

Figure 3-75 shows the following findings:

- 19 proposed (totaling 242 potential units, or 45.7% of the total potential units) sites to accommodate the Low and Very Low RHNA allocation are located within block groups that have a percentage of the population that is non-white greater than 10 percent
- 11 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 214 potential units, or 40.5% of the total potential units) are located within block groups that have a percentage of the population that is non-white between 5 percent and 10 percent
- 7 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 52 potential units, or 9.8% of the total potential units) are located within block groups that have a percentage of the population that is non-white between 4 percent and 5 percent
- 10 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 21 potential units, or 4.0% of the total potential units) are located within block groups that have a percentage of the population that is non-white between 1 percent and 4 percent

The data shows that the proposed candidate sites to meet the very-low and low income RHNA need are evenly dispersed throughout the community with an emphasis on locating units where there is a high level of access to important public services and transit. As shown in **Figure 3-75**, the distribution of proposed units does not disproportionately impact areas with larger concentrations of Non-white populations.

Figure 3-75: Candidate Sites – Racial Analysis

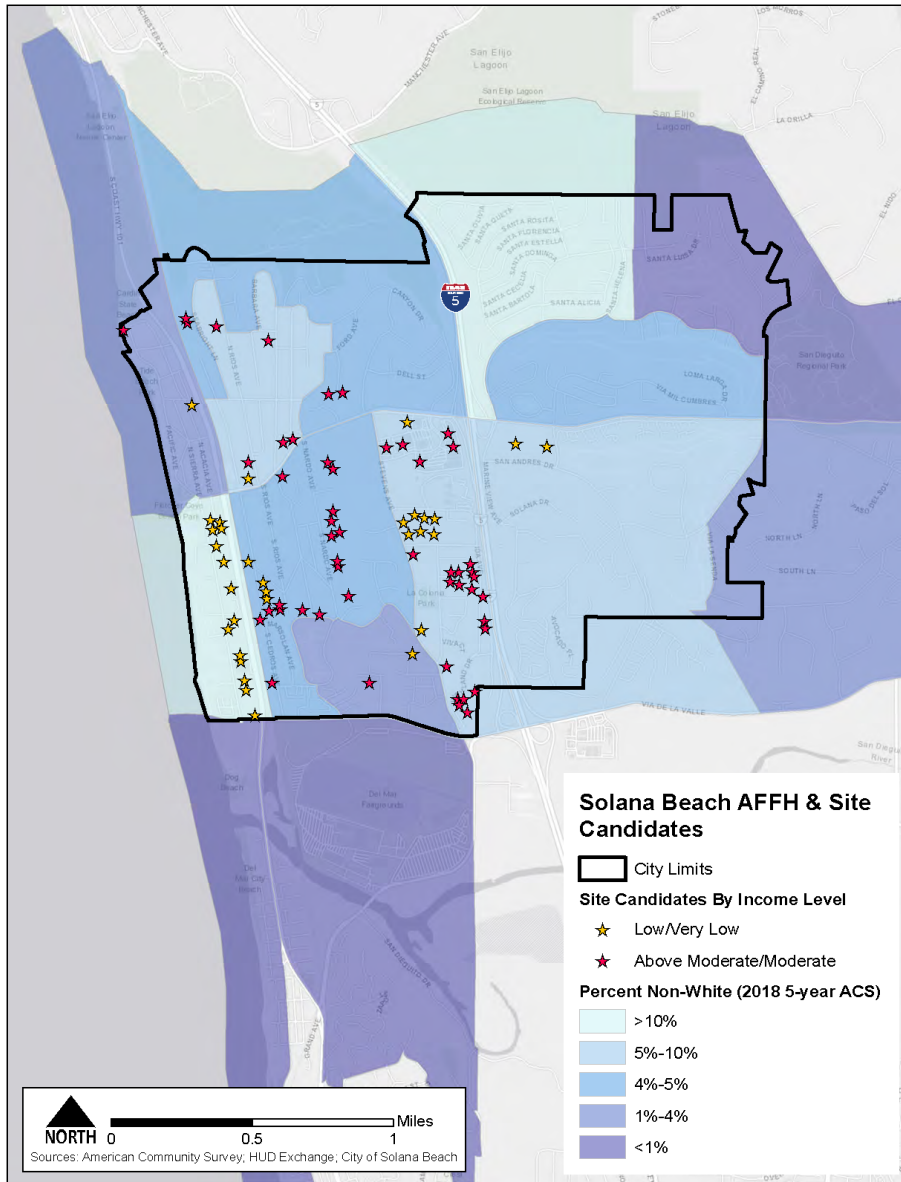


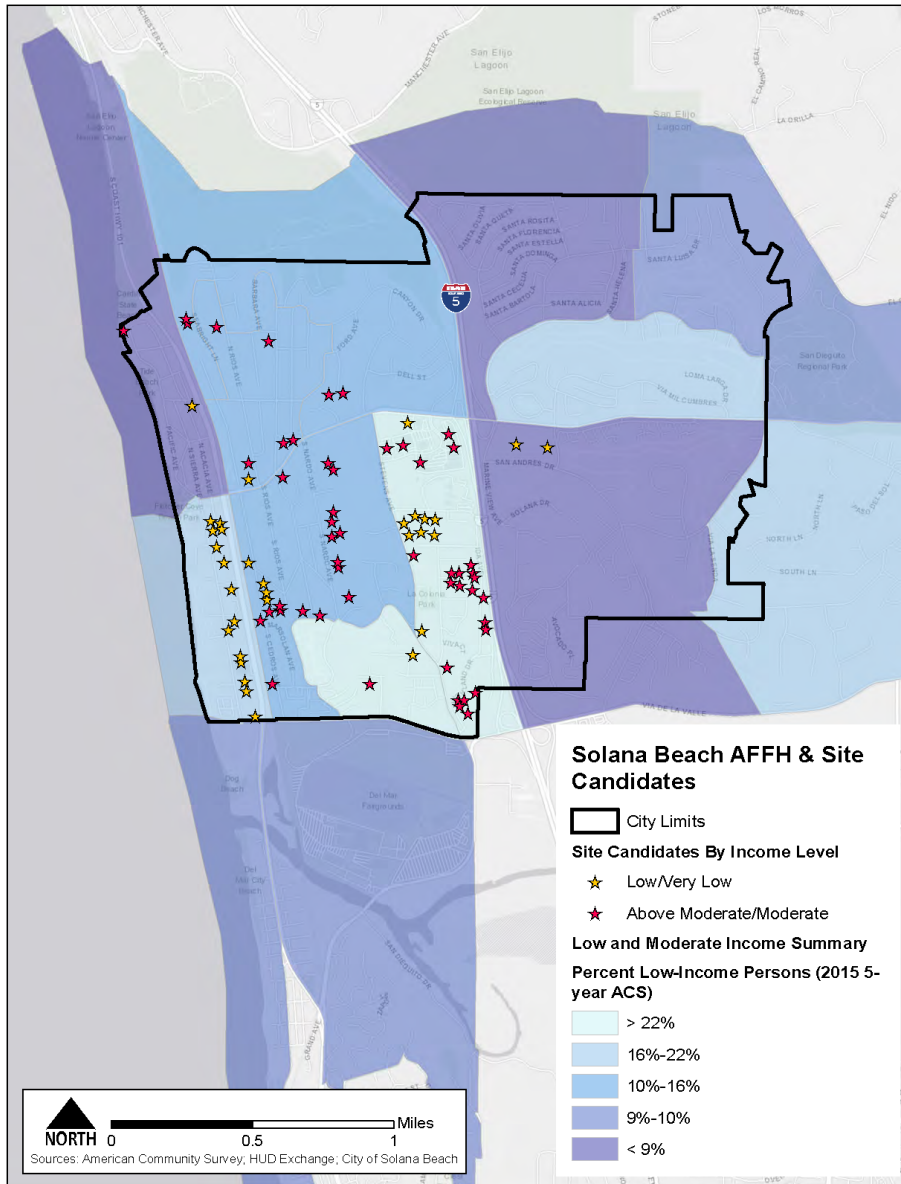
Figure 3-8 shows location of proposed candidate sites to meet the very-low and low income RHNA for Solana Beach in in comparison with census data showing the percentage of the population within each block group who is categorized as low income by the American Community Survey.

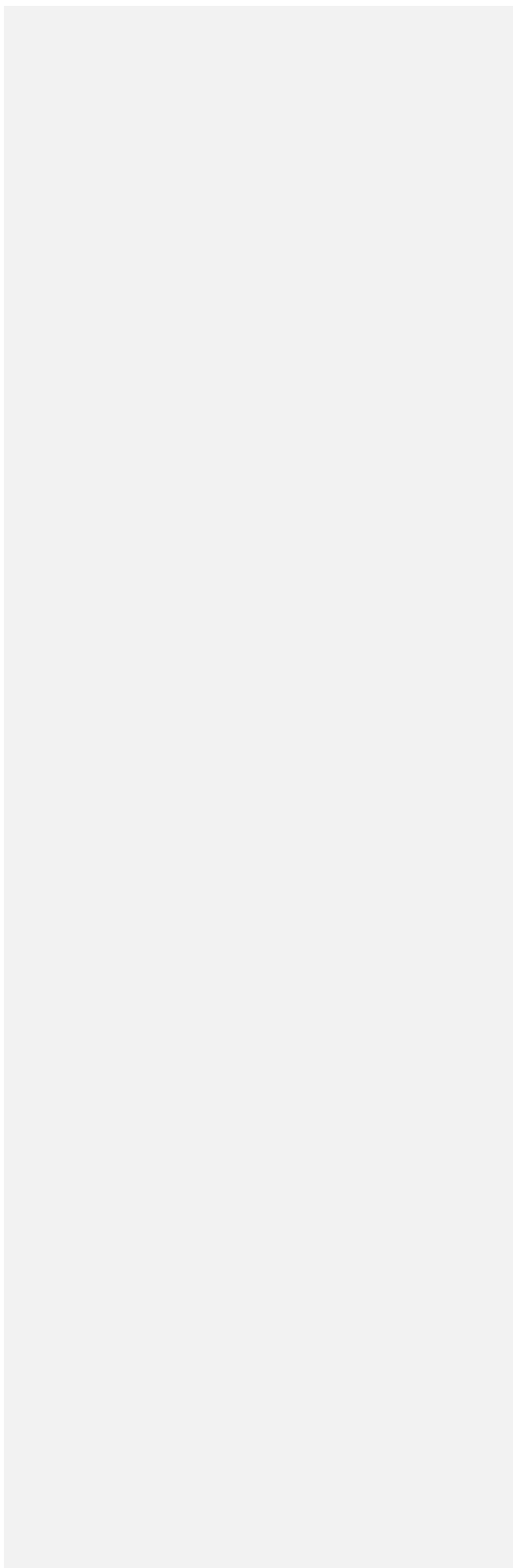
Figure 3-8 shows the following findings:

- 10 proposed (totaling 129 potential units, or 17% of the total potential units) sites to accommodate the Low and Very Low RHNA allocation are located within block groups that have a percentage of the population that is low income greater than 22 percent.
- 14 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 186 potential units, or 24% of the total potential units) are located within block groups that have a percentage of the population that is low income between 16 and 22 percent.
- 5 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 62 potential units, or 8% of the total potential units) are located within block groups that have a percentage of the population that is low income between 10 and 16 percent.
- 3 proposed sites to accommodate the Low and Very Low RHNA allocation (totaling 21 potential units, or 18% of the total potential units) are located within block groups that have a percentage of the population that is low income less than 10 percent.

The data shows that the proposed candidate sites to meet the very-low and low income RHNA need are evenly dispersed throughout the community with an emphasis on locating units where there is a high level of access to important public services and transit. As shown in **Figure 3-8**, the distribution of proposed units does not disproportionately impact any specific regions within the community as well as provided increased opportunities for low income housing in areas with higher rates of low income persons.

Figure 3-8: Candidate Sites – Income Level





Summary of Fair Housing Analysis

The City of Solana Beach is identified as a high resource area with increased economic, civic life, health, and transit opportunities and access. The existing demographic of the community of Solana Beach are higher income residents which can be attributed to the high opportunities of the area. The City of Solana Beach also has a high tourist seasons and offers a variety of retail and tourist based economic opportunities. The City is committed to creating channels to open opportunities to residents in surrounding communities, especially those who work in Solana Beach. Discuss overall pattern and magnitude of sites relative to the number of existing households.

Analysis of Fair Housing Priorities and Goals

The City is committed to furthering fair housing through the implementation of several policies located within the City’s Housing Plan. The primary method for this is through identifying sites which can accommodate the City’s very-low and low income RHNA need, as demonstrated in **Appendix B**. Other programs that affirmatively further fair housing include:

- **Program 1B**, to promote the development of accessory living-dwelling units and junior accessory dwelling living units;
- **Program 1D**, to establish a program to convert existing, non-permitted accessory dwellingliving units to legal units;
- **Program 1E**, to continue to implement the City’s affordable housing ordinance;
- **Program 4B**, to update the City’s Municipal Code to permit emergency, transitional, and supportive housing as a matter of right in appropriate zoning districts per State law;
- **Program 4C**, to accommodate development that provides housing opportunities for residents with physical and developmental disabilities; and
- **Program 4D**, to work with the San Diego County Housing Authority to administer Section 8 Rental Assistance.

The City will monitor the effectiveness of these programs annually through the completion of their Annual Progress Reports (APRs).

H. Evaluation of Previous Housing Element

The Housing Element must analyze the City’s accomplishments during previous Housing Element planning periods. This section describes the City’s progress in implementing the 2013 – 2021 Housing Element; the effectiveness of the Element; and the appropriateness of the Element’s goals, objectives, and policies. It evaluates the City’s progress in two contexts: 1) the City’s progress towards meeting Coastal Zone requirements; and, 2) the City’s success in meeting its housing goals and program objectives. The second part of the analysis is included within **Appendix A** of the Housing Element as indicated below.

1. Evaluation of Progress towards Meeting Coastal Zone Requirements

Table 3-20: Residential Development in Coastal Zone (1986 – 2019)

<u>Residential Development in the Coastal Zone</u>	<u>1986-1991</u>	<u>1991-1999</u>	<u>1999-2004</u>	<u>2005-2011</u>	<u>2011-2019</u>
<u>New Construction</u>	<u>86</u>	<u>51</u>	<u>37</u>	<u>82</u>	<u>71</u>

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<u>New Low- and moderate-income housing</u>	<u>1</u>	<u>4</u>	<u>5</u>	<u>9</u>	<u>20</u>
<u>Demolished/converted low-and moderate-income housing</u>	<u>4</u>	<u>13</u>	<u>0</u>	<u>0</u>	<u>0</u>
<u>Replacement low- and moderate-income housing</u>	<u>0</u>	<u>0</u>	<u>5</u>	<u>0</u>	<u>0</u>

2. Evaluation of Adopted Housing Element Goals and Programs

Appendix A of the Housing Element describes the City's progress in meeting the goals and policies of the latest adopted Housing Element; evaluates the effectiveness of each program; and describes the appropriateness of the goals, policies, and objectives. The results of this review and assessment were used to revise and update the proposed programs for 2021-2029 as described in **Section 4**.

3. Quantified Objectives in Past Housing Element Cycles

Housing Element law required that quantified objectives be developed with regard to new construction, rehabilitation, conservation and preservation activities that will occur during the 2013-2021 Housing Element cycle. **Table 3-21** summarizes the City of Solana Beach's quantified objectives for the 2013-2021 Housing Element, **Table 3-22** summarizes the City's actual accomplishments in construction, and **Table 3-23** summarizes the City's accomplishments in housing rehabilitation.

Table 3-21: Historical Quantified Objectives (2013-2021 Planning Period)

<u>Income Level</u>	<u>New Construction</u>	<u>Rehabilitation</u>	<u>Conservation/Preservation</u>
<u>Extremely Low Income</u>	<u>43</u>	<u>3</u>	
<u>Very Low Income</u>	<u>42</u>	<u>2</u>	
<u>Low Income</u>	<u>65</u>		<u>1</u>
<u>Moderate Income</u>	<u>59</u>		
<u>Above Moderate Income</u>	<u>131</u>		
<u>Total</u>	<u>340</u>	<u>5</u>	<u>1</u>

New Construction

Table 3-22 shows the City's progress in new construction through the end of 2019.

Table 3-22: Actual Units Constructed (2013-2021 Planning Period)

<u>1/1/2013 – 12/31/2019</u>	<u>Regional Share Goal</u>	<u>New Construction</u>
<u>Extremely Low</u>	<u>43</u>	<u>0</u>
<u>Very Low</u>	<u>42</u>	<u>0</u>
<u>Low</u>	<u>65</u>	<u>6</u>
<u>Moderate</u>	<u>59</u>	<u>14</u>
<u>Above Moderate</u>	<u>131</u>	<u>51</u>
<u>Total</u>	<u>340</u>	<u>71</u>

Rehabilitation

Add Solana Mar rehabilitated

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Table 3-23: Actual Rehabilitated Units (2013-2021 Planning Period)

<u>1/1/2013 – 12/31/2019</u>	Rehabilitation
<u>Extremely Low</u>	
<u>Very Low</u>	
<u>Low</u>	
<u>Moderate</u>	
<u>Above Moderate</u>	
Total	

Conservation

The City of Solana Beach identified two existing affordable units at-risk of converting to market rate during the current and future housing cycles. One of those units (North Helix) converted to market-rate during the 5th Cycle. The City engaged with the property owner of this unit to determine if a new affordability agreement could be put in place, but due to a lack of funding to assist the property owner and the property owner’s lack of interest in maintaining the affordability on the unit, an agreement was not reached. The other unit identified was not at-risk during the 2013-2021 planning period.

Section 4: Housing Plan

The Housing Plan describes the City of Solana Beach’s 2021-2029 policy program. The Housing Plan describes the specific goals, policies, and programs to assist City decision makers to achieve the long-term housing objectives set forth in the Solana Beach Housing Element. This Plan identifies goals, policies, and programs aimed at providing additional housing opportunities, removing governmental constraints to affordable housing, improving the condition of existing housing, and providing equal housing opportunities for all residents. These goals, policies, and programs further the City’s overall housing policy goal to Inspire a more diverse, sustainable, and balanced community through implementation of strategies and programs that will result in economically and socially diversified housing choices that preserve and enhance the special character of Solana Beach.

Regional Housing Needs Assessment

The San Diego Association of Governments (SANDAG) has conducted a Regional Housing Needs Assessment (RHNA) to determine the City’s share of the affordable housing needs for the San Diego region. The RHNA quantifies Solana Beach’s local share housing needs for the region by income category. Income categories are based on the most current Median Family Income (MFI) for San Diego County. The City’s 2021-2029 RHNA growth need is as follows:

- 316 units - Extremely low (less than 30% County MFI(< \$21,176)) and Very low income (0-50% County MFI(< \$35,294))
 - 159 units - Low income (51-80% of County MFI (\$35,294-\$56,470))
 - 160 units - Moderate income (81-120% of County MFI(\$56,470-\$84,706))
 - 240 units - Above moderate income (120% or more of County MFI >\$84.706)
- 875 units - Total**

A. Housing Goals

The City of Solana Beach has identified the following housing goals as part of this Housing Element Update:

Housing Goal #1: A range of housing strategies to accommodate Solana Beach’s share across all income levels.

Housing Goal #2: Preserve and enhance the existing community and neighborhood quality and character.

Housing Goal #3: Reduce or eliminate constraints to the development, improvement, preservation, and maintenance of housing.

Housing Goal #4: Equal opportunities to access housing for all persons regardless of age, race, religion, sex, marital status, sexual orientation, ancestry, national origin, or disability.

Housing Goal #5: A sustainable approach to new and existing residential and mixed-use development through increased energy conservation and waste reduction.

The goals listed above are described below and on following pages with accompanying policies and programs to achieve them.

B. Housing Policies and Programs

This Housing Element expresses the Solana Beach community’s overall housing goals and supporting policies, quantified objectives, and housing programs to achieve them. The stated Housing Programs are based on a review of past performance of the prior Housing Element, analysis of current constraints and resources, and input from Solana Beach residents and stakeholders.

Housing Goal #1: A range of housing strategies to accommodate Solana Beach’s share across all income levels.

Housing Policy 1.1: Maintain sufficient land designated and appropriately zoned for housing to achieve a complimentary mix of single-family and multi-family development to accommodate Solana Beach’s Regional Housing Needs Assessment (RHNA) growth needs throughout the planning period.

Housing Policy 1.2: Promote a variety of tenures, unit types, and locations of housing throughout the community.

Housing Policy 1.3: Encourage mixed-use development opportunities.

Housing Policy 1.4: Encourage the consolidation of adjacent parcels to facilitate multi-family residential development.

Housing Policy 1.5: Encourage development of local housing opportunities to serve the needs of the local workforce and their families.

Housing Policy 1.6: Encourage the production of Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) through incentivizing and streamlining development.

Housing Goal 1 - Implementing Programs

Housing Program 1A: Mixed-Use Development on Commercially-Zoned Sites

Due to the built-out nature of Solana Beach, there are very few vacant/underutilized residentially-zoned parcels in the City. The City is reliant upon vacant/underutilized commercial sites that can accommodate mixed-use

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development as a way to facilitate additional housing opportunities and permits mixed-use developments in all commercial zones. Solana Beach has two commercial zoning classifications that permit development at 20 dwelling units per acre, the City's default density for accommodating lower income housing development. As part of this Housing Element, the City has identified potential sites that are suitable for mixed-use development.

The City will consult with developers early in the planning period to ensure that its development standards encourage mixed-use development. To the extent possible, the City will also identify possible actions to shorten the permitting process for mixed-use development such as through the use of CEQA exemptions for infill projects. The program will continue to be annually reviewed in the annual housing report.

<p>Timeframe: Within 24 months of adoption of the 6th cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>

Housing Program 1B: Promotion of Accessory Dwelling Unit (ADU) and Junior Accessory Dwelling Unit (JADU) Development

The City updated the Solana Beach Municipal Code to incorporate provisions of new State ADU law which expands where ADUs and JADUs can be constructed and removes barriers to the development of these units. ADU production has increased since incorporation of these new provisions and the City anticipates that ADUs will factor heavily into assisting the City in meeting their RHNA needs, as described in the Housing Resources section of this Housing Element.

The City will continue to incentivize and promote the construction of Accessory Dwelling Units, especially those that may be leased at affordable rates. Currently, Section 17.70.060 of the Solana Beach Municipal Code states that "The city manager is authorized to reduce city development impact fees by 75 percent for accessory dwelling units (ADU) processed consistent with SBMC 17.20.040(D), provided that a deed restriction for state law affordability provisions is recorded for the term of 99 years. (Ord. 500 § 5, 2019). The City will continue to provide this incentive to residents and The City will develop outreach collateral for public dissemination, including updates to the City's website, information at City Hall and via other appropriate print and digital media. The intent of this is to make sure residents are aware of this incentive and have information readily available that may ease the development of ADUs at affordable levels.

<p>Timeframe: Ongoing Within 12 months of adoption of the 6th cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>
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Housing Program 1C: Create ADU Monitoring Program

The City will create a monitoring program to track ADU and JADU creation and affordability levels throughout the planning period. This will allow the City to monitor the development of accessory units at all income levels. Additionally, the City will review their ADU and JADU development progress within 2 years of the adoption of the 6th cycle Housing Element to evaluate if production estimates are being achieved. If the number of building permits issued for ADUs are 20% short of what was estimated in the Housing Element, the City will take the action within 6 months of completion of the ADU review to ensure that adequate capacity at each income level in maintained to meet the City's RHNA needs. These actions may include identification of adequate sites to meet the City's identified unaccommodated need.

<p>Timeframe: Within 24 months of adoption of the 6th cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>

Housing Program 1D: Conversion Program of Existing, Non-Permitted Accessory Dwelling Units

The City will continue to implement its illegal unit conversion program. This program allows homeowners with existing illegally established accessory dwelling units to legal, permitted status. The City is not aware of any units in need of conversion at the start of the planning period and is unable to specify a target number of units to convert.

<p>Timeframe: Ongoing Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>
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Housing Program 1E: Affordable Housing Program

The City will continue to implement its affordable housing ordinance as outlined in the Solana Beach Municipal Code. The purpose of this ordinance is to assist the City in meeting its share of the regional housing needs, to implement the City's General Plan and Housing elements relative to the provision of housing units for all economic sectors of its population, and to require affordable housing in both rental and for-sale housing consistent with provisions of the California Government Code. The City will monitor this program to identify any potential constraints and make any necessary adjustments to the ordinance to facilitate successful implementation of this program.

<p>Timeframe: Ongoing Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>
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Housing Program 1F: Candidate Sites Used in Previous Housing Elements

Pursuant to State Housing law, candidate sites identified in this Housing Element to accommodate a portion of the City's low- and very low -income RHNA that were identified in previously adopted Housing Elements must be rezoned to allow residential use by right at specified densities for housing developments in which at least 20 percent of the units are affordable to lower income households. By right shall mean the jurisdiction may not require any of the following discretionary actions, except if the project requires a subdivision:

- A conditional use permit
- A planned unit development permit
- Other discretionary, local-government review or approval that would constitute a "project"

The City may impose objective design review standards on projects. The City has identified as part of this Housing Element update vacant and nonvacant sites that were used in previous Housing Elements to meet the current RHNA need. To accommodate the provisions of State law, the City shall place a housing overlay zone over all nonvacant sites included in a prior Housing Element and all vacant sites included in two or more consecutive planning periods that permits by right development for projects that meet the requirements of State housing law. These sites are identified in **Appendix B**.

<p>Timeframe: Within 36 months of adoption of the 6th Cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>

Housing Program 1G: Federal and State Funding Programs

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The City will review federal and state housing financing and subsidy programs for their potential availability to Solana Beach. If the programs could be reasonably thought to be available to Solana Beach, the City would work with the appropriate developers and non-profits to support feasible funding application(s). This program also will entail the provision of City staff assistance to developers of housing for lower income housing and assessing the potential to match their projects to applicable federal and state programs. Included in this assistance would be pre-application meetings and helping the applicant with identifying potential approaches to address design and site requirements.

<p>Timeframe: Ongoing/Annually Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>

Housing Program 1I: Manufactured Housing

State law (Government Code Section 65852.3) requires that the city’s zoning code allows and permits manufactured housing in the same manner and in the same zone as conventional structures are permitted. Specifically, manufactured homes should only be subject to the same development standards that a conventional single-family residential dwelling on the same lot would be subject to. In order to comply with State law, the City will amend the Solana Beach Municipal Code to define manufactured housing and mobile homes consistent with State law and identify the zone(s) where such housing is permitted. The City will also ensure that the requirements for manufactured homes is the same as a conventional single-family dwelling unit in the same zone.

<p>Timeframe: Within 24 months of adoption of the 6th Cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Sources: General Fund</p>

Housing Program 1J: Update Density Bonus Ordinance

Government Code Section 65915 requires that a jurisdiction adopt a local Density Bonus Ordinance consistent with State law. State Density Bonus Law requires a local jurisdiction to grant an increase in density, if requested by a developer, for providing affordable housing as part of a development project. Key provisions of the law include incremental density bonuses that correspond to the percentage of housing set aside as affordable units. State law caps the maximum density bonus at 35 percent and allows the developer to request up to three incentives or concessions, if required to provide the affordable units. The law also provides reduced parking requirements and allows requests for waivers of development standards, such as increased height limits and reduced setback requirements. The developer must provide reasonable documentation demonstrating that incentives reduce costs to provide for affordable units; and that waivers are required because the usual standards physically preclude the project from achieving the allowed density and incentives.

To comply with State Density Bonus law, the City will amend the ordinance as needed to ensure that its local ordinance remains consistent with State law, but will apply current state law even before local amendments are adopted. The City commits to continue to review and approve requests under State Density Bonus Law (including requests for incentives, concessions, waivers, and parking reductions) so that projects that qualify are not prevented from developing at the densities to which they are entitled.

<p>Timeframe: Within 24 months of adoption of the 6th Cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Sources: General Fund</p>

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Housing Program 1K: Update Solana Beach Municipal Code to be Consistent With Ordinance 508 (Accessory Dwelling Units)

The City will amend the Municipal Code to be consistent with the newly adopted Ordinance 508 regarding. The City's current municipal code is consistent with the language in Ordinance 508 with the exception of the terminology used, which revised the language from Accessory Living Units (ALUs) to Accessory Dwelling Units (ADUs). Within 12 months of adoption of the Housing Element, the City will amend the appropriate sections of the Municipal Code for consistency.

Timeframe: Within 12 months of adoption of the 6th Cycle Housing Element
Responsible Agency: City of Solana Beach Community Development
Funding Sources: General Fund

Housing Program 1L: Amend Table 17.12.020-A of the Solana Beach Municipal Code Regarding Transitional and Supportive Housing

The City will amend Table 17.12.020-A of the Solana Beach Municipal Code to show that transitional and supportive housing are permitted uses where multifamily and mixed uses are permitted, including nonresidential zones permitting multifamily uses pursuant to Government Code 65651.

Timeframe: Within 12 months of adoption of the 6th Cycle Housing Element
Responsible Agency: City of Solana Beach Community Development
Funding Sources: General Fund

Housing Program 1M: Amend the Solana Beach Municipal Code to define Employee Housing so that it is compliant with Sections 17021.5 and 17021.6 of the Employee Housing Act

The City will amend the Solana Beach Municipal Code to be in compliance with Section 17021.5 and 17025.6 of the Employee Housing Act (Health and Safety Code, § 17000 et seq.) and define employee housing in a manner consistent with the above referenced Health and Safety Code sections. The Municipal Code will be revised to state that employee housing for six or fewer employees will be treated as a single-family structure and permitted in the same manner as other dwellings of the same type in the same zone. Additionally, the Municipal Code will be updated to state that employee housing consisting of no more than 12 units or 36 beds will be permitted in the same manner as other agricultural uses in the same zone.

Timeframe: Within 12 months of adoption of the 6th Cycle Housing Element
Responsible Agency: City of Solana Beach Community Development
Funding Sources: General Fund

Housing Program 1N: Amend the City's development process to assist in the development of housing for extremely-low households and households and individuals with special needs.

As identified in Section 3, the City of Solana Beach City Council at its sole discretion may discount city fees, expedite the application process, or provide other assistance when it finds that provision of such assistance is needed to meet housing needs identified in the housing element which otherwise would not be met through the implementation of this Municipal Code.

The City will take the following actions to amend the development process to include the following guaranteed incentives that apply solely to development projects that specifically accommodate housing at the extremely-low income level or that accommodate households for individuals with special needs :

- Adopt a priority processing procedure
- Waive city-controlled development impact fees until certificate of occupancy (COA)

Timeframe: Within 36 months of adoption of the 6th Cycle Housing Element
Responsible Agency: City of Solana Beach Community Development
Funding Sources: General Fund

Housing Program 10: Pursue outside funding opportunities for the development of lower and moderate income households.

As opportunities arise, the City will pursue new funding sources for lower and moderate income multi-family housing from available non-profit, local, state, and federal programs. The City will also seek to partner with local agencies that may provide funding opportunities or other resources that can assist in the development of housing affordable at the lower and moderate income levels.

Timeframe: Review Annually
Responsible Agency: City of Solana Beach Community Development
Funding Sources: General Fund

Housing Goal #2: Preserve and enhance the existing community and neighborhood quality and character.

Housing Policy 2.1: Promote revitalization and rehabilitation of existing residential dwellings.

Housing Policy 2.2: Promote high quality design and development standards to ensure future housing development compliments and enhances neighborhood character.

Housing Policy 2.3: Ensure residential and mixed-use projects are designed and developed to discourage crime.

Housing Policy 2.4: Encourage mixed-use and transit, bicycle, and pedestrian-oriented development that supports and contributes to a “sense of place” in the community.

Goal 2 Implementing Programs

Housing Program 2A: Preservation of At-Risk Housing

The City has reviewed the existing affordable housing developments and determined that no units are currently at risk of converting to market-rate during the planning period. Should this change and existing affordable units become at-risk of converting to market-rate, the City will contact the owners of these properties to explore preservation opportunities such as extending affordability covenants, sale/purchasing these developments, non-profit housing organizations assistance, and applying for financial assistance to preserve these affordable units.

Timeframe: Ongoing
Responsible Agency: City of Solana Beach Community Development
Funding Sources: General Fund

Housing Program 2B: Replacement Housing

The City may have existing non-vacant sites that contain vacant or demolished residential units that were occupied by lower income households or households subject to affordability requirements within the last five years. The City will implement a replacement housing program to ensure the replacement of any units lost subject to the requirements of Government Code section 65915, subdivision (c)(3) on site identified in the site inventory when any

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new development (residential, mixed-use or residential) occurs on a site that is identified in the inventory meeting the following conditions.

- Currently has residential uses or within the past five years has had residential uses that have been vacated or demolished, and
- Was subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of low or very-low income, or
- Subject to any other form of rent or price control through a public entity’s valid exercise of its police power, or
- Occupied by low and very low-income households.

Timeframe: The replacement requirement will be implemented upon adoption of the Housing Element and applied as applications on identified sites are received and processed, and local policy shall be adopted within one year of adoption of the Housing Element.

Responsible Agency: City of Solana Beach Community Development

Funding Sources: General Fund

Housing Goal #3: Reduce or eliminate constraints to the development, improvement, preservation, and maintenance of housing.

Housing Policy 3.1: Promote public awareness of the various methods and resources available to support homeownership opportunities.

Housing Policy 3.2: Explore opportunities to identify alternative financial assistance for the development and/or purchase of housing affordable to extremely low income, very low income, low income, and moderate-income households.

Housing Policy 3.3: Explore incentives, bonuses, and flexibility in standards and requirements that could benefit affordable housing development, such as flexible development standards, reduced permit fees, and streamlined permit processing.

Housing Policy 3.4: Encourage remodeling, maintenance, repair, and rehabilitation of existing housing to address special housing needs, prevent deterioration, and preserve safe and sanitary housing conditions.

Housing Policy 3.5: Grant priority water and sewer service to housing with units affordable to lower income households.

Goal 3 Implementing Programs

Housing Program 3A: Compliance with SB 35 Provisions

Per Government Code 65913.4(a)(6)(A), future development projects within the City of Solana Beach do not currently meet the stated requirements for SB 35 streamlining provisions as all land within the city (and therefore all potential projects) are located within a coastal zone. Should compliance status or the requirements of SB 35 change in the future, the City of Solana Beach will take the required actions to comply with State law.

The City will continue to annually monitor and update local procedures and policies based on applicable changes to SB 35 to remain in compliance with State law.

Timeframe: Ongoing

Responsible Agency: Planning and Community Development

Funding Sources: General Fund

Housing Program 3B: Public Education

The City shall continue to monitor, and update information related to the development of housing through the continued promotion of public educational materials. The information describes the benefits of affordable housing and the myths and realities of affordable housing through such means as public presentations, newspaper articles, and information posted on the City’s website.

Timeframe: Ongoing
Responsible Agency: City of Solana Beach Community Development
Funding Source: General Fund

Housing Program 3C: Water and Sewer Resources

Pursuant to Chapter 727, Statutes of 2005 (SB 1087), the City of Solana Beach is required to deliver its adopted Housing Element and any amendments thereto to local water and sewer service providers. This legislation allows for coordination between the City and water and sewer providers when considering approval of new residential projects. Additionally, cooperation with local service providers will support the prioritization of water and sewer services for future residential development, including units affordable to lower-income households. The City will submit the adopted Housing Element to local water and sewer providers for their review and consideration when reviewing new residential projects.

Timeframe: Annually
Responsible Agency: City of Solana Beach Community Development
Funding Source: General Fund

~~**Housing Program 3D:** Review Development Standards for Group Residential Projects.~~

~~The City of Solana Beach will perform a review of the development standard relating to the development of group residential projects to determine if the current standards may present a constraint to development. If it is determined that the current standards present a constraint, the City will take the appropriate actions necessary to remove that constraint, including amendment of applicable development standards relating to the development of group homes.~~

~~**Timeframe:** Within 24 months of adoption of the 6th Cycle Housing Element
Responsible Agency: City of Solana Beach Community Development
Funding Source: General Fund~~

Housing Goal #4: Equal opportunities to access housing for all persons regardless of age, race, religion, sex, marital status, sexual orientation, ancestry, national origin, or disability.

Housing Policy 4.1: Enforce fair housing laws addressing discrimination in the building, financing, selling or renting of housing based on race, religion, family status, national origin, disability, or other protected class.

Housing Policy 4.2: Establish policies, programs and incentives to promote the development of housing for very low-, low-, and moderate-income persons, and especially those within Solana Beach’s special needs populations.

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Housing Policy 4.3: Seek to accommodate housing for residents with special needs through appropriate zoning standards and permit processes.

Housing Policy 4.4: Ensure equal access to housing by providing reasonable accommodation for persons with disabilities consistent with Americans with Disabilities Act (ADA) and Fair Housing Act (FHA) requirements.

Housing Policy 4.5: Support efforts to provide services that facilitate aging in place such as senior transportation, recreational activities, and other means to help older adults connect to the services they need to live independently in their own homes.

Goal 4 Implementing Programs

Housing Program 4A: Affirmatively Further Fair Housing

Pursuant to AB 686, the City will affirmatively further fair housing by taking meaningful actions in addition to resisting discrimination, that overcomes patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity based on protected characteristic, as defined by California law.

The City will partner with capable organizations to review housing discrimination complaints, attempt to facilitate equitable resolution of complaints, and, where necessary, refer complainants to the appropriate state or federal agency for further investigation and action.

<p>Timeframe: Ongoing Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>
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Housing Program 4B: Emergency, Transitional and Supportive Housing and Lower Barrier Navigation Centers

The City shall permit Low Barrier Navigation Center development as a matter of right in appropriate zoning districts, subject to requirements of state law. These requirements include implementing standards, provisions and limitations governing the permitting, development, siting and management of Low Barrier Navigation Centers. The City of Solana Beach shall update its Municipal Code, as appropriate, to comply with State law.

<p>Timeframe: Within 24 months of adoption of the 6th Cycle Housing Element Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>
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Housing Program 4C: Persons with Physical and Developmental Disabilities

As identified in Section 2, the City of Solana Beach has a total of 50 people identified by the State Department of Developmental Services (DDS) as having a developmental disability in December 2020. The City understands that people with developmental disabilities may have unique needs when looking for housing accommodation and is committed to assisting residents.

The City will continue to take actions to accommodate the approval of group homes, ADA retrofit efforts, ADA compliance and/or other measures through the implementation of Title 24 as well as amend its procedures to provide more flexibility in the development of accommodations for persons with physical and developmental disabilities by eliminating the need for a variance.

Timeframe: ~~Within 12 months of adoption of the 6th cycle Housing Element~~ Review Annually and Address as Requested
Responsible Agency: City of Solana Beach Community Development
Funding Source: General Fund

Housing Program 4D: Section 8 Rental Assistance

The City will continue to work with the San Diego County Housing Authority to administer the Section 8 Rental Assistance Program, and will continue support the County’s application for additional Section 8 allocations. This program provides rental assistance to eligible very low and low income households. The subsidy represents the difference between the rent that exceeds 30 percent of a household’s monthly income and the actual rent charged.

The City will provide marketing collateral in both English and Spanish informing residents and landlords of the availability of Section 8 rental assistance. The City will also seek out project-based Section 8 vouchers to assist with the operational income of affordable housing projects.

Timeframe: Ongoing
Responsible Agency: City of Solana Beach Community Development
Funding Source: County of San Diego

Housing Program 4E: Mortgage Credit Certificate (MCC)

Homeownership can be an asset to maintaining a healthy community. The Mortgage Credit Certificate (MCC) program assists low and moderate income first time home buyers. Under this program, which is administered by the County of San Diego, qualified first-time home buyers are able to take a federal income tax credit of up to 20 percent of the annual interest paid on their mortgage. This frees up more capital to buy the home. The City of Solana Beach will continue to distribute information on the MCC program.

Timeframe: Ongoing
Responsible Agency: City of Solana Beach Community Development
Funding Source: County of San Diego

Housing Program 4F: Amend the Reasonable Accommodation criteria within the City’s Municipal Code

The City will amend the Municipal Code to remove the following criteria which currently may be considered by the community development director regarding the reasonableness of a requested accommodation:

- Whether there are alternative reasonable accommodations available that would provide an equivalent level of benefit; and
- Whether the requested reasonable accommodation substantially affects the physical attributes of the property or has impacts on surrounding properties that would fundamentally alter a city program or law.

Timeframe: Within 12 months of adoption of the 6th Cycle Housing Element
Responsible Agency: City of Solana Beach Community Development
Funding Source: General Fund

Housing Goal #5: A sustainable approach to new and existing residential and mixed-use development through increased energy conservation and waste reduction.

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Housing Policy 5.1: Work with energy providers, such as San Diego Gas and Electric (SDG&E), to promote energy conservation programs and incentives.

Housing Policy 5.2: Encourage the use of building placement, design, and construction techniques that promote energy conservation.

Housing Policy 5.3: Promote the use of green building practices in new and existing development to maximize energy efficiency and conservation.

Housing Policy 5.4: Encourage affordable housing developments that receive public subsidies to obtain Leadership in Energy and Environmental Design (LEED) certification.

Housing Policy 5.5: Encourage construction projects to recycle construction debris and promote the use of recycled materials as part of new construction or renovations, including the reuse of existing building shells/elements.

Goal 5 Implementing Programs

Housing Program 5A: Energy Conservation

The City of Solana Beach is committed to conserving energy and being a sustainable community. Several existing programs promote energy conservation and the City continues to explore additional opportunities to promote energy conservation. For example:

- The City recently adopted an ordinance to reduce single use plastic bags in grocery stores, retailers, and restaurants.
- The City will continue to implement the Solana Beach Green Building Incentive.
- The City will continue to provide information on the City’s website regarding steps residents can take to increase their energy efficiency and SDG&E rebate/voucher programs available to Solana Beach residents and businesses.
- The City will develop an energy efficiency program for the community and continue to monitor pertinent legislation which would make it easier to implement solar installations.

The City will continue to work with the Clean and Green committee to develop additional energy conservation and sustainability programs.

<p>Timeframe: Ongoing Responsible Agency: City of Solana Beach Community Development Funding Source: General Fund</p>
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C. Summary of Quantified Objectives

Table 4-1: Summary of Quantified Objectives						
Income Group	Extremely Low*	Very Low	Low	Moderate	Above Moderate	Total
New Construction (RHNA)	496 units			44 units	216 units	875 -756 units
Accessory Units	35 -15 units			117 -113 units	0 units	152 -128 units
Conservation/ Preservation	0 units			0 units	8 units**	0 units
Rental Subsidy	0 units			0 units	0 units	0 units
Rehabilitation	0 units			0 units	0 units	0 units
<p>*Extremely Low Units are defined by HCD as half of the City’s Very-Low Income need.</p> <p>**Program 1D commits the City to continuing their Illegal ALU conversion program during the 6th cycle planning period. The City historically issues permits for the conversion of approximately 1 illegal ADU a year. <u>The City does not have any projects ‘At-Risk’ in the 2021-2029 planning period; however, the City will continue to monitor the status of deed-restricted affordable housing units. Units reported account for ADU units anticipated to be legalized during the planning period.</u>The City is not aware of any illegal ADUs that need conversion, but there may be some within the community that have yet to be converted and will continue to administer the program.</p>						

Appendix B:

Candidate Sites Analysis

Candidate Sites Analysis Overview

The Housing Element is required to identify sites by income category to meet the City's RHNA Allocation. The sites identified within the Housing Element represent the City of Solana Beach's ability to develop housing at the designated income levels within the planning period (2021-2029). These sites are either residentially zoned or within a commercial zone that permits residential uses at 20 du/ac.

The State Department of Housing and Community Development (HCD) is currently preparing a standardized sites analysis inventory matrix for jurisdictions to complete. This matrix is anticipated to include detailed information on the sites identified to meet the City's RHNA, including:

- Assessor Parcel Number (APN)
- Address
- Size (Net Acres as defined by the City and in Appendix D)
- Zoning
- Description of Existing Use
- Ownership
- Density
- Potential Development Capacity (Dwelling Units)

A summary of this information is included within the Housing Resources section (Section 3) of Solana Beach's 2021-2029 Housing Element.

Table B-1 shows the City's 2021-2029 RHNA need by income category as well as a breakdown of the sites identified to meet that need. The analysis within Appendix B shows that the City of Solana Beach has the capacity to meet their 2021-2029 RHNA allocation through a variety of methods, including:

- Identification of additional capacity on existing, residentially zoned sites and commercially zoned sites that permit residential development at 20 du/ac
- Identification of City owned properties suitable for the development of housing
- Future development of accessory living-dwelling units (ADUs)

Water, Sewer, And Dry Utility Availability

Each site has been evaluated to ensure there is adequate access to water and sewer connections as well as dry utilities. Each site is situated with a direct connection to a public street that has the appropriate water and sewer mains and other infrastructure to service the candidate site.

Accessory Living-Dwelling Units (ADUs)

As a result of this legislation and an increased effort by the City to promote ADUs, the City has seen an increase in applications so far in 2020. The City ~~currently has approved~~ 12 ADUs ~~that have been approved~~ for development ~~between January 1, 2020 and September 30, in~~ 2020, 2 of which are affordable. Additionally, the City received 24 applications for ADUs in 2020. The City is still processing some of these applications, which will likely receive permits early in 2021. In accordance with State law, ADUs are allowed in all zones that allow single dwelling unit or multiple dwelling unit development. Junior Accessory Dwelling Units (JrADUs) are permitted only in single dwelling unit zones.

The City of Solana Beach has determined based on past performance and HCDs approved methodology that it is appropriate to anticipate the development of 16 accessory dwelling units per year from 2021 to 2029 for a total of 128 ADUs. HCD guidance states that ADUs may be calculated based on the City's production since January 1, 2018,

however Solana Beach believes that due to more recent efforts at the local level and further emphasis placed on ADUs through identification of ~~Programs 1B and 1C~~, the City's 2020 performance from January to October 2020 is a more accurate depiction of the City's future ADU performance. In accordance with State law, ADUs are allowed in all zones that allow single dwelling unit or multiple dwelling unit development. Junior Accessory Living Units (JrALUs) are permitted only in single dwelling unit zones.

As part of the sites analysis found within this appendices, the City has accounted for future ADU and JADU production using the City's 2020 performance to date. This equates to an anticipated ADU development of 160 ADUs over the next 8 years, 35 of which are anticipated to be affordable. The ADUs not designated to meet the City's lower income RHNA need are anticipated to be affordable at moderate income levels.

Table B-1: Summary of RHNA Status and Sites Inventory					
	Extremely Low/ Very Low Income	Low Income	Moderate Income	Above Moderate Income	Total
2021-2029 RHNA	316	159	160	240	875
RHNA Credit (Units Built)		32		57	89
Total RHNA Obligations	316	127	160	183	786
Sites Available					
Existing Residentially Zoned Properties	10		44	34	88
Existing Commercially Zoned Properties	486		--	182	668
Total Potential Capacity Based on Existing GP and Zoning	496		44	216	756
Accessory <u>Living-Dwelling</u> Unit Production	35 <u>15</u>		113 <u>117</u>	--	152 <u>128</u>
Total Sites Available	511 <u>531</u>		157 <u>169</u>	216	884 <u>916</u>
Potential Unit Surplus	68 <u>88</u>		7 <u>9</u>	33	112 <u>130</u>

B.1 Very Low and Low Income Sites Inventory

This section contains a description and listing of the candidate sites identified to meet the Solana Beach’s very low and low income RHNA need. A full list of these sites is presented in **Table B-42**.

The City of Solana Beach has identified sites with capacity to accommodate the City’s 2021-2029 RHNA. This capacity is based on existing zoning and does not require the City to complete rezones in order to add capacity to what currently exists. This City has identified ~~48-32~~ parcels within the high density residential, general commercial, and special commercial zones. Each of these zones permits residential as a standalone use. The identified sites have been evaluated to determine the extent to which on-site uses are likely to redevelop within the planning period. It was found that a number of the existing uses (identified in Table B-4) are either temporarily or permanently closed or have reduced hours of operation. Additional sites show no website presence to indicate a viable business. Many of the uses are in multi-tenant commercial centers with one ownership and most show little to no evidence of recent investment or redevelopment. The City does not have access to lease structures as these are private documents but has conducted an analysis to identify sites that show characteristics indicating they are likely to redevelop within the planning period. The analysis also includes several letters of potential residential development interest in Appendix A.

As shown below, the City has a past history of developing residential uses within ~~these non-residential zones that have existing uses.~~ This is often done in a mixed-use development which retains commercial uses as described in the following section.

Redevelopment of Non-Vacant Sites for Residential Uses

The City’s does not have sufficient vacant land available to accommodate fifty percent of their low/very-low income RHNA. To accommodate the need at those income levels, the City has analyzed sites within the general commercial, special commercial, and high density residential zones. The City has also evaluated recent projects that have redeveloped within commercially zoned areas that included residential units. Those projects, including the zoning, use prior to redevelopment, and a project analysis of the approved development plan, are shown in Table B-2. The City’s analysis showed that prior uses on these redeveloped sites were similar in nature to the existing uses on sites identified within the sites inventory in Table B-4.

The City has also conducted a parcel specific analysis of existing uses for each of the identified sites. This analysis of existing uses, including indicators of a likelihood that the existing use will redevelop within the next eight years, are provided in Table B-4. This analysis is based on information readily available to the City and research that can be found through online research. The City does not always have access to private lease information but has included information that property owners have shared regarding individual sites.

The following residential development projects have been constructed within the City’s general and special commercial zones:

- ~~636 Valley Avenue — 3 dwelling units~~
- ~~625 Valley Avenue — 2 dwelling units~~
- ~~330 S. Cedros Avenue — 8 dwelling units~~
- 343 S. Highway 101 — 25 dwelling units (project currently under construction)

<u>Project Address/</u> <u>APN</u>	<u>Dwelling</u> <u>Units</u>	<u>Zoning</u>	<u>Use Prior to</u> <u>Redevelopment</u>	<u>Project Analysis</u>
<u>636 Valley Avenue/</u>	<u>3</u>	<u>C</u>	<u>Small single-family</u> <u>residence on a</u>	<u>Project developed 3 residential units and a</u> <u>small commercial component. At 20 du/ac,</u>

<u>2981333900</u>			<u>large lot, mostly undeveloped lot.</u>	<u>the project could accommodate 4 dwelling units but opted to only do 3 to incorporate the commercial component. This justifies the City's adjustment factor shown in Table B-4 in Appendix B</u>
<u>625 Valley Avenue/ 2981310800</u>	<u>2</u>	<u>C</u>	<u>Commercial dentist offices on a large lot.</u>	<u>Project redeveloped the lot to keep the dentistry office uses and add two residential units at the rear part of the parcel. The parcel. This project had the potential to include additional residential but chose to keep over half of the lot for dentist offices and related parking.</u>
<u>330 S. Cedros Avenue/ 2980761300</u>	<u>8</u>	<u>SC</u>	<u>Commercial nursery with outdoors sales/display areas and a small commercial store structure.</u>	<u>Project developed 8 residential units in addition to ground floor commercial space along Cedros Avenue and additional creative office space for lease within the two story structure. This development could have met the maximum number of residential units but chose to include additional commercial/office space.</u>
<u>343 S. Highway 101/ 2980521400</u>	<u>25</u>	<u>C</u>	<u>Five adjacent parcels consisting of a commercial car repair/autobody shop, vacant mobile home park, vacant residence, and homes converted to office uses.</u>	<u>This 1.95 acre project site consists of 5 parcels in the General Commercial (C) zone that were directly adjacent and consolidated to develop this mixed-use project. The project consists of approximately 52,000 square feet of commercial office, restaurant and dining, and retail space in addition to 25 multi-family residential units. This development could have met the maximum number of residential units permitted within the current zoning but chose to include additional commercial/office space.</u>

While these projects do not contain affordable units, they show that the City has a past performance of developing residential units within the general and special commercial zones. As all of these uses retained a small commercial component, the City has included a residential development factor of 0.8 to accommodate for the inclusion of commercial uses in redevelopment. The **Housing Plan** section outlines actions the City will take to promote the development of affordable units within the downtown and commercial areas.

Selection of Sites**Development of Small Site Parcels**

Sites identified to meet the City's very-low and low income RHNA were selected based on their ability to meet the default density of 20 dwelling units per acre and the AB 1397 size requirements of at least .5 acres but not greater than 10 acres. While several sites identified in the City's sites analysis do not meet this requirement, the City has a history of developing residential uses on parcels in the downtown that are less than half an acre. This shows the viability of these sites. Additionally, the City has identified sites under a half-acre in size that are either adjacent or

share characteristics such as common ownership. This is shown under the consolidation group column of **Table B-42**.

<u>Table B-3: Adequacy of Small Sites to Meet RHNA</u>				
<u>APN</u>	<u>Address</u>	<u>Parcel Size</u>	<u>Consolidated Site (Shown in HCD Site Inventory Template)</u>	<u>Analysis Findings/Description</u>
<u>2982118100</u>	<u>S Sierra Avenue</u>	<u>0.33</u>	<u>A</u>	<u>This parcel is currently a city-owned parking lot with no existing structures. The Sites Analysis shows this parcel as consolidated with 511 S Highway 101 (APN 2982114000), a fit athletic club for which it currently serves as overflow parking. These parcels are directly adjacent, share an ingress/egress point and the parking is not used for any other adjacent use. As the parcel is City-owned, the City has added control over the future use of this parcel and is interested in developing it for residential uses as indicated in the Housing Element.</u>
<u>2980103200</u>	<u>201 S Highway 101</u>	<u>0.35</u>	<u>C</u>	<u>This parcel as well as the parcel directly adjacent to it (APN 2980103100) are both vacant parcels within the City's downtown core. Both parcels have a common ownership under the Kornberg Family Trust and have no existing structures or developed sections. The properties are in close proximity to a number of multi-family developments which have developed on parcels within similar size, shape, and location.</u>
<u>2980103100</u>	<u>204 S Sierra Avenue</u>	<u>0.43</u>	<u>C</u>	<u>See above description. Parcels are anticipated to be developed together and have been identified as consolidated sites in the City's Sites Inventory.</u>

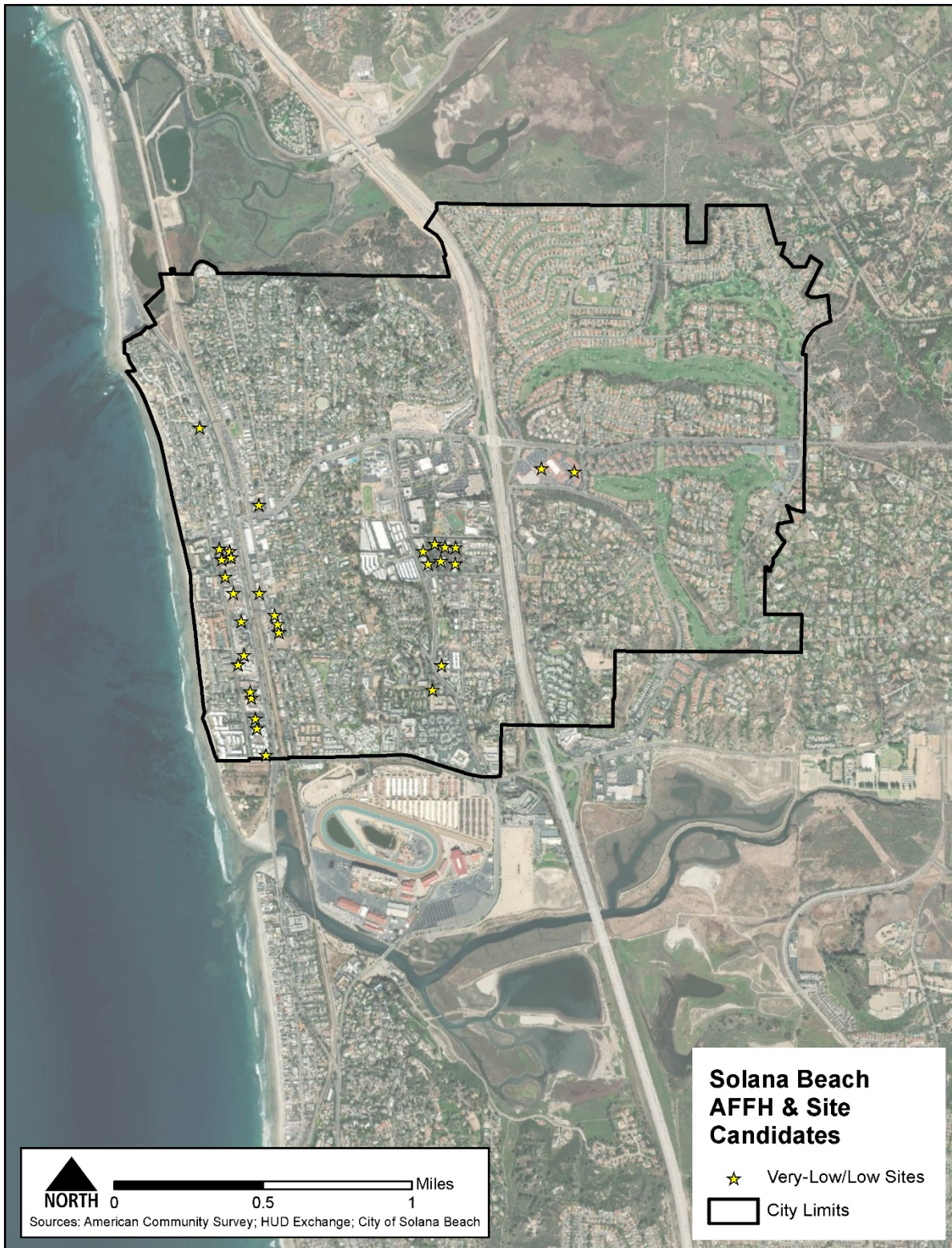
Sites were selected based on their realistic viability to accommodate lower income housing within the 2021-2029 planning period. This includes an evaluation of vacant land within the City (**Table B-2**) as well as underutilized sites that may provide the potential for redevelopment to accommodate residential at higher densities. Solana Beach is almost entirely built out, with the little vacant land within the City containing steep slopes or other characteristics which make it difficult to develop. As such, all sites identified within the housing element are on non-vacant parcels. As shown in the previous section, the City has a history of developing residential units on non-vacant parcels.

Figure B-1 shows the locations of all parcels identified to meet the City's lower income RHNA need. A detailed map and list of candidate sites can be found on the City's website.

Infrastructure Availability

As discussed in **Section 3**, each site has been evaluated to ensure there is adequate access to water and sewer connections. Each site is situated adjacent to a public street that has the appropriate water and sewer mains and other infrastructure to service the candidate site.

Figure B-1: Map of ~~Very Low and Low Income Sites~~ Identified Sites (All Income Levels)



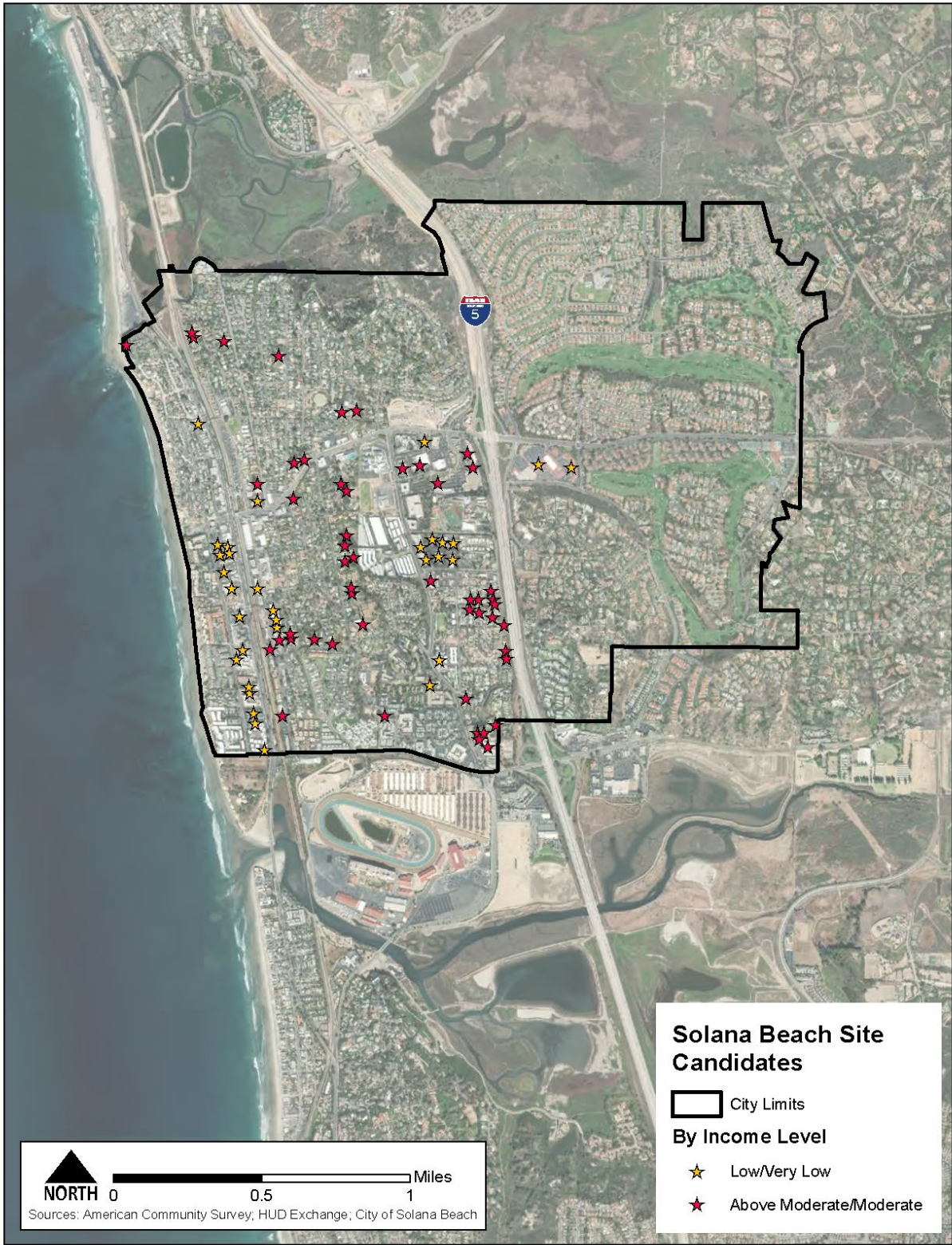


Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	GPU	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	Notes Existing Uses and Redevelopment Analysis	Consolidation Group
2982118100	C	C	N/AS SIERRA AVE	CITY OF SOLANA BEACH	0.33	20	0.8	5		City-owned surface parking lot that provides parking solely to the adjacent gym facility. City is in the process of issuing RFPs for this property. Parking lot	A7
2982114000	C	C	511 S HIGHWAY 101	HARRISON FAMILY TRUST 01-09-91	1.15	20	0.8	17		Gym Facility: FIT Athletic Club. Currently shown as closed on their website and may redevelop in conjunction with City RFP for adjacent parking lot.	A7
2980102000	C	C	236 S SIERRA AVE	236 S SIERRA LLC	0.53	20	0.8	7		Commercial/Business Park Small office space for Cruzan (Real Estate Developer), ID Studios, Inc (Interior Designer), and OrangeWallstudios architecture+planning. This site has capacity to add residential uses while maintaining existing commercial, similar to the sample professional dentist office which recently redeveloped.	
2980106100	C	C	155 S OLD HIGHWAY 101	101 PLAZA L L C	0.55	20	0.8	6		Commercial Shopping Center Small commercial center including uses such as GC Dance Company, Beach Grass Café, Sotheby's, nail salon, travel agency, and movement center. Several of these uses, including Beach Grass Café, the Center of Movement and Balance, Choukri Salon, and WorldView Travel were determined to be permanently closed via information available online.	
2980521200	C	C	305 HIGHWAY 101	LONGS DRUG STORES CALIFORNIA INC	1.80	20	0.8	27		Commercial Shopping Center CVS Pharmacy location with ample surface parking. Single tenant and	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	<u>GPLU</u>	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	Notes Existing Uses and Redevelopment Analysis	Consolidation Group
				(SUBLESSEE) <LF>						<u>building shows no signs of recent renovations/reinvestment. Directly adjacent to new mixed-use development (343 S. Highway 101)</u>	
2980531700	C	<u>C</u>	405 S HIGHWAY 101	BANK OF AMERICA NATIONAL TRUST&SAVINGS ASSN	0.98	20	0.8	15		<u>Commercial Shopping Center Large underutilized parcel with single tenant (Bank of America) Building shows no signs of reinvestment or renovation and market trends point to bank uses going online with smaller physical footprints.</u>	
2980910100	SC	<u>SC</u>	337 S CEDROS ST	HARRISON KEITH&SARA	0.71	20	0.8	7		<u>Commercial Shopping Center Small commercial center for Amari Active (currently closed), Devine Grace Today (currently closed), Imeriti Inc and Investors 1031 Exchange. Building shows no signs of reinvestment or renovation.</u>	
2980920100	SC	<u>SC</u>	410 S CEDROS AVE	SOUTH CEDROS ASSOCIATES L L C	0.93	20	0.8	10		<u>Light Industrial/Storage 24-7 Towing SOLANA BEACH, AIM Wellness Center, BeachRadish Images and BPI Training Now I Home Star are the current tenants.. Lease structures are not available to the City for these uses. This site may redevelop with sites labeled "B" in the consolidation group.</u>	<u>B5</u>
2980921100	SC	<u>SC</u>	0 CEDROS AVE	SOUTH CEDROS ASSOCIATES L L C	0.91	20	0.8	11		<u>Light Industrial/Storage The site contains parking spaces and a portion of a commercial center (Pedego Electric Bikes and Shauns California Sunglasses store). This site may redevelop with sites labeled "B" in the consolidation</u>	<u>B5</u>

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	GPU	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	Notes Existing Uses and Redevelopment Analysis	Consolidation Group
										group. Building shows no signs of reinvestment or renovation.	
2981121500	SC	SC	741 ACADEMY DR	ACADEMY HOSPITAL LLC	0.58	20	0.8	6		Professional Office zones- Single tenant (Academy Animal Hospital) and building shows no signs of recent renovations/reinvestment. Lease terms are not known for this use.	
2981121900	SC	SC	524 STEVENS AVE	CANTERBURY 2008 IRREVOCABLE TRUST 05-22-08	0.62	20	0.8	6		Commercial/Business Park Small Commercial center with tenants such as A Diva's Hidden Hair, Annie's Café's and Deli (currently closed), Bongiorno's and Charco Financial LLC. Charco Financial LLC has no website or information available to show they are still in business. Buildings show no signs of renovation or reinvestment.	
2981122000	SC	SC	532 STEVENS AVE	SOLANA PARTNERS L P	1.79	20	0.8	21		Commercial/Business Pa1 Carpet San Diego, Mitchell's Floor Coverings, Studio 540 Jiu Jitsu, Hylete, PERFECT PET SALON and Sydnee's Pet Grooming are the current tenants of the small commercial center. There is surface parking surrounding the building and the building shows no signs of renovations or reinvestments. Rthat may be redeveloped with room for commercial uses. *	
2981122100	SC	SC	722 GENEVIEVE ST	SOLANA PARTNERS L P	2.43	20	0.8	29		Small commercial center that currently has Commercial/Business Park A' LaFin Skincare, akovash hardwood (currently closed), Back	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	GPLU	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	Notes Existing Uses and Redevelopment Analysis	Consolidation Group
										<u>To Perfection, Beauty & Body Med Spa Salon Solana Beach CA, Busy Moms Fitness Solana Beach & San Diego, Custom Home Audio as tenants. The building is surrounded by surface parking spaces and shows no indications of reinvestments or renovations.</u>	
2981122200	SC	<u>SC</u>	742 GENEVIEVE ST	SOLANA PARTNERS L P	1.61	20	0.8	19		<u>Commercial/Business Park Ballet Arte, Body Design, Breyer's Branches Test, and Dyiak Design Build are the current tenants for the building. There are surface parking lot surrounds the building and no indicator of renovations or reinvestments.</u>	
2633513500	SC	<u>SC</u>	124 LOMAS SANTA FE	OZAWA FARMS INC <DBA J&T INVESTMENTS>	1.82	20	0.8	28		<u>A Commercial Shopping Center with Two Buildings with Aliza D. Cierone, ND, American Family Martial Arts, Andeliz Nails & Spa, Balancio Insurance, BioIntelligent Wellness, Blue Water Tackle(currently closed), Capstar Mortgage, Chief's Burgers & Brew, Dr. Alexia Garcia Chiropractor, Foundations Yoga Center, Johnson Air Systems, Linda's Hair Nails & Rfxlgy(currently closed), Local Greens, lu ann for hair, Michele Fry, L.Ac., RYT 500, Old Mission Properties, Purebowl, ShorelineFishing, SMartface, Sneaky Feet Aikido, Solana Beach Fish House, Solana Donur House, Solana Spa, Spark Health – IV</u>	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	<u>GPLU</u>	Address	Owner	Size (AC)	Realistic Density	Capacity <u>Adjustment</u> Factor	Potential Capacity	Vacant	<u>Notes Existing Uses and Redevelopment Analysis</u>	Consolidation Group
										<u>Therapy Vitamin B12 & Other Services, Subway, Superior Legal Divorce & Mediation Services and Tidewater Chiropracter as current tenants. There is ample surface parking spaces that surrounds the building and building shows no indications of reinvestments and renovations.</u>	
2982114700	C	<u>C</u>	647 S HIGHWAY 101	PINNACLE SOLANA II L L C	0.82	20	0.8	12		<u>Small Single Family Residence Single tenant building (Parioli Italian Bistro) with front and rear surface parking. The current site is underdeveloped with a large undeveloped portion of the parcel in the rear. This parcel is almost identical in nature to one of the redeveloped parcel examples shown in Table B-2.</u>	
2982114900	C	<u>C</u>	731 S HIGHWAY 101	BLUE MAX	1.72	20	0.8	27		<u>Mercado del Sol Commercial Shopping Center containing Double Take, Qwik Corner, JI Phone Repair (Permanently Closed), Bravo Salon (no website or indication of operation), Talisman Arts Tarot, Bangkok Bay Thai, a dry cleaners, and others. Many of these uses have limited hours and little web presence to determine a viable business. The building has surface parking in the front and one side of the building. There a no signs of recent renovations or reinvestments on the building.</u>	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	<u>GPLU</u>	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	<u>Notes Existing Uses and Redevelopment Analysis</u>	Consolidation Group
2982118500	C	<u>C</u>	635 OLD HIGHWAY 101	CITY OF SOLANA BEACH	1.08	20	0.8	17		City Hall <u>of Solana Beach is located in the building and has ample parking in the rear. This parcel is city-owned and has been considered for residential uses in the past and the City will continue to pursue developer interest in the site. The site is underdeveloped and shows no indicators of recent renovations or reinvestments</u>	
2982402400	C	<u>C</u>	100 BORDER AVE	COOPER-HARRIS FAMILY TRUST 01-07-04	0.60	20	0.8	9		<u>Dated and underutilized \$small Commercial/Office Shopping Center. The building has rear parking and is directly adjacent to existing multi-family uses.</u>	
2982405800	C	<u>C</u>	777 HIGHWAY 101	PACIFIC EXECUTIVE PLAZA L L C	1.11	20	0.8	17		<u>Commercial/Small Business Park (with tenants including Andrew Moranchel, CPA P.C., Balance Strategies, LLC, Daniel Lowther Law Offices and Dumbeck & Dumbeck Law Office) that has ample surface parking in the front and side of the building..</u>	
2985301900	SC	<u>SC</u>	761 ACADEMY DR	MAX FIRSTENBERG WEINSTOCK FAMILY L L C	1.03	20	0.8	11		<u>Small Commercial/Business Park that includes 2 buildings with 2 tenants (Center for Cosmetic Dentistry and David Daughters, DDS, Inc.). The shopping center is dated with There is no indications that the building has recent renovations or reinvestments and surface parking is in the front.</u>	
2985302000	SC	<u>SC</u>	809 ACADEMY DR	ACADEMY GROUP LLC	1.03	20	0.8	12		<u>Top Tier Training, Stratum Fitness and The Saints Thrifts Store are the present tenants of the building</u>	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	GPU	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	Notes Existing Uses and Redevelopment Analysis	Consolidation Group
										with front parking. Presently there is no sign of renovations or reinvestments. <u>Gym Facility</u>	
2980103200	C	<u>C</u>	201 S HIGHWAY 101	KORNBERG FAMILY TRUST 08-11-92 PERL FAMILY MARITAL TRUST	0.35	20	0.8	5	VAC	Currently the site is a vacant lot and is clearly underdeveloped. The project may redevelop in conjunction with an adjacent site labeled "C" in the consolidation group.	<u>C3</u>
2980103100	C	<u>C</u>	204 S SIERRA AVE	KORNBERG FAMILY TRUST 08-11-92 PERL FAMILY MARITAL TRUST	0.43	20	0.8	6	VAC	Presently the site is a vacant lot and is underdeveloped. The project may redevelop in conjunction with an adjacent site labeled "C" in the consolidation group. <u>Vacant Lot</u>	<u>C3</u>
2980106300	C	<u>C</u>	140 S SIERRA AVE	CITY OF SOLANA BEACH	1.00	20	0.8	16		City-owned surface parking lot that provides parking solely to the <u>City-Owned Surface Parking Lot</u> adjacent commercial shopping centers. This parcel has been considered for residential uses in the past and the City will continue to pursue developer interest in the site.	
2634210800	C	<u>C</u>	607 LOMAS SANTA FE DR	SECURITY PACIFIC NATIONAL BANK <LF> ANDERSON CAROL	1.05	20	0.8	15		<u>Commercial/Business Park</u> A single tenant building (Chase Banking) with ample surface parking and currently underdeveloped. Building shows no signs of reinvestment or renovation and market trends point to bank uses going online with smaller physical footprints. The City has identified the larger shopping center and is in the process of obtaining a letter of	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	<u>GPLU</u>	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	Notes Existing Uses and Redevelopment Analysis	Consolidation Group
										interest for residential development.	
2980920200	SC	<u>SC</u>	444 S CEDROS AVE	SOUTH CEDROS ASSOCIATES L L C	0.48	20	0.8	5		A commercial center (24-7 Towing SOLANA BEACH, AIM Wellness Center, BPI Training Now/Home Star and Cloud Applications & Accounting Services) that has front and side surface parking. Light Industrial/Storage This site may redevelop with sites labeled "B" in the consolidation group.	<u>B5</u>
2632936000	C	<u>C</u>	971 LOMAS SANTA FE DRIVE	PACIFIC SOLANA BEACH HOLDINGS	3.98	20	0.8	63		Commercial center with multiple tenants such as Samurai Japanese Restaurant, Postal Annex, The Frame Shop, and Craftsman Revival Home. This site has ample surface parking with no indication of recent renovations or reinvestments. Existing Commercial	
2632935900	C	<u>C</u>	LOMAS SANTA FE DRIVE	PACIFIC SOLANA BEACH HOLDINGS	9.85	20	0.8	64		Existing Commercial Large commercial center with multiple tenants such as Vons, Big 5 Sports Goods, HomeGoods and 24 Hour fitness (presently closed) but not limited to tenants listed above. This site shows no recent reinvestments or renovations and currently has ample surface parking. The City is in the process of obtaining a letter of interest for residential development from the property owner.	

Table B-4: Sites to Accommodate Low and Very Low-Income RHNA

APN	Zone	<u>GPLU</u>	Address	Owner	Size (AC)	Realistic Density	Capacity Adjustment Factor	Potential Capacity	Vacant	<u>Notes Existing Uses and Redevelopment Analysis</u>	Consolidation Group
2633040100	C	<u>C</u>	354 ACACIA AVE	HAGIO MICHIO TRUST 01-31-02	0.52	20	0.8	10		<u>The commercial center is located on the corner of a major roadway and shows no signs of recent renovations or reinvestments. The current tenants include Mitch's Surf Shop North, Joe Blair Surfboards and Moreland Choppers. The City is in the process of obtaining a letter of interest for residential development from the property owner. Existing Commercial</u>	
2981643200	HRd	<u>HR</u>	802 STEVENS AVE	ARNAIZ RONALD M & HILL- ARNAIZ MAKAYLA R TODD AUDREY	0.51	13	0.8	4		<u>There is an eExisting 2 single-family detached houses and currently the site is underutilized. A realistic density of 13 du/ac (permits 20 du/ac) has been applied and existing units have been removed from the potential yield.</u>	
2982810900	HRd	<u>HR</u>	841 STEVENS AVE	GRANADOS FAMILY TRUST 10-22-18	0.59	13	0.8	6		<u>There is an eExisting single-family detached house on a underutilized parcel. The current building shows no signs of any recent renovations or reinvestments into the property. A realistic density of 13 du/ac (permits 20 du/ac) has been applied and existing units have been removed from the potential yield.</u>	

B.2 Moderate and Above Moderate Sites Inventory

This section contains a description and listing of the candidate sites identified to meet the Solana Beach’s moderate and above moderate income RHNA need.

Calculation of Unit Capacity

The capacity for sites identified to meet the City’s above moderate RHNA need was determined by multiplying the net parcel size by the maximum achievable density for that zoning designation and rounding down to the nearest whole dwelling unit. Alternatively, the capacity for sites identified to meet the City’s moderate RHNA need was determined with the same methodology using the minimum achievable density for that zoning designation. In taking this approach, the City is using a conservative methodology. Where information is known, acreage has been netted out for potential constraints to development.

Selection of Sites

This Appendix B contains a selection of those sites that are most likely to be developed for moderate and above-moderate income housing. For the purpose of identifying sites with the potential to be redeveloped within the planning period, this analysis considered existing zoned parcels that permit residential as a primary use within the following zones based on the permitted densities within those zones:

- Above moderate
 - LRC, Low Residential C
 - LRd, Low Residential D
 - LMRc, Low-Medium Residential C
 - LMRd, Low-Medium Residential D
 - C, General Commercial
- Moderate:
 - MRd, Medium Residential D
 - MHRd, Medium-High Residential D

Due to the primarily developed nature of Solana Beach’s communities, sites with a capacity through the existing zoning to develop for at least one additional unit were considered within the analysis. In most instances, additional units are achievable through the subdivision of an existing property and addition of dwelling units.

For the purposes of this analysis, accessory [living-dwelling](#) unit potential was calculated separately as outlined within the Candidate Sites Analysis Overview section above. ADUs represent additional potential units to meet the City’s RHNA.

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Table B-3: Sites to Accommodate Moderate and Above Moderate RHNA								
APN	Zone	Address	Owner	Size (AC)	Realistic Density	Potential Capacity	Vacant	Notes
2981331300	MHRd	820 VERA ST	DYER GARY&JOAN	0.16	8	1		Single-family house
2981331100	MHRd	834 VERA ST	CLARK MIRIAM E 1992 TRUST 06-30-92	0.15	8	1	VAC	Vacant Parcel
2982120100	MHRd	601 S CEDROS AVE	GILLIAM FAMILY TRUST 04-27-93	0.30	8	1		Single-family house
2633510600	MHRd	147 N RIOS AVE	FLAGG KENNETH&ANITA	0.29	8	1		Single-family house
2981401400	MHRd	667 IDA AVE	MURO TRUST 10-26-01	0.29	8	1		Single-family house
2982124400	MHRd	755 CEDROS AVE	D J D 2002 TRUST 04-13-02	0.27	8	1		Single-family house
2981400600	MHRd	635 IDA AVE	HERNANDEZ FAMILY TRUST 07-30-07	0.27	8	1		Single-family house
2981340300	MHRd	819 VERA ST	GRACIANO ARTURO	0.27	8	1		Single-family house
2981401800	MHRd	655 IDA AVE	FOWLER CHRYSTALYNN	0.26	8	1		Single-family house
2982932100	MHRd	804 IDA AVE	GONZALES FAMILY TRUST 02-11-99	0.51	8	1		Single-family house
2981400900	MHRd	645 IDA AVE	PICKERING JENNIFER A M	0.38	8	2		Single-family house
2981340501	MHRd	833 VERA ST	JONES SETH J&ROBIN K	0.46	8	2		Two small single-family structures
2982932000	MHRd	0 IDA AVE	BRISA MAR DEVELOPMENT	0.51	8	4		Underutilized site w/ fence
2981623700	MHRd	0 IDA AVE	K N N MANAGEMENT LLC	0.77	8	6	VAC	Vacant Parcel
2982604400	MHRd	0 DEL MAR DOWNS RD	SAINT JAMES CATHOLIC PARISH IN SOLANA BEACH	0.94	8	7	VAC	Vacant Parcel
2982701800	MRd	2466 MANGO WAY	MARANDINO FAMILY TRUST 08-17-03	0.21	5	1	VAC	Vacant Parcel

Table B-3: Sites to Accommodate Moderate and Above Moderate RHNA

APN	Zone	Address	Owner	Size (AC)	Realistic Density	Potential Capacity	Vacant	Notes
2982701600	MRd	686 VIA DE LA VALLE	MARANDINO FAMILY TRUST 08-17-03	0.41	5	1		Single-family house
2982703500	MRd	684 VIA DE LA VALLE	MENGLER BRUCE&GRAHAM SUSAN FAMILY TRUST 05-20-15	0.51	5	1	VAC	Vacant Parcel
2630212500	MRd	637 W CIRCLE DR	STEINBERG JOSEPH S&DIANE H	0.46	5	1		Single-family house
2982704400	MRd	690 VIA DE LA VALLE	DOH REVOCABLE LIVING TRUST 01-04-12	0.44	5	1		Single-family house
2982830900	MRd	880 STEVENS AVE	PELLERITO JAMES J	0.62	5	2		Single-family house
2982704100	MRd	990 HIGHLAND DR	M C S DEL MAR CORPORATE CENTER LLC	1.22	5	6	VAC	Parking Structure
2634210900	C	225 STEVENS AVE	SOLANA BEACH PRESBYTERIAN CHURCH	2.02	20	31		Church Facilities
2634211000	C	663 SAN RODOLFO DR	S B T C HOLDINGS L L C	3.49	20	54		Commercial Shopping Center
2634211200	C	114 SOLANA HILLS DR	S B T C HOLDINGS L L C	3.26	20	51		Commercial Shopping Center
2634211300	C	0 SOLANA HILLS DR	S B T C HOLDINGS L L C	0.51	20	8		Commercial Shopping Center
2634211500	C	667 SAN RODOLFO DR	S B T C HOLDINGS L L C	1.55	20	23		Commercial Shopping Center
2981313000	C	616 STEVENS AVE	WINDWARD PLAZA LLC	1.00	20	15		Commercial Shopping Center
2630321800	LMRc	717 SEABRIGHT LN	HARTMAN BLAYNE TRUST 04-27-05	0.53	4	1		Single-family house
2630311200	LMRc	645 N RIOS AVE	POPE S&K FAMILY TRUST 03-24-03	0.54	4	1		Single-family house
2980838600	LMRc	130 S GRANADOS AVE	MUELLER FAMILY TRUST 04-09-01	0.56	4	1		Single-family house
2630320800	LMRc	725 SEABRIGHT LN	WAKEHAM RAY H&PATRICIA V FAMILY TRUST 09-16-88	0.53	4	1		Single-family house

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Table B-3: Sites to Accommodate Moderate and Above Moderate RHNA								
APN	Zone	Address	Owner	Size (AC)	Realistic Density	Potential Capacity	Vacant	Notes
2634040100	LMRd	321 EL VIENTO ST	MARTIN JOHN A&LOIS K TRUST 11-06-89	0.73	4	1		Single-family house
2634041000	LMRd	390 LOMAS SANTA FE DR	ZIMMERMAN FAMILY TRUST 08-29-07	0.65	4	1		Single-family house
2980943200	LRc	0 GRANADOS AVE	CARLTON FAMILY TRUST 12-10-93	0.34	3	1	VAC	Vacant parcel
2981215600	LRc	524 S NARDO AVE	SANCHEZ FELIX	1.19	3	2		Single-family house
2630821700	LRc	615 N GRANADOS AVE	GUNTHER HERBERT J&W RUTH TRUST 11-16-77	0.77	3	1		Single-family house
2634020500	LRc	148 S NARDO AVE	CARADINE JON C	1.79	3	4		Single-family house
2634022200	LRc	170 S NARDO AVE	BATCHMAN FAMILY TRUST 10-13-10	1.26	3	2		Single-family house
2980811100	LRc	302 S NARDO AVE	BARTHELL FAMILY TRUST 12-12-02	2.02	3	4		Single-family house
2980812500	LRc	258 S NARDO AVE	BARTHELL FAMILY TRUST 12-12-02	1.56	3	2		Single-family house
2980844400	LRc	422 S NARDO AVE	SWORTWOOD CHRISTOPHER G&HEATHER	0.85	3	1		Single-family house
2980844500	LRc	430 S NARDO AVE	BUSER MARTIN&CYNTHIA FAMILY TRUST 12-03-97	0.86	3	1		Single-family house
2980844700	LRc	326 NARDO AVE	SCHLIFF FAMILY TRUST 05-13-10	0.68	3	1		Single-family house
2980844800	LRc	318 S NARDO AVE	MCHALE FAMILY TRUST 02-23-18	0.74	3	1		Single-family house
2980921000	LRc	526 S CEDROS AVE	ESTRADA EDDIE M&GLORIA A REVOCABLE TRUST 04-08-08	1.10	3	1		Two single-family houses
2980921300	LRc	0 RIOS AVE	ESTRADA EDDIE M&GLORIA A REVOCABLE TRUST 04-08-08	0.42	3	2	VAC	Vacant parcel

Table B-3: Sites to Accommodate Moderate and Above Moderate RHNA

APN	Zone	Address	Owner	Size (AC)	Realistic Density	Potential Capacity	Vacant	Notes
2980921400	LRc	0 RIOS AVE	NORTH COUNTY COASTAL LLC	0.40	3	1	VAC	Vacant parcel
2980934400	LRc	535 S GRANADOS AVE	SIHOTA JAGBIR S TRUST 06-14-11	1.05	3	2		Single-family house
2631607100	LRd	403 MARVIEW DR	BURGER FAMILY TRUST 02-07-95	0.78	3	1		Single-family house
2631607500	LRd	404 MARVIEW DR	HOUSTON 1992 TRUST 12-18-92	0.70	3	1		Single-family house



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: March 24, 2021
ORIGINATING DEPT: Engineering Department
SUBJECT: **Consideration of Resolution 2021-030 Authorizing the City Manager to Execute a Professional Services Agreement with Van Dyke Landscape Architects for Design of a New Playground at La Colonia Park and Design of New Playground Equipment at Fletcher Cove Park**

BACKGROUND:

The City's playgrounds at La Colonia and Fletcher Cove Parks are outdated and in need of frequent repairs and renovations to meet the needs and expectations of the community. Due to the outdated equipment, coastal environment and high usage, replacement of the existing equipment has now become necessary on both playgrounds, as these playgrounds are important elements of the public's recreational experience at both park locations.

The playground at Fletcher Cove Park was installed in 2007 as part of construction of the new park and is subject to degradation caused by the immediate coastal environment and receives significant usage by residents and their children on a daily basis. The current play structure at La Colonia Park was installed in 2000 and also experiences very high daily usage, wear and tear.

In order to initiate the replacement of the play equipment, services of professional experts are needed. Staff released a Request for Proposal (RFP) for design services for the La Colonia Park playground and redesign of the playground equipment at Fletcher Cove Park. Five proposals were received. Staff evaluated the proposals and is recommending the most qualified consultant to perform the playground design work at the two playgrounds.

CITY COUNCIL ACTION:

This item is before the City Council for the consideration of Resolution 2021-030 (Attachment 1) authorizing the City Manager to execute a Professional Service Agreement (PSA) with Van Dyke Landscape Architects (VDLA) for preparation of construction level plans, specifications, and cost estimates for the design of a new playground at La Colonia Park and design of new playground equipment at Fletcher Cove Park (the “Project”).

DISCUSSION:

A RFP for the Project was issued in December 2020 and the City received proposals from five consultants in January 2021. The scope of work outlined in the RFP was for the preparation of final design plans, specifications, and cost estimate for a new playground at La Colonia Park that is consistent with the La Colonia Master Plan. Also included in the scope of work was the design of new playground equipment at Fletcher Cove Park. Once completed, the playground equipment design at Fletcher Cove Park will be incorporated into the design package that was completed last year for other improvements at the Fletcher Cove Park playground. The scope of work for both parks also included an extensive public outreach component.

The proposed costs submitted by the five consultants ranged from \$82,000 to \$175,000. It should be noted that the selection of the consultant recommended by Staff to provide the requested services is not required to be and is not based exclusively on their cost proposals as described below. The final cost proposal is the result of negotiations between Staff and the selected consultant.

After reviewing the five proposals, Staff determined that the scope of work submitted by the lowest-cost proposal was incomplete and non-responsive. Staff then determined that the proposal, expertise, and experience provided by VDLA is superior to the other firms. Although the other three firms are qualified, Staff feels that VDLA is the best fit for the City and is recommending that a PSA be pursued with VDLA.

VDLA is particularly qualified to provide landscape architectural design services for park and recreation facilities, having completed over 50 relevant park projects for municipalities throughout Southern California, including renovations to existing parks. They are a local, small business founded in 1972 with an office located on Stevens Avenue and have provided professional services for several Government Agencies, including the City of Solana Beach. In addition to being located in Eden Gardens, VDLA is extremely familiar with the local history, traditions and expectations of the neighborhood which they have derived from years of experience in and familiarity with the local environment. Community members and Staff have come to know VDLA as a company that provides meaningful design options, well-prepared presentations, positive interpersonal interactions and comprehensive civic engagement.

Scope of Work

VDLA estimates a 7-month process from Project initiation through final design and will include overall project management by their highly qualified team of professionals. The scope of work for the Project will include:

- On-line information and survey for public input
- Regular meetings with City Staff
- Facilitation of two public workshops with user-friendly graphics
- Development of three concept alternatives for both facilities
- Attendance at two City Council meetings to review final concepts
- Development of complete construction bid documents

CEQA COMPLIANCE STATEMENT:

Construction of the of the new playground at La Colonia Park and replacement of the playground structure at Fletcher Cove Park are exempt pursuant to Section 15301(a) of the State CEQA Guidelines.

FISCAL IMPACT:

The proposal submitted by VDLA includes development of three concept alternatives for each facility, two public workshops, two City Council meetings, preparation of construction level documents for a new playground at La Colonia Park and new playground equipment at Fletcher Cove Park. The proposal has been itemized to separate the design costs for each of the two facilities. The design cost for Fletcher Cove is set at an amount not to exceed \$16,700. At La Colonia Park, the not to exceed amount is \$94,550, which includes design services for ADA Path Improvements from the playground to Stevens Avenue as identified in the La Colonia Park Master Plan. If approved, the total contract with VDLA will be for an amount not to exceed \$111,250.

The revised Fiscal Year (FY) 2020/21 Capital Improvement Program (CIP) budget that was approved at the July 8, 2020 City Council meeting appropriated \$20,000 for design of a new playground at La Colonia Park and \$185,000 for improvements at the Fletcher Cove Park playground/tot lot. Staff is recommending using these appropriations to begin the design work in the current fiscal year. Any remaining design work at FY end and subsequent construction costs will be included in the FY 2021-22 & FY2022-23 two-year CIP budget.

As previously reported, the City has been awarded a Proposition 68 California State Parks grant for the improvements to the La Colonia Park Playground. The amount of the grant is \$186,471. The City has a 20% match requirement (\$46,618) for a total grant project of \$233,089. This grant funding will be allocated towards construction costs at La Colonia Park in the FY 2021-22 & FY 2022-23 CIP Budget when we reach the construction phase.

WORK PLAN:

This project is consistent with Item B.2 of the Community Character Priorities of the FY 2020/21 Work Plan.

OPTIONS:

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2021-030 authorizing the City Manager to execute a Professional Services Agreement, in an amount not to exceed \$111,250, with Van Dyke Landscape Architects for design of a new playground at La Colonia Park and design of new playground equipment at Fletcher Cove Park.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2021-030

RESOLUTION NO. 2021-030

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT WITH VAN DYKE LANDSCAPE ARCHITECTS FOR DESIGN OF A NEW PLAYGROUND AT LA COLONIA PARK AND DESIGN OF NEW PLAYGROUND EQUIPMENT AT FLETCHER COVE PARK

WHEREAS, the playground equipment at Fletcher Cove and La Colonia Parks are currently in need of replacement to meet the recreational needs and expectations of the community; and

WHEREAS, both playgrounds experience daily high usage by the public and harsh coastal environmental conditions; and

WHEREAS, the playground equipment at Fletcher Cove Park is the original playground equipment that was installed when the park first opened in 2007; and

WHEREAS, the playground equipment at La Colonia Park has not been replaced since 2000; and

WHEREAS, after a review of five proposals received in response to a Requests for Proposal that was issued, Staff recommends the selection of Van Dyke Landscape Architects for design of the La Colonia Park playground and design of the Fletcher Cove Park playground equipment.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.

2. That the City Council authorizes the City Manager to execute a Professional Services Agreement, in an amount not to exceed \$111,250, with Van Dyke Landscape Architects for design of a new playground at La Colonia Park and design of new playground equipment at Fletcher Cove Park.

PASSED AND ADOPTED this 24th day of March, 2021, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk