



# CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT  
AGENCY, PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

## AGENDA

Joint REGULAR Meeting

Wednesday, January 27, 2021 \* 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California  
This meeting will be conducted in accordance with Governor Newsom's Executive Order N-29-20 related to the COVID-19 virus.

### MEETING LOCATION WILL NOT BE OPEN TO THE PUBLIC

Due to the Executive Order to stay home, in person participation at City Council meetings will not be allowed at this time. In accordance with the Executive Order to stay home, there will be no members of the public in attendance at Council Meetings. Alternatives to in-person attendance for viewing and participating in City Council meetings are being provided under provided below.

### AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is posted online [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) Closed Session Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings.

### WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

### PUBLIC COMMENTS

- Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.
- Correspondence received after the official posting of the agenda, but before 3:00 p.m. (or 3 hrs. prior to the meeting start time) on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.
- The designated location for viewing supplemental documents is on the City's website [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) on the posted Agenda under the relative Agenda Item.

OR

Verbal comment participation: If you wish to provide a live verbal comment during the meeting, attend the virtual meeting via your computer or call in.

#### Before Meeting

- Sign up (register) to speak at the virtual meeting for the Zoom webinar as early as possible and at least 3 hours prior to the start of the meeting so that Staff can manage the speaker list.  
-Public Participation Link:  
[https://us02web.zoom.us/webinar/register/WN\\_keSCyvvKRWGQp7EfRIsxwg](https://us02web.zoom.us/webinar/register/WN_keSCyvvKRWGQp7EfRIsxwg)
- Follow the prompts to enter your name and email address and identify the item you are speaking on.
- Join the meeting by locating your confirmation email, that was sent immediately following registration, which will provide your log-in link.
- Join/Log-In to the meeting at least 15 minutes prior to the start time so that the City Clerk can verify you are ready to speak before the meeting begins.
- If your computer does not have a mic to speak or you have sound issues, you can use the call-in audio information (Zoom ID, Participant ID) from a landline or cell phone to join the meeting for the audio accessibility.
- If you call in as well for better audio, mute your computer's speakers to eliminate feedback so that you do not have two audios competing when you are speaking.

During Meeting:

- Choose Gallery View to see the presentations, when applicable.
- Participants will be called upon from those who have Registered, and their name is identified by the City Clerk calling from the registration list. You will be called on by name and unmuted by the meeting organizer and then you may provide comments for the allotted time. Allotted speaker times are listed under each [Agenda](#) section.

**SPECIAL ASSISTANCE NEEDED - AMERICAN DISABILITIES ACT TITLE 2**

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's office (858) 720-2400 [clerkoffice@cosb.org](mailto:clerkoffice@cosb.org) at least 72 hours prior to the meeting.

<b>CITY COUNCILMEMBERS</b>			
Lesa Heebner, <b>Mayor</b>			
Kristi Becker <b>Deputy Mayor</b>	Kelly Harless <b>Councilmember</b>	David A. Zito <b>Councilmember</b> District 1	Jewel Edson <b>Councilmember</b> District 3
Gregory Wade <b>City Manager</b>	Johanna Canlas <b>City Attorney</b>	Angela Ivey <b>City Clerk</b>	

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**SPEAKERS:**

See Public Participation on the first page of the Agenda for publication participation options.

**READING OF ORDINANCES AND RESOLUTIONS:**

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

**CALL TO ORDER AND ROLL CALL:**

**CLOSED SESSION REPORT:**

**FLAG SALUTE:**

**PROCLAMATIONS/CERTIFICATES:** *Ceremonial*

*None at the posting of this agenda*

**PRESENTATIONS:** Ceremonial items that do not contain in-depth discussion and no action/direction.

*None at the posting of this agenda*

**APPROVAL OF AGENDA:**

**ORAL COMMUNICATIONS:**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by having submitted written comments for the record to be filed with the record or by registering



to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda.

Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

### **COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:**

*An opportunity for City Council to make brief announcements or report on their activities. These items are not agendaized for official City business with no action or substantive discussion.*

#### **A. CONSENT CALENDAR: (Action Items) (A.1. - A.5.)**

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

#### **A.1. Register Of Demands.** (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for December 12, 2020 – January 8, 2021.

#### [Item A.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.2. General Fund Budget Adjustments for Fiscal Year 2020-2021.** (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2020-2021 General Fund Adopted Budget.

#### [Item A.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

#### **A.3. Replacement Vehicle for the Marine Safety Department.** (File 0370-26)

Recommendation: That the City Council

1. Approve **Resolution 2021-011** awarding and authorizing the purchase of a replacement vehicle for the Marine Safety Department.

#### [Item A.3. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.4. State Parks Shoreline Erosion Protection Grant Application.** (File 0610-12)

Recommendation: That the City Council

1. Adopt **Resolution 2021-009** authorizing submittal of a Shoreline Erosion Protection Grant application to the State of California Department of Parks and Recreation, Division of Boating and Waterways and authorizing the City Manager to act on behalf of the City of Solana Beach, in consultation with the City Attorney, to negotiate and execute all agreements and amendments necessary to comply with the State Parks, Division of Boating and Waterways grant requirements.

[Item A.4. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**A.5. Adjustments to the Current Fiscal Year (FY) 2020/2021 Seasonal/Temporary Salary Schedule.** (File 0520-10)

Recommendation: That the City Council

1. Adopt **Resolution 2021-010** approving Salary Adjustments to the FY 2020-2021 Part-Time/Temporary/Seasonal Salary Schedule and authorizing the City Manager to make any subsequent changes to the Salary Schedule in accordance with applicable laws.

[Item A.5. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**B. PUBLIC HEARINGS:** (B.1. – B.2.)

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each.

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record.

**B.1. Public Hearing: 514 Canyon Dr., Applicant: Ewing, Case: 17-19-13  
DRP/SDP.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and an administrative SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2021-006** conditionally approving a DRP and SDP to demolish the existing residence and construct a replacement two-story, single-family residence with an 449 square foot attached garage, and perform associated site improvements at 514 Canyon Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

**B.2. Public Hearing: 520 North Cedros Ave., Applicants: Murphy, Case:  
DRP19-009/SDP19-010.** (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2021-005** conditionally approving a DRP and SDP to demolish an existing single-family residence, construct a replacement two-story, single-family residence with a two-car garage, and perform associated site improvements at 520 North Cedros Avenue, Solana Beach.

[Item B.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## C. STAFF REPORTS: (C.1. – C.2.)

**Note to Public:** Refer to [Public Participation](#) for information on how to submit public comment.

Any member of the public may address the City Council on an item of concern by submitting written correspondence for the record to be filed with the record or by registering to join the virtual meeting online to speak live, per the Public Participation instructions on the Agenda. The maximum time allotted for each speaker is THREE MINUTES (SBMC 2.04.190).

### C.1. 2021 Annual Citizen Commission Appointments & Climate Action Jr. Member(s) Discussion. (File 0120-06)

Recommendation: That the City Council

1. Appoint three (3) members to the **Budget and Finance** Commission nominated/appointed by individual members (Mayor, Councilmembers Zito and Edson) for two-year terms.
2. Appoint three (3) members to the **Climate Action** Commission nominated/appointed by *Council-at-large* for the following positions:
  - a. Two (2) *Resident* appointments for two-year terms.
  - b. One (1) *Professional* appointment for member of the environmental and/or scientific community (*resident or non-resident*) for a two-year term.
3. Appoint four (4) members to the **Parks and Recreation** Commission nominated/appointed by *Council-at-large* for two-year terms.
4. Appoint three (3) members to the **Public Arts** Commission nominated/appointed by *Council-at-large* for two-year terms.
5. Appoint three (3) members to the **View Assessment** Commission appointed by individual Councilmembers (Mayor Heebner and Councilmembers Zito and Edson) for two-year terms.
6. Discussion criteria for addition of Junior Member(s) on the Climate Action Commission and direct Staff to prepare/finalize an application and a Resolution in accordance therewith.

#### [Item C.1. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

### C.2. Energy Innovation and Carbon Dividend Act. (File 0480-60)

Recommendation: That the City Council

1. Adopt **Resolution 2021-012**, urging the United States Congress to Enact the Energy Innovation and Carbon Dividend Act of 2019.

#### [Item C.2. Report \(click here\)](#)

*Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.*

## WORK PLAN COMMENTS:

*Adopted June 12, 2019*

## **COMPENSATION & REIMBURSEMENT DISCLOSURE:**

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

## **COUNCIL COMMITTEE REPORTS:** [Council Committees](#)

### **REGIONAL COMMITTEES: (outside agencies, appointed by this Council)**

- a. City Selection Committee (meets twice a year) Primary-Edson, Alternate-Zito
- b. County Service Area 17: Primary- Harless, Alternate-Edson
- c. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- d. League of Ca. Cities' San Diego County Executive Committee: Primary-Becker, Alternate-Harless and any subcommittees.
- e. League of Ca. Cities' Local Legislative Committee: Primary-Harless, Alternate-Becker
- f. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- g. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- h. North County Transit District: Primary-Edson, Alternate-Becker
- i. Regional Solid Waste Association (RSWA): Primary-Hegenauer, Alternate-Becker
- j. SANDAG: Primary-Zito, 1<sup>st</sup> Alternate-Edson, 2<sup>nd</sup> Alternate-Becker, and any subcommittees.
- k. SANDAG Shoreline Preservation Committee: Primary-Hegenauer, Alternate-Zito
- l. San Dieguito River Valley JPA: Primary-Hegenauer, Alternate-Zito
- m. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- n. 22<sup>nd</sup> Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Harless

### **STANDING COMMITTEES: (All Primary Members) (Permanent Committees)**

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Hegenauer
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Becker
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Hegenauer
- f. School Relations Committee – Hegenauer, Harless
- g. Solana Beach-Del Mar Relations Committee – Zito, Edson

## **ADJOURN:**

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***Next Regularly Scheduled Meeting is February 10, 2021***

*Always refer the City's website Event Calendar for Special Meetings or an updated schedule.*

*Or Contact City Hall 858-720-2400*

[www.cityofsolanabeach.org](http://www.cityofsolanabeach.org)

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## AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }  
COUNTY OF SAN DIEGO } §  
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the January 27, 2021 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on January 20, 2021 at 4:45 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., January 27, 2021, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk \* City of Solana Beach, CA

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### **CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:**

*Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.*

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** Register of Demands

## **BACKGROUND:**

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 12/12/20 through 01/08/21

Check Register-Disbursement Fund (Attachment 1)		\$	1,249,160.09
Net Payroll	December 25, 2020		216,344.96
Federal & State Taxes	December 25, 2020		62,953.61
PERS Retirement (EFT)	December 25, 2020		45,414.39
Health Insurance for January	January 1, 2021		46,091.01
Net Payroll	January 8, 2021		169,958.45
Federal & State Taxes	January 8, 2021		46,438.20
PERS Retirement (EFT)	January 8, 2021		44,139.93

TOTAL		\$	<u>1,880,500.64</u>
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## **DISCUSSION:**

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

## **CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

## **FISCAL IMPACT:**

The register of demands for December 12, 2020 through January 8, 2021 reflects total expenditures of \$1,880,500.64 from various City funding sources.

CITY COUNCIL ACTION: _____ _____
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**WORK PLAN:**

N/A

**OPTIONS:**

- Ratify the register of demands.
- Do not ratify and provide direction.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council ratify the above register of demands.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund

PENTAMATION  
 DATE: 01/11/2021  
 TIME: 15:38:04

CITY OF SOLANA BEACH, CA  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1  
 ACCTPA21

SELECTION CRITERIA: transact.ck\_date between '20201212 00:00:00.000' and '20210108 00:00:00.000'  
 ACCOUNTING PERIOD: 7/21

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98339	12/17/20	4706	24 HOUR ELEVATOR, INC	00165006570	ELVTR MAINT-DEC	0.00	168.00
1011	98340	12/17/20	4794	AMR	27060006120	CSA17.21 SYRINGE	0.00	10.51
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012278 9/24-10/23	0.00	3,278.11
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012278 1024-1123	0.00	3,315.68
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012282 9/24-10/23	0.00	21.04
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012282 1024-1123	0.00	22.62
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391053641 9/24-10/23	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391053641 1024-1123	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391062899 9/24-10/23	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391062899 1024-1123	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00160006120	9391012280 9/24-10/23	0.00	574.76
1011	98341	12/17/20	4832	AT&T CALNET 3	00160006120	9391012280 1024-1123	0.00	584.61
1011	98341	12/17/20	4832	AT&T CALNET 3	00160006150	9391012275 1024-1123	0.00	164.95
TOTAL CHECK							0.00	8,621.57
1011	98342	12/17/20	5174	MEGAN BAVIN	12050005460	2020 GYM RIEMB	0.00	480.00
1011	98343	12/17/20	5029	BILL SMITH FOREIGN CAR S	00160006170	FRNTR-BRAKES	0.00	755.94
1011	98344	12/17/20	3069	JOSHUA BLEA	50900007700	MILEAGE-12/6/20	0.00	28.75
1011	98345	12/17/20	5964	BTF BUILD LLC	001	RFND-SBGR-390/4250 N	0.00	79,755.18
1011	98348	12/17/20	1914	US BANK	00160006120	ICE	0.00	1.92
1011	98348	12/17/20	1914	US BANK	00150005400	SYMPATHY CARD	0.00	5.38
1011	98348	12/17/20	1914	US BANK	00160006170	DO NOT ENTER SIGNS	0.00	9.64
1011	98348	12/17/20	1914	US BANK	00160006120	ICE	0.00	9.67
1011	98348	12/17/20	1914	US BANK	00150005450	HOSTING DOMAINS-SEP	0.00	9.95
1011	98348	12/17/20	1914	US BANK	00160006170	PADLOCK	0.00	10.65
1011	98348	12/17/20	1914	US BANK	00160006170	CHECKERED FLAGS	0.00	12.82
1011	98348	12/17/20	1914	US BANK	00160006170	DETERGENT	0.00	12.87
1011	98348	12/17/20	1914	US BANK	00160006120	THERMOMETER	0.00	12.92
1011	98348	12/17/20	1914	US BANK	00165006570	SECURITY LGHT-LC	0.00	16.97
1011	98348	12/17/20	1914	US BANK	00160006170	GLOVES/SANITIZER	0.00	19.40
1011	98348	12/17/20	1914	US BANK	00160006170	SPIKE FLAG POLES	0.00	21.50
1011	98348	12/17/20	1914	US BANK	00160006170	MASKS	0.00	23.68
1011	98348	12/17/20	1914	US BANK	00160006120	ACETONE/TAPE	0.00	28.53
1011	98348	12/17/20	1914	US BANK	00150005450	ERGO MOUSE	0.00	32.31
1011	98348	12/17/20	1914	US BANK	00150005150	COUNCIL MINUTES-10/14	0.00	39.50
1011	98348	12/17/20	1914	US BANK	00160006170	AIR COMPRESSOR PARTS	0.00	40.92
1011	98348	12/17/20	1914	US BANK	00150005150	2 FILE BOXES	0.00	41.94
1011	98348	12/17/20	1914	US BANK	00150005150	COUNCIL MINUTES-09/23	0.00	45.50
1011	98348	12/17/20	1914	US BANK	00160006170	LINE SPOOL	0.00	51.72
1011	98348	12/17/20	1914	US BANK	00150005200	LA TIMES-SEPT-DEC	0.00	51.87
1011	98348	12/17/20	1914	US BANK	00160006170	N95 MASKS	0.00	52.99
1011	98348	12/17/20	1914	US BANK	13550005450	ADOBE SUB-ARMBURST	0.00	56.84
1011	98348	12/17/20	1914	US BANK	00150005400	SYMPATHY FLOWERS	0.00	57.10
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	61.19
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	61.20
1011	98348	12/17/20	1914	US BANK	00160006170	ALCOHOL WIPES	0.00	61.81

PENTAMATION  
 DATE: 01/11/2021  
 TIME: 15:38:04

CITY OF SOLANA BEACH, CA  
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2  
 ACCTPA21

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98348	12/17/20	1914	US BANK	00165006560	SANITIZER	0.00	68.86
1011	98348	12/17/20	1914	US BANK	00165006570	LIGHTS-FIRE STN	0.00	69.75
1011	98348	12/17/20	1914	US BANK	00160006170	STINGRAY BAGS	0.00	73.27
1011	98348	12/17/20	1914	US BANK	00150005400	LCW WEBINAR-SB1383	0.00	75.00
1011	98348	12/17/20	1914	US BANK	00150005450	CONSTANT CONTACT-OCT	0.00	75.00
1011	98348	12/17/20	1914	US BANK	00160006120	KETTLEBELLS	0.00	89.98
1011	98348	12/17/20	1914	US BANK	00150005150	GOOGE DRIVE YR SUB	0.00	99.99
1011	98348	12/17/20	1914	US BANK	00160006120	F250 OIL CHANGE	0.00	107.11
1011	98348	12/17/20	1914	US BANK	00160006120	BTTY/DST PAN/BROOMS	0.00	107.96
1011	98348	12/17/20	1914	US BANK	00150005150	6 FILE BOXES	0.00	125.81
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	140.00
1011	98348	12/17/20	1914	US BANK	50900007700	TONER	0.00	145.45
1011	98348	12/17/20	1914	US BANK	00160006170	SUNGLASSES-PENNEL	0.00	147.54
1011	98348	12/17/20	1914	US BANK	00160006170	SUNGLASSES-MASON	0.00	149.38
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	163.29
1011	98348	12/17/20	1914	US BANK	00160006120	GYM EQUIP-BARBELL	0.00	179.37
1011	98348	12/17/20	1914	US BANK	00160006170	DISINFECTANT ATOMIZER	0.00	179.99
1011	98348	12/17/20	1914	US BANK	00160006170	MASKS/DISINFECTANT	0.00	180.91
1011	98348	12/17/20	1914	US BANK	00160006170	GLOVES/SANITIZER	0.00	181.05
1011	98348	12/17/20	1914	US BANK	00165006560	SANITIZER DISPENSERS	0.00	270.00
1011	98348	12/17/20	1914	US BANK	00150005400	JOB POSTING-FIN DIR	0.00	275.00
1011	98348	12/17/20	1914	US BANK	27060006170	GLOVES	0.00	289.64
1011	98348	12/17/20	1914	US BANK	00165006560	SNEEZE GUARDS	0.00	293.04
1011	98348	12/17/20	1914	US BANK	13560006120	GYM EQUIP-IRON NECK	0.00	452.54
1011	98348	12/17/20	1914	US BANK	00150005450	SONICWALL YR SUB	0.00	581.00
1011	98348	12/17/20	1914	US BANK	00165006560	SANITIZER DISPENSERS	0.00	635.57
1011	98348	12/17/20	1914	US BANK	13560006120	GYM EQUIPMENT-RVS HYP	0.00	1,091.51
1011	98348	12/17/20	1914	US BANK	13550005450	SERVER HARDWARE	0.00	1,122.70
1011	98348	12/17/20	1914	US BANK	00150005450	EMAIL FILTER SUB	0.00	1,163.00
1011	98348	12/17/20	1914	US BANK	13550005450	EMAIL SECURITY SUB	0.00	1,707.40
1011	98348	12/17/20	1914	US BANK	13550005450	TECH SPPRT-BACKUP SVR	0.00	2,056.15
1011	98348	12/17/20	1914	US BANK	00165006570	COVID PARTITIONS	0.00	2,379.89
TOTAL CHECK							0.00	15,527.94
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006560	CLEANING SUPPLIES	0.00	150.00
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	JANITORIAL SVC-NOV	0.00	540.00
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	COVID-19 JNTRLSVC-NOV	0.00	3,479.00
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	JANITORIAL SVC-NOV	0.00	6,610.00
TOTAL CHECK							0.00	10,779.00
1011	98350	12/17/20	2631	CLEAN STREET	00165006550	STREET SWP-NOV	0.00	3,431.28
1011	98351	12/17/20	1491	COASTAL FRONTIERS INC	45099266190	9926.21 TASK#2	0.00	3,248.00
1011	98352	12/17/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT 10/19-11/18	0.00	586.93
1011	98352	12/17/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT 11/19-12/18	0.00	586.93
TOTAL CHECK							0.00	1,173.86
1011	98353	12/17/20	2165	CULLIGAN OF SAN DIEGO	00160006170	DRNKNG WTR SVC-DEC	0.00	45.56
1011	98354	12/17/20	5951	DANIELLE F KING	00170007110	RIEMB-SANTA PRD DECOR	0.00	49.52

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98355	12/17/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-NOV	0.00	111.21
1011	98355	12/17/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-OCT	0.00	128.87
TOTAL CHECK							0.00	240.08
1011	98356	12/17/20	108	DEL MAR BLUE PRINT COMPA	00170007110	SANTA RIDE FLYERS	0.00	51.99
1011	98357	12/17/20	739	DEPARTMENT OF JUSTICE	00150005400	FINGERPRINT APP-NOV	0.00	32.00
1011	98358	12/17/20	5674	EMANUELS JONES AND ASSOC	00150005200	PROF SVC-DEC	0.00	2,500.00
1011	98359	12/17/20	2062	ENTERPRISE RENT A CAR	27060006120	STRIKETM-10/9-30-HANC	0.00	895.65
1011	98359	12/17/20	2062	ENTERPRISE RENT A CAR	27060006120	STRIKETM-11/5-27-PEST	0.00	895.87
1011	98359	12/17/20	2062	ENTERPRISE RENT A CAR	27060006120	STRKTM-8/21-9/20-BARR	0.00	2,064.28
TOTAL CHECK							0.00	3,855.80
1011	98360	12/17/20	5954	ENVIROMENTAL SCIENCE ASS	21355005550	B200361/1149 HIGHLAND-	0.00	1,757.50
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/26-10/30	0.00	1,653.72
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/26-10/30	0.00	562.21
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/19-10/23	0.00	9,420.92
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 11/02-11/06	0.00	11,247.15
TOTAL CHECK							0.00	22,884.00
1011	98362	12/17/20	5962	FANTASY CASINO	00150005400	EMPLYE APPRCTN EVENT	0.00	1,260.00
1011	98363	12/17/20	223	FEDEX	00150005150	SHIPPING-11/30/20	0.00	10.23
1011	98364	12/17/20	5124	JAMES HANCOCK	27060006120	STRIKE-CASTLE-10/9-30	0.00	248.60
1011	98365	12/17/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 11/12/20	0.00	6,542.47
1011	98365	12/17/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 12/25/20	0.00	9,990.92
TOTAL CHECK							0.00	16,533.39
1011	98366	12/17/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 12/25/20	0.00	1,902.85
1011	98367	12/17/20	5884	IMEG CORP	45993976510	9397.00 PROF SVC-NOV	0.00	1,150.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-JUL	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-AUG	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-SEP	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-OCT	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-NOV	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-DEC	0.00	49.00
TOTAL CHECK							0.00	294.00
1011	98369	12/17/20	2235	JEWEL EDSON	001	CSTMT-EDSON 2020	0.00	481.00
1011	98370	12/17/20	5371	JONATHAN MARK	001	RFND-CG3184/986 AVOCA	0.00	39,863.85
1011	98371	12/17/20	5606	JULIE'S PARTY PEOPLE	00170007110	SANTA/ELF-SANTA PARDE	0.00	125.00
1011	98372	12/17/20	3984	LEHIGH HANSON HEIDELBERG	00165006530	GRAVEL DUMPED	0.00	432.13

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98373	12/17/20	2226	LESA HEEBNER	001	CSTMT-HEEBNER 2020	0.00	504.00
1011	98374	12/17/20	3955	ARNOLD A LEWIN	27060006150	CERT CONSULT-CY2020	0.00	1,505.00
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-OCT	0.00	601.25
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-AUG	0.00	750.00
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-NOV	0.00	750.00
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-NOV	0.00	1,062.00
TOTAL CHECK								3,163.25
1011	98376	12/17/20	5549	MICHAEL BAKER INTERNATIO	21355005550	1718.03/0 IDA AVE	0.00	2,747.50
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 09/29&10/06	0.00	69.35
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 11/24&12/02	0.00	88.10
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 11/10&11/17	0.00	96.82
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 10/13&10/20	0.00	102.62
TOTAL CHECK								356.89
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.86
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	12.40
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	12.41
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	19.49
TOTAL CHECK								53.16
1011	98379	12/17/20	191	NAPA AUTO PARTS INC	00160006120	CLEANER/ANTI FREEZE	0.00	122.15
1011	98379	12/17/20	191	NAPA AUTO PARTS INC	00160006120	ANTI FREEZE/CLEANERS	0.00	123.80
TOTAL CHECK								245.95
1011	98380	12/17/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-10/20	0.00	68.29
1011	98380	12/17/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-11/10	0.00	1,649.63
TOTAL CHECK								1,717.92
1011	98381	12/17/20	1377	ONE DAY SIGNS	00165006540	GOLF PERMITS	0.00	122.57
1011	98382	12/17/20	1953	PALOMAR COLLEGE	001	FALL20-C#73176-DM	0.00	568.00
1011	98382	12/17/20	1953	PALOMAR COLLEGE	00160006120	FALL20-C#73176-SB	0.00	923.00
TOTAL CHECK								1,491.00
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-NOV	0.00	-8.20
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	2.93
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-NOV	0.00	5.00
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-NOV	0.00	8.20
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-NOV	0.00	8.20
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	31.00
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	31.96
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	58.73
TOTAL CHECK								137.82
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-MS	0.00	-27.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-MS	0.00	32.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-FC	0.00	32.00



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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-LC	0.00	32.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-PW	0.00	32.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-FS	0.00	37.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-CH	0.00	49.50
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-NOV-MS	0.00	27.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-JUL-MS	0.00	27.00
TOTAL CHECK								241.50
1011	98385	12/17/20	5354	PILLSBURY WINTHROP SHAW	00150005250	PROF SVC-JUL	0.00	1,299.50
1011	98386	12/17/20	2370	POUNEH SAMMAK	12050005460	2020 GYM RIEMB	0.00	360.00
1011	98387	12/17/20	416	REGIONAL COMMS SYS, MS 0	00160006120	CAP CODE-NOV	0.00	32.50
1011	98388	12/17/20	5966	RICHARD LEBERT	00170007110	RIEMB SANTA PRD SPPLS	0.00	113.09
1011	98389	12/17/20	3774	ROBERT BARRON	27060006120	STRK-REDSLMN-821-1008	0.00	1,358.53
1011	98390	12/17/20	4681	RYAN PESTER	27060006120	STRIKE-CASTLE-11/5-25	0.00	3,095.59
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	COVID-19 MASK DETAIL	0.00	1,363.77
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	001	CR TOW FEE-OCT	0.00	-273.55
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	21960006110	LAW ENFORCEMENT-OCT	0.00	12,482.02
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	LAW ENFORCEMENT-OCT	0.00	373,283.85
TOTAL CHECK								386,856.09
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979024 1103-120120	0.00	567.80
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979020 1103-120120	0.00	635.66
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979023 1103-120120	0.00	639.43
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979026 1103-120120	0.00	703.52
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006560	005506019 1103-120120	0.00	726.14
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979014 1103-120120	0.00	782.69
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979022 1103-120120	0.00	865.63
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20875007580	005506020 1103-120120	0.00	1,010.12
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	50900007700	005979008 1002-120120	0.00	82.85
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979012 1002-120120	0.00	117.34
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006560	005979005 1002-120120	0.00	373.85
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979010 1002-120120	0.00	801.66
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979009 1002-120120	0.00	932.35
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979007 1002-120120	0.00	1,372.27
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979006 1002-120120	0.00	1,580.01
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979011 1002-120120	0.00	496.16
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00160006120	005512000 0902-110220	0.00	567.72
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006530	011695000 1103-120120	0.00	122.58
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006550	011695000 1103-120120	0.00	71.99
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	50900007700	005506014 1103-120120	0.00	762.69
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006520	005506014 1103-120120	0.00	254.23
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979017 1103-120120	0.00	63.32
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979018 1103-120120	0.00	93.48
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979021 1103-120120	0.00	243.58
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979019 1103-120120	0.00	244.28
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006560	005506018 1103-120120	0.00	311.44

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FUND - 001 - GENERAL FUND

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1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979015 1103-120120	0.00	435.85
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979016 1103-120120	0.00	488.63
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979025 1103-120120	0.00	488.63
TOTAL CHECK							0.00	15,835.90
1011	98394	12/17/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-OCT	0.00	2,290.54
1011	98394	12/17/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-SEP	0.00	2,318.26
TOTAL CHECK							0.00	4,608.80
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-FC	0.00	65.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-OCT-MS	0.00	65.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-OCT-FC	0.00	65.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-OCT-FS	0.00	120.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-FS	0.00	120.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-LC	0.00	120.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-CH	0.00	245.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-CH	0.00	137.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-FS	0.00	276.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-CH	0.00	880.00
TOTAL CHECK							0.00	2,093.00
1011	98396	12/17/20	1459	JASON SHOOK	12050005460	2020 GYM REIMB	0.00	480.00
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	509	9856.21 REHB RTN	0.00	-7,148.25
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	459	9456.21 REHB RTN	0.00	-6,558.25
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	50998566510	9856.21 DRN REHB	0.00	135,816.75
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	50998566510	9856.21REHB RTN	0.00	7,148.25
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	45994566510	9456.21 DRN REHB	0.00	124,606.75
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	45994566510	9456.21REHB RTN	0.00	6,558.25
TOTAL CHECK							0.00	260,423.50
1011	98398	12/17/20	1231	STAPLES CONTRACT & COMME	00165006510	PENS/SANTZR/PST ITS	0.00	86.63
1011	98398	12/17/20	1231	STAPLES CONTRACT & COMME	00165006510	PENS/FOLDERS/SCISSRS	0.00	121.89
TOTAL CHECK							0.00	208.52
1011	98399	12/17/20	1978	THE STATE CHEMICAL MFG C	00160006120	SOAP PRO SENSOR	0.00	399.74
1011	98400	12/17/20	1789	DEPARTMENT OF INDUSTRIAL	12550005465	FY21 OSIP WRKR COMP	0.00	7,490.48
1011	98401	12/17/20	5814	STREAMLINE AUTOMATION SY	00160006120	FY21 FRE INSPCTN SFTWR	0.00	2,408.00
1011	98402	12/17/20	5963	SUMMIT EROSION CONTROL	00165006520	PALLET OF SAND BAGS	0.00	256.07
1011	98403	12/17/20	4959	TELECOM LAW FIRM	21355005550	DUP20-003/200 MARINE V	0.00	2,350.00
1011	98403	12/17/20	4959	TELECOM LAW FIRM	00150005250	COX PROF SVC-SEP	0.00	5,100.00
TOTAL CHECK							0.00	7,450.00
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-SEP	0.00	3,063.40
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-NOV	0.00	4,003.80
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-JUL	0.00	5,581.90
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-AUG	0.00	6,564.60
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-OCT	0.00	6,884.50

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TOTAL CHECK							0.00	26,098.20
1011	98405	12/17/20	4899	ZACHARY TOTH	00160006120	ICS 300-TOTH 10/15-21	0.00	300.00
1011	98406	12/17/20	5890	TYLER TECHNOLOGIES, INC.	13550005300	IMPLMNTN-NON-HR-NOV	0.00	10,880.00
1011	98407	12/17/20	40	UNDERGROUND SVC ALERT OF	00165006510	DIG ALERT-NOV	0.00	72.70
1011	98407	12/17/20	40	UNDERGROUND SVC ALERT OF	00165006510	CA ST REGLRTY-NOV	0.00	36.45
TOTAL CHECK							0.00	109.15
1011	98408	12/17/20	1458	THE UNIFORM SPECIALIST	00160006120	BUGLE CUT OUT-FORD	0.00	27.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00150005450	IT CELL 10/24-11/23	0.00	152.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00150005450	IT CELL 09/24-10/23	0.00	152.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 09/29-10/28	0.00	462.77
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 09/29-10/28	0.00	114.03
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 09/29-10/28	0.00	69.27
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006170	MS IPADS -09/29-10/28	0.00	152.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	21100007600	PW CELL 11/02-12/01	0.00	5.95
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	50900007700	PW CELL 11/02-12/01	0.00	5.95
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006540	PW CELL 11/02-12/01	0.00	16.36
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006560	PW CELL 11/02-12/01	0.00	16.36
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006520	PW CELL 11/02-12/01	0.00	20.82
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006530	PW CELL 11/02-12/01	0.00	20.82
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006510	PW CELL 11/02-12/01	0.00	20.83
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 10/29-11/28	0.00	470.19
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 10/29-11/28	0.00	114.03
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 10/29-11/28	0.00	64.84
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006170	MS IPADS -10/29-11/28	0.00	152.04
TOTAL CHECK							0.00	2,010.38
1011	98410	12/17/20	4933	GREGORY WADE	12050005460	2020 GYM RIEMB	0.00	265.20
1011	98411	12/17/20	5952	WAR RHINO INC.	459	9407.21 CH MNT CTN RT	0.00	-698.28
1011	98411	12/17/20	5952	WAR RHINO INC.	459	9407.21 CH MNT CTN RT	0.00	-489.31
1011	98411	12/17/20	5952	WAR RHINO INC.	459	9407.21 CH DFRD MNT R	0.00	-142.65
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH DFRD MNT	0.00	2,710.33
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH DFRD MNT RT	0.00	142.65
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CNTG	0.00	13,267.27
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CTN RTN	0.00	698.28
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CNTG	0.00	9,297.02
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CTN RTN	0.00	489.31
TOTAL CHECK							0.00	25,274.62
1011	98412	12/17/20	4844	WARWICK GROUP CONSULTANT	45099266190	9926.21 PROF SVC-NOV	0.00	4,945.00
1011	98413	12/17/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-OCT	0.00	499.00
1011	98413	12/17/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-NOV	0.00	499.00
1011	98413	12/17/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-DEC	0.00	499.00
TOTAL CHECK							0.00	1,497.00
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006520	AUTO FUEL-11/08-12/07	0.00	249.35

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1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006560	AUTO FUEL-11/08-12/07	0.00	46.75
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006570	AUTO FUEL-11/08-12/07	0.00	77.92
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006510	AUTO FUEL-11/08-12/07	0.00	85.71
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	50900007700	AUTO FUEL-11/08-12/07	0.00	93.51
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00160006140	AUTO FUEL-11/08-12/07	0.00	159.32
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00160006120	AUTO FUEL-11/08-12/07	0.00	183.72
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006530	AUTO FUEL-11/08-12/07	0.00	225.98
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00160006170	AUTO FUEL-11/08-12/07	0.00	469.71
TOTAL CHECK							0.00	1,591.97
1011	98415	12/17/20	37	XEROX CORPORATION	00150005350	FIERY CLRKS-NOV	0.00	122.84
1011	98415	12/17/20	37	XEROX CORPORATION	00150005350	FIERY UPSTAIRS-NOV	0.00	132.61
1011	98415	12/17/20	37	XEROX CORPORATION	00150005350	FIERY PLANNING-NOV	0.00	132.61
TOTAL CHECK							0.00	388.06
1011	98416	12/17/20	5792	XMEDIUS AMERICA, INC	00150005450	TTS LICENSES (4)	0.00	2,050.67
1011	98417	01/07/21	1135	AFFORDABLE PIPELINE SERV	50900007700	I-SEWER CLEANING	0.00	425.00
1011	98417	01/07/21	1135	AFFORDABLE PIPELINE SERV	50900007700	I-SEWER CLEANING	0.00	425.00
TOTAL CHECK							0.00	850.00
1011	98418	01/07/21	2137	AFLAC	001	DECEMBER 20	0.00	827.66
1011	98419	01/07/21	5485	AMERICAN BUSINESS FORMS	00170007110	SANTA SLEIGH BANNERS	0.00	194.56
1011	98420	01/07/21	SEA0250	ANITA FARGO	550	2020 NET SURPLUS COMP	0.00	143.74
1011	98421	01/07/21	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-PW	0.00	107.50
1011	98422	01/07/21	269	DUDEK & ASSOCIATES INC.	50998336510	9833 PUMP STN-PHS-NOV	0.00	3,068.66
1011	98423	01/07/21	5968	DVBE SUPPLY	00165006530	FLAG POLES & ACCSSRYS	0.00	2,241.69
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	500.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	700.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING	0.00	700.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	790.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	900.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING	0.00	790.00
TOTAL CHECK							0.00	4,380.00
1011	98425	01/07/21	223	FEDEX	00150005150	SHIPPING-12/08/20	0.00	33.41
1011	98426	01/07/21	5124	JAMES HANCOCK	00160006120	ROPE RSVR-HANCK 9/20	0.00	1,050.00
1011	98427	01/07/21	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 01/08/21	0.00	9,642.32
1011	98428	01/07/21	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 01/08/21	0.00	2,132.68
1011	98429	01/07/21	5970	JULIE VAN DER AUWERA	00170007110	REIMB-DCR & SNTA SPLS	0.00	71.94
1011	98430	01/07/21	5889	KOA HILLS CONSULTING, LL	13550005200	PROJ MANAGMNT-DEC	0.00	4,080.00

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1011	98430	01/07/21	5889	KOA HILLS CONSULTING, LL	13550005300	PROJ MANAGMNT-DEC	0.00	9,520.00
TOTAL CHECK							0.00	13,600.00
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	VISION DEC 20	0.00	441.56
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE TIMING DEC20	0.00	-19.92
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	00150005400	ROUNDING - NOV 20	0.00	-0.21
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE COBRA DEC20	0.00	11.29
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE COBRA DEC20	0.00	11.29
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE COBRA DEC20	0.00	20.33
TOTAL CHECK							0.00	464.34
1011	98432	01/07/21	5549	MICHAEL BAKER INTERNATIO	22093826510	9382.03 LSF CORR-III	0.00	65,094.16
1011	98432	01/07/21	5549	MICHAEL BAKER INTERNATIO	22893826510	9382.03 LSF CORR-III	0.00	7,232.68
TOTAL CHECK							0.00	72,326.84
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.86
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	12.40
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	12.41
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	19.49
TOTAL CHECK							0.00	53.16
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	00165006530	STREET LNDSCP SVC-NOV	0.00	1,827.01
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	00165006560	PRKS LNDSCP SVC-NOV	0.00	11,625.14
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	00165006570	PUBFAC LNDSCP SVC-NOV	0.00	2,509.06
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	20375007510	MID#33 LNDSCP SVC-NOV	0.00	2,078.87
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	20875007580	CRT LNDSCP SVC-NOV	0.00	3,995.90
TOTAL CHECK							0.00	22,035.98
1011	98435	01/07/21	341	PACIFIC SAFETY CENTER	50900007700	MBSHP RNWL11/20-10/21	0.00	145.00
1011	98436	01/07/21	5362	PATRICIA LETTS	12050005460	2020 GYM RIEMB	0.00	339.33
1011	98437	01/07/21	5939	POPSHAP LLC	24660006150	3-TEMP SCR N KSK W/SPRT	0.00	8,249.34
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING DEC 20	0.00	134.90
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	00150005400	ADMIN FEE DEC 20	0.00	2.25
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING DEC 20	0.00	-78.00
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	001	DENTAL DEC 20	0.00	2,591.20
TOTAL CHECK							0.00	2,650.35
1011	98439	01/07/21	5835	RAFTELIS FINANCIAL CONSU	50900007700	SWR RATE STUDY-NOV	0.00	465.00
1011	98440	01/07/21	SEA0336	ROBERT MEIGS	550	2020 NET SURPLUS COMP	0.00	6.64
1011	98441	01/07/21	141	SANTA FE IRRIGATION DIST	20475007520	005979029 1016-121520	0.00	779.60
1011	98442	01/07/21	169	SDG&E CO INC	00165006540	UTILITIES-10/06-11/05	0.00	977.10
1011	98442	01/07/21	169	SDG&E CO INC	00165006530	UTILITIES-10/06-11/05	0.00	740.99
1011	98442	01/07/21	169	SDG&E CO INC	20375007510	UTILITIES-10/06-11/05	0.00	2,629.10
1011	98442	01/07/21	169	SDG&E CO INC	00165006570	UTILITIES-10/06-11/05	0.00	4,837.12
1011	98442	01/07/21	169	SDG&E CO INC	20375007510	UTILITIES-11/05-12/07	0.00	2,258.58
1011	98442	01/07/21	169	SDG&E CO INC	00165006570	UTILITIES-11/05-12/07	0.00	4,888.06

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1011	98442	01/07/21	169	SDG&E CO INC	21100007600	UTILITIES-11/04-12/06	0.00	6,524.79
1011	98442	01/07/21	169	SDG&E CO INC	00165006540	UTILITIES-11/04-12/06	0.00	459.81
1011	98442	01/07/21	169	SDG&E CO INC	00165006530	UTILITIES-11/04-12/06	0.00	478.38
1011	98442	01/07/21	169	SDG&E CO INC	00165006530	UTILITIES-11/05-12/07	0.00	758.64
1011	98442	01/07/21	169	SDG&E CO INC	00165006540	UTILITIES-11/05-12/07	0.00	969.26
1011	98442	01/07/21	169	SDG&E CO INC	00165006570	UTILITIES-11/04-12/06	0.00	1,572.04
TOTAL CHECK							0.00	27,093.87
1011	98443	01/07/21	5956	SDY MANAGEMENT, LLC	00170007100	DIAL-A-RIDE-11/25/20	0.00	86.40
1011	98444	01/07/21	3909	SECTRAN SECURITY INC	12050005460	COURIER FUEL-DEC	0.00	15.25
1011	98444	01/07/21	3909	SECTRAN SECURITY INC	12050005460	COURIER SCV-DEC	0.00	113.37
TOTAL CHECK							0.00	128.62
1011	98445	01/07/21	5357	SES SECURE E-WASTE SOLUT	00165006520	BTTRY/BULB DESTRUCTN	0.00	975.00
1011	98446	01/07/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-OCT	0.00	1,087.36
1011	98446	01/07/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-OCT	0.00	1,049.28
TOTAL CHECK							0.00	2,136.64
1011	98447	01/07/21	5969	SPOT ON STITCHING EMBROI	00160006120	COVID-19 MASKS	0.00	431.00
1011	98448	01/07/21	5743	STANDARD PLUMBING SUPPLY	00165006570	PIPE/ABS CPLNG/SEAL	0.00	59.66
1011	98448	01/07/21	5743	STANDARD PLUMBING SUPPLY	00165006570	ABS CPLNG/CEMNT/PIPE	0.00	66.96
1011	98448	01/07/21	5743	STANDARD PLUMBING SUPPLY	00165006570	COUPLING/PIPE	0.00	-14.90
TOTAL CHECK							0.00	111.72
1011	98449	01/07/21	SEA0246	SUSAN MURFIN	550	2020 NET SURPLUS COMP	0.00	119.25
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	CH 1GB INTERNET-NOV	0.00	266.40
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	CH 1GB INTERNET-DEC	0.00	999.00
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	MS INTERNET-NOV	0.00	105.00
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	PW INTERNET-NOV	0.00	120.00
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	PW INTERNET-DEC	0.00	450.00
TOTAL CHECK							0.00	1,940.40
1011	98451	01/07/21	4534	TRAFFIC SUPPLY, INC	00165006540	MULIPLE SINAGE	0.00	1,793.78
1011	98452	01/07/21	2759	TRISTAR RISK MANAGEMENT	12550005465	FY21 CLAIMS SRVC-Q3	0.00	6,829.55
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	COPIER CLRKS-NOV	0.00	271.68
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS BLK-10/30-12/3	0.00	99.82
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS CLR-10/30-12/3	0.00	475.60
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	COPIER UPSTAIRS-NOV	0.00	298.25
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS BLK-10/30-12/3	0.00	97.05
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS CLR-10/30-12/3	0.00	333.00
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	COPIER PLANNING-NOV	0.00	546.78
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS BLK-10/30-12/3	0.00	266.16
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS CLR-10/30-12/3	0.00	259.11
TOTAL CHECK							0.00	2,647.45
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-AUG	0.00	1,650.00



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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-NOV	0.00	1,687.50
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-OCT	0.00	1,912.50
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-JUL	0.00	1,987.50
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-SEP	0.00	2,812.50
TOTAL CHECK							0.00	10,050.00
1011	V9000199	12/18/20	1561	CDW GOVERNMENT INC	13550005450	TAPE SRVR LICENSES	0.00	10,619.00
1011	V9000199	12/18/20	1561	CDW GOVERNMENT INC	00150005450	3 YEAR VM SUPPORT SUB	0.00	6,361.26
TOTAL CHECK							0.00	16,980.26
1011	V9000200	12/18/20	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-NOV	0.00	10,099.50
1011	V9000201	12/18/20	4600	KYLE KOSZEWNIK	12050005460	2020 GYM REIMBURSMENT	0.00	480.00
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	9.95
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	17.50
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	192.50
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	12050005460	PROF SERV PE 11/19/20	0.00	1,368.07
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	5,500.00
TOTAL CHECK							0.00	7,088.02
1011	V9000203	12/18/20	5843	MIDAMERICA	16053005360	CTYSOLANAG5-JAN 21	0.00	5,580.00
1011	V9000204	12/18/20	4260	DAVID MITCHELL	00160006120	ICS300-MTCHLL10/19-21	0.00	300.00
1011	V9000204	12/18/20	4260	DAVID MITCHELL	00160006120	INSTCTR-6/15-18 MITCH	0.00	355.00
TOTAL CHECK							0.00	655.00
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-JUL	0.00	273.00
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-NOV	0.00	308.00
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-SEP	0.00	401.50
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-AUG	0.00	486.75
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-OCT	0.00	495.00
TOTAL CHECK							0.00	1,964.25
1011	V9000206	12/18/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 12/25/20	0.00	813.50
1011	V9000207	12/18/20	5172	JULIETTE THAYER	12050005460	2020 GYM RIEMB	0.00	480.00
1011	V9000208	01/07/21	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-DEC	0.00	1,050.00
1011	V9000209	01/07/21	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 01/08/21	0.00	763.50
1011	V9000210	01/07/21	4465	SUN LIFE FINANCIAL	001	DEC 20 LIFE&ADD INS	0.00	1,087.92
1011	V9000210	01/07/21	4465	SUN LIFE FINANCIAL	001	DEC 20 LTD	0.00	1,490.78
1011	V9000210	01/07/21	4465	SUN LIFE FINANCIAL	001	DEC 20 SUPP LIFE INS	0.00	233.25
TOTAL CHECK							0.00	2,811.95
TOTAL CASH ACCOUNT							0.00	1,249,160.09
TOTAL FUND							0.00	1,249,160.09
TOTAL REPORT							0.00	1,249,160.09

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FUND - 001 - GENERAL FUND

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1011	98339	12/17/20	4706	24 HOUR ELEVATOR, INC	00165006570	ELVTR MAINT-DEC	0.00	168.00
1011	98340	12/17/20	4794	AMR	27060006120	CSA17.21 SYRINGE	0.00	10.51
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012278 9/24-10/23	0.00	3,278.11
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012278 1024-1123	0.00	3,315.68
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012282 9/24-10/23	0.00	21.04
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391012282 1024-1123	0.00	22.62
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391053641 9/24-10/23	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391053641 1024-1123	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391062899 9/24-10/23	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00150005450	9391062899 1024-1123	0.00	164.95
1011	98341	12/17/20	4832	AT&T CALNET 3	00160006120	9391012280 9/24-10/23	0.00	574.76
1011	98341	12/17/20	4832	AT&T CALNET 3	00160006120	9391012280 1024-1123	0.00	584.61
1011	98341	12/17/20	4832	AT&T CALNET 3	00160006150	9391012275 1024-1123	0.00	164.95
TOTAL CHECK						0.00	8,621.57	
1011	98342	12/17/20	5174	MEGAN BAVIN	12050005460	2020 GYM RIEMB	0.00	480.00
1011	98343	12/17/20	5029	BILL SMITH FOREIGN CAR S	00160006170	FRNTR-BRAKES	0.00	755.94
1011	98344	12/17/20	3069	JOSHUA BLEA	50900007700	MILEAGE-12/6/20	0.00	28.75
1011	98345	12/17/20	5964	BTF BUILD LLC	001	RFND-SBGR-390/4250 N	0.00	79,755.18
1011	98348	12/17/20	1914	US BANK	00160006120	ICE	0.00	1.92
1011	98348	12/17/20	1914	US BANK	00150005400	SYMPATHY CARD	0.00	5.38
1011	98348	12/17/20	1914	US BANK	00160006170	DO NOT ENTER SIGNS	0.00	9.64
1011	98348	12/17/20	1914	US BANK	00160006120	ICE	0.00	9.67
1011	98348	12/17/20	1914	US BANK	00150005450	HOSTING DOMAINS-SEP	0.00	9.95
1011	98348	12/17/20	1914	US BANK	00160006170	PADLOCK	0.00	10.65
1011	98348	12/17/20	1914	US BANK	00160006170	CHECKERED FLAGS	0.00	12.82
1011	98348	12/17/20	1914	US BANK	00160006170	DETERGENT	0.00	12.87
1011	98348	12/17/20	1914	US BANK	00160006120	THERMOMETER	0.00	12.92
1011	98348	12/17/20	1914	US BANK	00165006570	SECURITY LGHT-LC	0.00	16.97
1011	98348	12/17/20	1914	US BANK	00160006170	GLOVES/SANITIZER	0.00	19.40
1011	98348	12/17/20	1914	US BANK	00160006170	SPIKE FLAG POLES	0.00	21.50
1011	98348	12/17/20	1914	US BANK	00160006170	MASKS	0.00	23.68
1011	98348	12/17/20	1914	US BANK	00160006120	ACETONE/TAPE	0.00	28.53
1011	98348	12/17/20	1914	US BANK	00150005450	ERGO MOUSE	0.00	32.31
1011	98348	12/17/20	1914	US BANK	00150005150	COUNCIL MINUTES-10/14	0.00	39.50
1011	98348	12/17/20	1914	US BANK	00160006170	AIR COMPRESSOR PARTS	0.00	40.92
1011	98348	12/17/20	1914	US BANK	00150005150	2 FILE BOXES	0.00	41.94
1011	98348	12/17/20	1914	US BANK	00150005150	COUNCIL MINUTES-09/23	0.00	45.50
1011	98348	12/17/20	1914	US BANK	00160006170	LINE SPOOL	0.00	51.72
1011	98348	12/17/20	1914	US BANK	00150005200	LA TIMES-SEPT-DEC	0.00	51.87
1011	98348	12/17/20	1914	US BANK	00160006170	N95 MASKS	0.00	52.99
1011	98348	12/17/20	1914	US BANK	13550005450	ADOBE SUB-ARMBURST	0.00	56.84
1011	98348	12/17/20	1914	US BANK	00150005400	SYMPATHY FLOWERS	0.00	57.10
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	61.19
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	61.20
1011	98348	12/17/20	1914	US BANK	00160006170	ALCOHOL WIPES	0.00	61.81

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1011	98348	12/17/20	1914	US BANK	00165006560	SANITIZER	0.00	68.86
1011	98348	12/17/20	1914	US BANK	00165006570	LIGHTS-FIRE STN	0.00	69.75
1011	98348	12/17/20	1914	US BANK	00160006170	STINGRAY BAGS	0.00	73.27
1011	98348	12/17/20	1914	US BANK	00150005400	LCW WEBINAR-SB1383	0.00	75.00
1011	98348	12/17/20	1914	US BANK	00150005450	CONSTANT CONTACT-OCT	0.00	75.00
1011	98348	12/17/20	1914	US BANK	00160006120	KETTLEBELLS	0.00	89.98
1011	98348	12/17/20	1914	US BANK	00150005150	GOOGE DRIVE YR SUB	0.00	99.99
1011	98348	12/17/20	1914	US BANK	00160006120	F250 OIL CHANGE	0.00	107.11
1011	98348	12/17/20	1914	US BANK	00160006120	BTTY/DST PAN/BROOMS	0.00	107.96
1011	98348	12/17/20	1914	US BANK	00150005150	6 FILE BOXES	0.00	125.81
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	140.00
1011	98348	12/17/20	1914	US BANK	50900007700	TONER	0.00	145.45
1011	98348	12/17/20	1914	US BANK	00160006170	SUNGLASSES-PENNEL	0.00	147.54
1011	98348	12/17/20	1914	US BANK	00160006170	SUNGLASSES-MASON	0.00	149.38
1011	98348	12/17/20	1914	US BANK	13550005450	ZOOM SUBSCRIPTIONS	0.00	163.29
1011	98348	12/17/20	1914	US BANK	00160006120	GYM EQUIP-BARBELL	0.00	179.37
1011	98348	12/17/20	1914	US BANK	00160006170	DISINFECTANT ATOMIZER	0.00	179.99
1011	98348	12/17/20	1914	US BANK	00160006170	MASKS/DISINFECTANT	0.00	180.91
1011	98348	12/17/20	1914	US BANK	00160006170	GLOVES/SANITIZER	0.00	181.05
1011	98348	12/17/20	1914	US BANK	00165006560	SANITIZER DISPENSERS	0.00	270.00
1011	98348	12/17/20	1914	US BANK	00150005400	JOB POSTING-FIN DIR	0.00	275.00
1011	98348	12/17/20	1914	US BANK	27060006170	GLOVES	0.00	289.64
1011	98348	12/17/20	1914	US BANK	00165006560	SNEEZE GUARDS	0.00	293.04
1011	98348	12/17/20	1914	US BANK	13560006120	GYM EQUIP-IRON NECK	0.00	452.54
1011	98348	12/17/20	1914	US BANK	00150005450	SONICWALL YR SUB	0.00	581.00
1011	98348	12/17/20	1914	US BANK	00165006560	SANITIZER DISPENSERS	0.00	635.57
1011	98348	12/17/20	1914	US BANK	13560006120	GYM EQUIPMENT-RVS HYP	0.00	1,091.51
1011	98348	12/17/20	1914	US BANK	13550005450	SERVER HARDWARE	0.00	1,122.70
1011	98348	12/17/20	1914	US BANK	00150005450	EMAIL FILTER SUB	0.00	1,163.00
1011	98348	12/17/20	1914	US BANK	13550005450	EMAIL SECURITY SUB	0.00	1,707.40
1011	98348	12/17/20	1914	US BANK	13550005450	TECH SPPRT-BACKUP SVR	0.00	2,056.15
1011	98348	12/17/20	1914	US BANK	00165006570	COVID PARTITIONS	0.00	2,379.89
TOTAL CHECK							0.00	15,527.94
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006560	CLEANING SUPPLIES	0.00	150.00
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	JANITORIAL SVC-NOV	0.00	540.00
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	COVID-19 JNTRLSVC-NOV	0.00	3,479.00
1011	98349	12/17/20	5822	CALIFORNIA OFFICE CLEANI	00165006570	JANITORIAL SVC-NOV	0.00	6,610.00
TOTAL CHECK							0.00	10,779.00
1011	98350	12/17/20	2631	CLEAN STREET	00165006550	STREET SWP-NOV	0.00	3,431.28
1011	98351	12/17/20	1491	COASTAL FRONTIERS INC	45099266190	9926.21 TASK#2	0.00	3,248.00
1011	98352	12/17/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT 10/19-11/18	0.00	586.93
1011	98352	12/17/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT 11/19-12/18	0.00	586.93
TOTAL CHECK							0.00	1,173.86
1011	98353	12/17/20	2165	CULLIGAN OF SAN DIEGO	00160006170	DRNKNG WTR SVC-DEC	0.00	45.56
1011	98354	12/17/20	5951	DANIELLE F KING	00170007110	RIEMB-SANTA PRD DECOR	0.00	49.52

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1011	98355	12/17/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-NOV	0.00	111.21
1011	98355	12/17/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-OCT	0.00	128.87
TOTAL CHECK							0.00	240.08
1011	98356	12/17/20	108	DEL MAR BLUE PRINT COMPA	00170007110	SANTA RIDE FLYERS	0.00	51.99
1011	98357	12/17/20	739	DEPARTMENT OF JUSTICE	00150005400	FINGERPRINT APP-NOV	0.00	32.00
1011	98358	12/17/20	5674	EMANUELS JONES AND ASSOC	00150005200	PROF SVC-DEC	0.00	2,500.00
1011	98359	12/17/20	2062	ENTERPRISE RENT A CAR	27060006120	STRIKETM-10/9-30-HANC	0.00	895.65
1011	98359	12/17/20	2062	ENTERPRISE RENT A CAR	27060006120	STRIKETM-11/5-27-PEST	0.00	895.87
1011	98359	12/17/20	2062	ENTERPRISE RENT A CAR	27060006120	STRKTM-8/21-9/20-BARR	0.00	2,064.28
TOTAL CHECK							0.00	3,855.80
1011	98360	12/17/20	5954	ENVIROMENTAL SCIENCE ASS	21355005550	B200361/1149 HIGHLAND-	0.00	1,757.50
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/26-10/30	0.00	1,653.72
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/26-10/30	0.00	562.21
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 10/19-10/23	0.00	9,420.92
1011	98361	12/17/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 11/02-11/06	0.00	11,247.15
TOTAL CHECK							0.00	22,884.00
1011	98362	12/17/20	5962	FANTASY CASINO	00150005400	EMPLYE APPRCTN EVENT	0.00	1,260.00
1011	98363	12/17/20	223	FEDEX	00150005150	SHIPPING-11/30/20	0.00	10.23
1011	98364	12/17/20	5124	JAMES HANCOCK	27060006120	STRIKE-CASTLE-10/9-30	0.00	248.60
1011	98365	12/17/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 11/12/20	0.00	6,542.47
1011	98365	12/17/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 12/25/20	0.00	9,990.92
TOTAL CHECK							0.00	16,533.39
1011	98366	12/17/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 12/25/20	0.00	1,902.85
1011	98367	12/17/20	5884	IMEG CORP	45993976510	9397.00 PROF SVC-NOV	0.00	1,150.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-JUL	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-AUG	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-SEP	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-OCT	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-NOV	0.00	49.00
1011	98368	12/17/20	5399	INBOUND DESIGN INC.	55000007750	SEA WEBSITE MANT-DEC	0.00	49.00
TOTAL CHECK							0.00	294.00
1011	98369	12/17/20	2235	JEWEL EDSON	001	CSTMT-EDSON 2020	0.00	481.00
1011	98370	12/17/20	5371	JONATHAN MARK	001	RFND-CG3184/986 AVOCA	0.00	39,863.85
1011	98371	12/17/20	5606	JULIE'S PARTY PEOPLE	00170007110	SANTA/ELF-SANTA PARDE	0.00	125.00
1011	98372	12/17/20	3984	LEHIGH HANSON HEIDELBERG	00165006530	GRAVEL DUMPED	0.00	432.13

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1011	98373	12/17/20	2226	LESA HEEBNER	001	CSTMT-HEEBNER 2020	0.00	504.00
1011	98374	12/17/20	3955	ARNOLD A LEWIN	27060006150	CERT CONSULT-CY2020	0.00	1,505.00
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-OCT	0.00	601.25
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-AUG	0.00	750.00
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-NOV	0.00	750.00
1011	98375	12/17/20	5014	MANAGED SOLUTION	00150005450	PROF SVC-NOV	0.00	1,062.00
TOTAL CHECK								3,163.25
1011	98376	12/17/20	5549	MICHAEL BAKER INTERNATIO	21355005550	1718.03/0 IDA AVE	0.00	2,747.50
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 09/29&10/06	0.00	69.35
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 11/24&12/02	0.00	88.10
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 11/10&11/17	0.00	96.82
1011	98377	12/17/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY 10/13&10/20	0.00	102.62
TOTAL CHECK								356.89
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.86
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	12.40
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	12.41
1011	98378	12/17/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	19.49
TOTAL CHECK								53.16
1011	98379	12/17/20	191	NAPA AUTO PARTS INC	00160006120	CLEANER/ANTI FREEZE	0.00	122.15
1011	98379	12/17/20	191	NAPA AUTO PARTS INC	00160006120	ANTI FREEZE/CLEANERS	0.00	123.80
TOTAL CHECK								245.95
1011	98380	12/17/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-10/20	0.00	68.29
1011	98380	12/17/20	2019	NORTH COUNTY EVS, INC	00160006120	ON CALL REPAIR-11/10	0.00	1,649.63
TOTAL CHECK								1,717.92
1011	98381	12/17/20	1377	ONE DAY SIGNS	00165006540	GOLF PERMITS	0.00	122.57
1011	98382	12/17/20	1953	PALOMAR COLLEGE	001	FALL20-C#73176-DM	0.00	568.00
1011	98382	12/17/20	1953	PALOMAR COLLEGE	00160006120	FALL20-C#73176-SB	0.00	923.00
TOTAL CHECK								1,491.00
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-NOV	0.00	-8.20
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	2.93
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-NOV	0.00	5.00
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-NOV	0.00	8.20
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-NOV	0.00	8.20
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	31.00
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	31.96
1011	98383	12/17/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-NOV	0.00	58.73
TOTAL CHECK								137.82
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-JUL-MS	0.00	-27.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-MS	0.00	32.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-FC	0.00	32.00

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1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-LC	0.00	32.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-PW	0.00	32.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-FS	0.00	37.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-NOV-CH	0.00	49.50
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-NOV-MS	0.00	27.00
1011	98384	12/17/20	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-JUL-MS	0.00	27.00
TOTAL CHECK							0.00	241.50
1011	98385	12/17/20	5354	PILLSBURY WINTHROP SHAW	00150005250	PROF SVC-JUL	0.00	1,299.50
1011	98386	12/17/20	2370	POUNEH SAMMAK	12050005460	2020 GYM RIEMB	0.00	360.00
1011	98387	12/17/20	416	REGIONAL COMMS SYS, MS 0	00160006120	CAP CODE-NOV	0.00	32.50
1011	98388	12/17/20	5966	RICHARD LEBERT	00170007110	RIEMB SANTA PRD SPPLS	0.00	113.09
1011	98389	12/17/20	3774	ROBERT BARRON	27060006120	STRK-REDSLMN-821-1008	0.00	1,358.53
1011	98390	12/17/20	4681	RYAN PESTER	27060006120	STRIKE-CASTLE-11/5-25	0.00	3,095.59
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	COVID-19 MASK DETAIL	0.00	1,363.77
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	001	CR TOW FEE-OCT	0.00	-273.55
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	21960006110	LAW ENFORCEMENT-OCT	0.00	12,482.02
1011	98391	12/17/20	257	SAN DIEGO COUNTY SHERIFF	00160006110	LAW ENFORCEMENT-OCT	0.00	373,283.85
TOTAL CHECK							0.00	386,856.09
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979024 1103-120120	0.00	567.80
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979020 1103-120120	0.00	635.66
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979023 1103-120120	0.00	639.43
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979026 1103-120120	0.00	703.52
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006560	005506019 1103-120120	0.00	726.14
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979014 1103-120120	0.00	782.69
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979022 1103-120120	0.00	865.63
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20875007580	005506020 1103-120120	0.00	1,010.12
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	50900007700	005979008 1002-120120	0.00	82.85
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979012 1002-120120	0.00	117.34
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006560	005979005 1002-120120	0.00	373.85
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979010 1002-120120	0.00	801.66
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979009 1002-120120	0.00	932.35
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979007 1002-120120	0.00	1,372.27
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979006 1002-120120	0.00	1,580.01
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979011 1002-120120	0.00	496.16
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00160006120	005512000 0902-110220	0.00	567.72
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006530	011695000 1103-120120	0.00	122.58
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006550	011695000 1103-120120	0.00	71.99
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	50900007700	005506014 1103-120120	0.00	762.69
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006520	005506014 1103-120120	0.00	254.23
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979017 1103-120120	0.00	63.32
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979018 1103-120120	0.00	93.48
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979021 1103-120120	0.00	243.58
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979019 1103-120120	0.00	244.28
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	00165006560	005506018 1103-120120	0.00	311.44



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1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979015 1103-120120	0.00	435.85
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979016 1103-120120	0.00	488.63
1011	98393	12/17/20	141	SANTA FE IRRIGATION DIST	20475007520	005979025 1103-120120	0.00	488.63
TOTAL CHECK								15,835.90
1011	98394	12/17/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-OCT	0.00	2,290.54
1011	98394	12/17/20	169	SDG&E CO INC	55000007750	SEA CCA SVC-SEP	0.00	2,318.26
TOTAL CHECK								4,608.80
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-FC	0.00	65.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-OCT-MS	0.00	65.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-OCT-FC	0.00	65.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-OCT-FS	0.00	120.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-FS	0.00	120.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-LC	0.00	120.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	HVAC MAINT-JUL-CH	0.00	245.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-CH	0.00	137.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-FS	0.00	276.00
1011	98395	12/17/20	1073	SEASIDE HEATING & AIR CO	00165006570	AS NEEDED RPR-CH	0.00	880.00
TOTAL CHECK								2,093.00
1011	98396	12/17/20	1459	JASON SHOOK	12050005460	2020 GYM REIMB	0.00	480.00
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	509	9856.21 REHB RTN	0.00	-7,148.25
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	459	9456.21 REHB RTN	0.00	-6,558.25
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	50998566510	9856.21 DRN REHB	0.00	135,816.75
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	50998566510	9856.21REHB RTN	0.00	7,148.25
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	45994566510	9456.21 DRN REHB	0.00	124,606.75
1011	98397	12/17/20	5915	SOUTHWEST PIPELINE & TREN	45994566510	9456.21REHB RTN	0.00	6,558.25
TOTAL CHECK								260,423.50
1011	98398	12/17/20	1231	STAPLES CONTRACT & COMME	00165006510	PENS/SANTZR/PST ITS	0.00	86.63
1011	98398	12/17/20	1231	STAPLES CONTRACT & COMME	00165006510	PENS/FOLDERS/SCISSRS	0.00	121.89
TOTAL CHECK								208.52
1011	98399	12/17/20	1978	THE STATE CHEMICAL MFG C	00160006120	SOAP PRO SENSOR	0.00	399.74
1011	98400	12/17/20	1789	DEPARTMENT OF INDUSTRIAL	12550005465	FY21 OSIP WRKR COMP	0.00	7,490.48
1011	98401	12/17/20	5814	STREAMLINE AUTOMATION SY	00160006120	FY21 FRE INSPCTN SFTWR	0.00	2,408.00
1011	98402	12/17/20	5963	SUMMIT EROSION CONTROL	00165006520	PALLET OF SAND BAGS	0.00	256.07
1011	98403	12/17/20	4959	TELECOM LAW FIRM	21355005550	DUP20-003/200 MARINE V	0.00	2,350.00
1011	98403	12/17/20	4959	TELECOM LAW FIRM	00150005250	COX PROF SVC-SEP	0.00	5,100.00
TOTAL CHECK								7,450.00
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-SEP	0.00	3,063.40
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-NOV	0.00	4,003.80
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-JUL	0.00	5,581.90
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-AUG	0.00	6,564.60
1011	98404	12/17/20	5961	TOSDAL APC	55000007750	SEA PROF SVC-OCT	0.00	6,884.50

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TOTAL CHECK							0.00	26,098.20
1011	98405	12/17/20	4899	ZACHARY TOTH	00160006120	ICS 300-TOTH 10/15-21	0.00	300.00
1011	98406	12/17/20	5890	TYLER TECHNOLOGIES, INC.	13550005300	IMPLMNTN-NON-HR-NOV	0.00	10,880.00
1011	98407	12/17/20	40	UNDERGROUND SVC ALERT OF	00165006510	DIG ALERT-NOV	0.00	72.70
1011	98407	12/17/20	40	UNDERGROUND SVC ALERT OF	00165006510	CA ST REGLRITY-NOV	0.00	36.45
TOTAL CHECK							0.00	109.15
1011	98408	12/17/20	1458	THE UNIFORM SPECIALIST	00160006120	BUGLE CUT OUT-FORD	0.00	27.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00150005450	IT CELL 10/24-11/23	0.00	152.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00150005450	IT CELL 09/24-10/23	0.00	152.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 09/29-10/28	0.00	462.77
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 09/29-10/28	0.00	114.03
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 09/29-10/28	0.00	69.27
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006170	MS IPADS -09/29-10/28	0.00	152.04
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	21100007600	PW CELL 11/02-12/01	0.00	5.95
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	50900007700	PW CELL 11/02-12/01	0.00	5.95
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006540	PW CELL 11/02-12/01	0.00	16.36
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006560	PW CELL 11/02-12/01	0.00	16.36
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006520	PW CELL 11/02-12/01	0.00	20.82
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006530	PW CELL 11/02-12/01	0.00	20.82
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00165006510	PW CELL 11/02-12/01	0.00	20.83
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 10/29-11/28	0.00	470.19
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 10/29-11/28	0.00	114.03
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 10/29-11/28	0.00	64.84
1011	98409	12/17/20	30	VERIZON WIRELESS-SD	00160006170	MS IPADS -10/29-11/28	0.00	152.04
TOTAL CHECK							0.00	2,010.38
1011	98410	12/17/20	4933	GREGORY WADE	12050005460	2020 GYM RIEMB	0.00	265.20
1011	98411	12/17/20	5952	WAR RHINO INC.	459	9407.21 CH MNT CTN RT	0.00	-698.28
1011	98411	12/17/20	5952	WAR RHINO INC.	459	9407.21 CH MNT CTN RT	0.00	-489.31
1011	98411	12/17/20	5952	WAR RHINO INC.	459	9407.21 CH DFRD MNT R	0.00	-142.65
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH DFRD MNT	0.00	2,710.33
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH DFRD MNT RT	0.00	142.65
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CNTG	0.00	13,267.27
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CTN RTN	0.00	698.28
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CNTG	0.00	9,297.02
1011	98411	12/17/20	5952	WAR RHINO INC.	45994076510	9407.21 CH MNT CTN RTN	0.00	489.31
TOTAL CHECK							0.00	25,274.62
1011	98412	12/17/20	4844	WARWICK GROUP CONSULTANT	45099266190	9926.21 PROF SVC-NOV	0.00	4,945.00
1011	98413	12/17/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-OCT	0.00	499.00
1011	98413	12/17/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-NOV	0.00	499.00
1011	98413	12/17/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-DEC	0.00	499.00
TOTAL CHECK							0.00	1,497.00
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006520	AUTO FUEL-11/08-12/07	0.00	249.35

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006560	AUTO FUEL-11/08-12/07	0.00	46.75
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006570	AUTO FUEL-11/08-12/07	0.00	77.92
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006510	AUTO FUEL-11/08-12/07	0.00	85.71
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	50900007700	AUTO FUEL-11/08-12/07	0.00	93.51
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00160006140	AUTO FUEL-11/08-12/07	0.00	159.32
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00160006120	AUTO FUEL-11/08-12/07	0.00	183.72
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00165006530	AUTO FUEL-11/08-12/07	0.00	225.98
1011	98414	12/17/20	5916	WEX FLEET UNIVERSAL	00160006170	AUTO FUEL-11/08-12/07	0.00	469.71
TOTAL CHECK							0.00	1,591.97
1011	98415	12/17/20	37	XEROX CORPORATION	00150005350	FIERY CLRKS-NOV	0.00	122.84
1011	98415	12/17/20	37	XEROX CORPORATION	00150005350	FIERY UPSTAIRS-NOV	0.00	132.61
1011	98415	12/17/20	37	XEROX CORPORATION	00150005350	FIERY PLANNING-NOV	0.00	132.61
TOTAL CHECK							0.00	388.06
1011	98416	12/17/20	5792	XMEDIUS AMERICA, INC	00150005450	TTS LICENSES (4)	0.00	2,050.67
1011	98417	01/07/21	1135	AFFORDABLE PIPELINE SERV	50900007700	I-SEWER CLEANING	0.00	425.00
1011	98417	01/07/21	1135	AFFORDABLE PIPELINE SERV	50900007700	I-SEWER CLEANING	0.00	425.00
TOTAL CHECK							0.00	850.00
1011	98418	01/07/21	2137	AFLAC	001	DECEMBER 20	0.00	827.66
1011	98419	01/07/21	5485	AMERICAN BUSINESS FORMS	00170007110	SANTA SLEIGH BANNERS	0.00	194.56
1011	98420	01/07/21	SEA0250	ANITA FARGO	550	2020 NET SURPLUS COMP	0.00	143.74
1011	98421	01/07/21	5051	CINTAS CORPORATION NO. 2	00165006570	FIRST AID SUPPLIES-PW	0.00	107.50
1011	98422	01/07/21	269	DUDEK & ASSOCIATES INC.	50998336510	9833 PUMP STN-PHS-NOV	0.00	3,068.66
1011	98423	01/07/21	5968	DVBE SUPPLY	00165006530	FLAG POLES & ACCSSRYS	0.00	2,241.69
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	500.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	700.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING	0.00	700.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	790.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING-X	0.00	900.00
1011	98424	01/07/21	5836	ENVIROMENTAL TESTING & T	45994076510	ENVIROMENTAL TESTING	0.00	790.00
TOTAL CHECK							0.00	4,380.00
1011	98425	01/07/21	223	FEDEX	00150005150	SHIPPING-12/08/20	0.00	33.41
1011	98426	01/07/21	5124	JAMES HANCOCK	00160006120	ROPE RSVR-HANCK 9/20	0.00	1,050.00
1011	98427	01/07/21	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 01/08/21	0.00	9,642.32
1011	98428	01/07/21	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 01/08/21	0.00	2,132.68
1011	98429	01/07/21	5970	JULIE VAN DER AUWERA	00170007110	REIMB-DCR & SNTA SPLS	0.00	71.94
1011	98430	01/07/21	5889	KOA HILLS CONSULTING, LL	13550005200	PROJ MANAGMNT-DEC	0.00	4,080.00

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	98430	01/07/21	5889	KOA HILLS CONSULTING, LL	13550005300	PROJ MANAGMNT-DEC	0.00	9,520.00
TOTAL CHECK							0.00	13,600.00
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	VISION DEC 20	0.00	441.56
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE TIMING DEC20	0.00	-19.92
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	00150005400	ROUNDING - NOV 20	0.00	-0.21
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE COBRA DEC20	0.00	11.29
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE COBRA DEC20	0.00	11.29
1011	98431	01/07/21	4738	MEDICAL EYE SERVICES	001	EE COBRA DEC20	0.00	20.33
TOTAL CHECK							0.00	464.34
1011	98432	01/07/21	5549	MICHAEL BAKER INTERNATIO	22093826510	9382.03 LSF CORR-III	0.00	65,094.16
1011	98432	01/07/21	5549	MICHAEL BAKER INTERNATIO	22893826510	9382.03 LSF CORR-III	0.00	7,232.68
TOTAL CHECK							0.00	72,326.84
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	8.86
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	12.40
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	12.41
1011	98433	01/07/21	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	19.49
TOTAL CHECK							0.00	53.16
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	00165006530	STREET LNDSCP SVC-NOV	0.00	1,827.01
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	00165006560	PRKS LNDSCP SVC-NOV	0.00	11,625.14
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	00165006570	PUBFAC LNDSCP SVC-NOV	0.00	2,509.06
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	20375007510	MID#33 LNDSCP SVC-NOV	0.00	2,078.87
1011	98434	01/07/21	4522	NISSHO OF CALIFORNIA	20875007580	CRT LNDSCP SVC-NOV	0.00	3,995.90
TOTAL CHECK							0.00	22,035.98
1011	98435	01/07/21	341	PACIFIC SAFETY CENTER	50900007700	MBSHP RNWL11/20-10/21	0.00	145.00
1011	98436	01/07/21	5362	PATRICIA LETTS	12050005460	2020 GYM RIEMB	0.00	339.33
1011	98437	01/07/21	5939	POPSHAP LLC	24660006150	3-TEMP SCR N KSK W/SPRT	0.00	8,249.34
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING DEC 20	0.00	134.90
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	00150005400	ADMIN FEE DEC 20	0.00	2.25
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	001	EE TIMING DEC 20	0.00	-78.00
1011	98438	01/07/21	1087	PREFERRED BENEFIT INS AD	001	DENTAL DEC 20	0.00	2,591.20
TOTAL CHECK							0.00	2,650.35
1011	98439	01/07/21	5835	RAFTELIS FINANCIAL CONSU	50900007700	SWR RATE STUDY-NOV	0.00	465.00
1011	98440	01/07/21	SEA0336	ROBERT MEIGS	550	2020 NET SURPLUS COMP	0.00	6.64
1011	98441	01/07/21	141	SANTA FE IRRIGATION DIST	20475007520	005979029 1016-121520	0.00	779.60
1011	98442	01/07/21	169	SDG&E CO INC	00165006540	UTILITIES-10/06-11/05	0.00	977.10
1011	98442	01/07/21	169	SDG&E CO INC	00165006530	UTILITIES-10/06-11/05	0.00	740.99
1011	98442	01/07/21	169	SDG&E CO INC	20375007510	UTILITIES-10/06-11/05	0.00	2,629.10
1011	98442	01/07/21	169	SDG&E CO INC	00165006570	UTILITIES-10/06-11/05	0.00	4,837.12
1011	98442	01/07/21	169	SDG&E CO INC	20375007510	UTILITIES-11/05-12/07	0.00	2,258.58
1011	98442	01/07/21	169	SDG&E CO INC	00165006570	UTILITIES-11/05-12/07	0.00	4,888.06

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1011	98442	01/07/21	169	SDG&E CO INC	21100007600	UTILITIES-11/04-12/06	0.00	6,524.79
1011	98442	01/07/21	169	SDG&E CO INC	00165006540	UTILITIES-11/04-12/06	0.00	459.81
1011	98442	01/07/21	169	SDG&E CO INC	00165006530	UTILITIES-11/04-12/06	0.00	478.38
1011	98442	01/07/21	169	SDG&E CO INC	00165006530	UTILITIES-11/05-12/07	0.00	758.64
1011	98442	01/07/21	169	SDG&E CO INC	00165006540	UTILITIES-11/05-12/07	0.00	969.26
1011	98442	01/07/21	169	SDG&E CO INC	00165006570	UTILITIES-11/04-12/06	0.00	1,572.04
TOTAL CHECK							0.00	27,093.87
1011	98443	01/07/21	5956	SDY MANAGEMENT, LLC	00170007100	DIAL-A-RIDE-11/25/20	0.00	86.40
1011	98444	01/07/21	3909	SECTRAN SECURITY INC	12050005460	COURIER FUEL-DEC	0.00	15.25
1011	98444	01/07/21	3909	SECTRAN SECURITY INC	12050005460	COURIER SCV-DEC	0.00	113.37
TOTAL CHECK							0.00	128.62
1011	98445	01/07/21	5357	SES SECURE E-WASTE SOLUT	00165006520	BTRY/BULB DESTRUCTN	0.00	975.00
1011	98446	01/07/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-OCT	0.00	1,087.36
1011	98446	01/07/21	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-OCT	0.00	1,049.28
TOTAL CHECK							0.00	2,136.64
1011	98447	01/07/21	5969	SPOT ON STITCHING EMBROI	00160006120	COVID-19 MASKS	0.00	431.00
1011	98448	01/07/21	5743	STANDARD PLUMBING SUPPLY	00165006570	PIPE/ABS CPLNG/SEAL	0.00	59.66
1011	98448	01/07/21	5743	STANDARD PLUMBING SUPPLY	00165006570	ABS CPLNG/CEMNT/PIPE	0.00	66.96
1011	98448	01/07/21	5743	STANDARD PLUMBING SUPPLY	00165006570	COUPLING/PIPE	0.00	-14.90
TOTAL CHECK							0.00	111.72
1011	98449	01/07/21	SEA0246	SUSAN MURFIN	550	2020 NET SURPLUS COMP	0.00	119.25
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	CH 1GB INTERNET-NOV	0.00	266.40
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	CH 1GB INTERNET-DEC	0.00	999.00
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	MS INTERNET-NOV	0.00	105.00
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	PW INTERNET-NOV	0.00	120.00
1011	98450	01/07/21	5967	TING FIBER INC.	00150005450	PW INTERNET-DEC	0.00	450.00
TOTAL CHECK							0.00	1,940.40
1011	98451	01/07/21	4534	TRAFFIC SUPPLY, INC	00165006540	MULIPLE SINAGE	0.00	1,793.78
1011	98452	01/07/21	2759	TRISTAR RISK MANAGEMENT	12550005465	FY21 CLAIMS SRVC-Q3	0.00	6,829.55
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	COPIER CLRKS-NOV	0.00	271.68
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS BLK-10/30-12/3	0.00	99.82
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS CLR-10/30-12/3	0.00	475.60
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	COPIER UPSTAIRS-NOV	0.00	298.25
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS BLK-10/30-12/3	0.00	97.05
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS CLR-10/30-12/3	0.00	333.00
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	COPIER PLANNING-NOV	0.00	546.78
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS BLK-10/30-12/3	0.00	266.16
1011	98453	01/07/21	37	XEROX CORPORATION	00150005350	EXCESS CLR-10/30-12/3	0.00	259.11
TOTAL CHECK							0.00	2,647.45
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-AUG	0.00	1,650.00

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-NOV	0.00	1,687.50
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-OCT	0.00	1,912.50
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-JUL	0.00	1,987.50
1011	V9000198	12/18/20	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-SEP	0.00	2,812.50
TOTAL CHECK							0.00	10,050.00
1011	V9000199	12/18/20	1561	CDW GOVERNMENT INC	13550005450	TAPE SRVR LICENSES	0.00	10,619.00
1011	V9000199	12/18/20	1561	CDW GOVERNMENT INC	00150005450	3 YEAR VM SUPPORT SUB	0.00	6,361.26
TOTAL CHECK							0.00	16,980.26
1011	V9000200	12/18/20	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-NOV	0.00	10,099.50
1011	V9000201	12/18/20	4600	KYLE KOSZEWNIK	12050005460	2020 GYM REIMBURSMENT	0.00	480.00
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	9.95
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	17.50
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	192.50
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	12050005460	PROF SERV PE 11/19/20	0.00	1,368.07
1011	V9000202	12/18/20	1130	MCDUGAL LOVE ECKIS SMIT	00150005250	PROF SERV PE 11/19/20	0.00	5,500.00
TOTAL CHECK							0.00	7,088.02
1011	V9000203	12/18/20	5843	MIDAMERICA	16053005360	CTYSOLANAG5-JAN 21	0.00	5,580.00
1011	V9000204	12/18/20	4260	DAVID MITCHELL	00160006120	ICS300-MTCHLL10/19-21	0.00	300.00
1011	V9000204	12/18/20	4260	DAVID MITCHELL	00160006120	INSTCTR-6/15-18 MITCH	0.00	355.00
TOTAL CHECK							0.00	655.00
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-JUL	0.00	273.00
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-NOV	0.00	308.00
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-SEP	0.00	401.50
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-AUG	0.00	486.75
1011	V9000205	12/18/20	4080	JENNIFER REED	00150005350	ADMIN SVC-OCT	0.00	495.00
TOTAL CHECK							0.00	1,964.25
1011	V9000206	12/18/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 12/25/20	0.00	813.50
1011	V9000207	12/18/20	5172	JULIETTE THAYER	12050005460	2020 GYM RIEMB	0.00	480.00
1011	V9000208	01/07/21	5320	BAYSHORE CONSULTING GROU	55000007750	CCA PROF SVC-DEC	0.00	1,050.00
1011	V9000209	01/07/21	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 01/08/21	0.00	763.50
1011	V9000210	01/07/21	4465	SUN LIFE FINANCIAL	001	DEC 20 LIFE&ADD INS	0.00	1,087.92
1011	V9000210	01/07/21	4465	SUN LIFE FINANCIAL	001	DEC 20 LTD	0.00	1,490.78
1011	V9000210	01/07/21	4465	SUN LIFE FINANCIAL	001	DEC 20 SUPP LIFE INS	0.00	233.25
TOTAL CHECK							0.00	2,811.95
TOTAL CASH ACCOUNT							0.00	1,249,160.09
TOTAL FUND							0.00	1,249,160.09
TOTAL REPORT							0.00	1,249,160.09



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** Finance  
**SUBJECT:** **Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2020/21**

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**BACKGROUND:**

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through January 13, 2020.

**DISCUSSION:**

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 12, 2019 (Resolution 2019-085) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of January 13, 2021						
Action	Description	Revenues	Expenditures	Transfers from GF		Net Surplus
Reso 2019-085	Adopted Budget	19,827,600	(19,602,500)	(151,100)	(1)	\$ 74,000
Reso 2020-101	FY2019/20	(495,000)	361,000	80,000	(2)	20,000
	(1) Transfers to:		151,100			
	Debt Service for Public Facilities			151,100		
	(2) Transfer to:		(80,000)			
	City CIP Fund			(80,000)		

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA

**FISCAL IMPACT:**

N/A

**COUNCIL ACTION:**

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**WORK PLAN:**

N/A

**OPTIONS:**

- Receive the report.
- Do not accept the report

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council receive the report listing changes made to the FY 2020-2021 General Fund Adopted Budget.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** Marine Safety Department  
**SUBJECT:** **Council Consideration of Resolution 2021-011 Awarding the Purchase of a Replacement Vehicle for the Marine Safety Department**

## **BACKGROUND:**

Currently, there are four vehicles that are managed by the Marine Safety Department and one of the four vehicles needs to be replaced. The vehicle within the department's fleet that requires replacement is a 2013 Toyota Tacoma pickup truck. This vehicle, like other Marine Safety vehicles, was used by Marine Safety Staff to patrol the City's beaches, parks and beach access areas and was rotated out to the Junior Guard program. Due to the damaging nature of salt water and sand on the vehicles, this vehicle has reached its useful service life per the department's replacement schedule. The maintenance cost of this vehicle makes it cost prohibitive to keep in service much longer. Replacement of the vehicle would also allow the City to take this vehicle out of service before any safety issues arise.

This item is before the City Council to consider approving Resolution 2021-011 (Attachment 1) awarding the purchase of a replacement vehicle for the Marine Safety Department.

## **DISCUSSION:**

The Marine Safety Department's 2013 Toyota Tacoma is due to be replaced in accordance with the department's vehicle replacement schedule and was included in the Fiscal Year (FY) 2020/21 adopted budget. Staff followed the City's current protocols for purchasing new vehicles.

Pursuant to Council direction at the March 10, 2020 Council meeting and adoption of Resolution 2020-031, the City reviewed the California Air Resources Board (CARB) website, specifically reviewing the CARB aligned Original Equipment Manufacturers (OEMs) and the Vehicle Categories Subject to CARB-aligned Manufacturing Restrictions Policy. At the time of report, the CARB list had only two options for a ¼ ton pickup truck, Honda Ridgeline and Ford Ranger. However, neither of these vehicle models meet Marine Safety's needs for continuity of operation, and both vehicles are too large to fit in the Marine Safety Center garage.

<p>CITY COUNCIL ACTION: _____          _____</p>
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Staff was also made aware that the previous National Joint Powers Alliance (NJPA) contract with national Auto Fleet was no longer an effective agreement to utilize for vehicle purchases. Staff identified a satisfactory vehicle on the California State Bid List. However, this vehicle had an extended delivery date. Therefore, Staff designed, prepared and advertised a notice inviting bids for a compact 4x4, extended cab pickup truck with a 5.0' bed.

On January 6, 2021, one bid for the Marine Safety Vehicle, Bid 2020-05, was received and publically opened by the City Clerk. The bid result is as follows:

**Table 1 – Bid Result**

<b>Vendor Name</b>	<b>Vehicle make and Model</b>	<b>Bid</b>
Mossy Nissan	Nissan Frontier 4x4 truck	\$31,907.58

The bid submitted by Mossy Nissan is found to be complete and responsive to the bid specifications and \$9,837.10 less than the California State Bid List. Additionally, this vehicle is in stock at the dealership and ready for delivery.

Staff recommends the City Council approve the award and authorize the purchase of this new vehicle. Should Council approve the award, the current vehicle used by the Marine Safety Department will be taken out of service and sent to auction in accordance with the City's equipment disposal policy once the new vehicle is put into service.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The new vehicle for the Marine Safety Department will be purchased utilizing funds available in the City's Marine Safety Vehicle Replacement Fund 135-6000-6170-6650 as specified in the Fiscal Year 2020/21 Adopted Budget. The bid amount listed in Table 1 does not exceed the amount budgeted for this purchase.

**WORK PLAN:**

N/A

**OPTIONS:**

- Adopt Staff recommendation.
- Adopt Staff recommendation with revisions.
- Do not adopt Staff recommendation.
- Provide direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council approve Resolution 2021-011 awarding and authorizing the purchase of a replacement vehicle for the Marine Safety Department.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2021-011

## RESOLUTION 2021 - 011

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AWARDING AND AUTHORIZING THE PURCHASE OF A REPLACEMENT VEHICLE FOR THE MARINE SAFETY DEPARTMENT

**WHEREAS**, there are currently four vehicles that are managed by the Marine Safety Department and one of the four vehicles is in need of replacement since it has exceeded its useful life; and

**WHEREAS**, the Marine Safety vehicle needs to be replaced with an extended cab four-wheel drive pickup truck that can support the department's continuity of operations; and

**WHEREAS**, for the replacement vehicle, pursuant to Council direction, City Staff reviewed the California Air Resource Board (CARB) website, specifically reviewing the CARB aligned Original Equipment Manufacturers (OEMs) and the Vehicle Categories Subject to CARB-aligned Manufacturing Restrictions Policy. At the time of report, the CARB list had only two options for a ¼ ton pickup truck, Honda Ridgeline and Ford Ranger. However, neither of the vehicle models met Marine Safety's needs for continuity of operation and both vehicles are too large to fit in the Marine Safety Center garage.

**WHEREAS**, in response to an advertisement for vehicle bids, the City received one bid for the replacement vehicle; and

**WHEREAS**, on January 6, 2021, the City Clerk received the vehicle purchase bid.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council awards the Marine Safety Vehicle Purchase, Bid 2020-005, for a 2020 Nissan Frontier 4x4 in the amount of \$31,907.58, to Mossy Nissan

3. That the City Council authorizes the City Manager to execute an agreement with Mossy Nissan.

**PASSED AND ADOPTED** this 27th day of January, 2021, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** Community Development  
**SUBJECT:** **Council Consideration of Resolution 2021-009  
Authorizing the Submittal of a State Parks Shoreline  
Erosion Protection Grant Application**

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## **BACKGROUND:**

The California Department of Parks and Recreation (State Parks), Division of Boating and Waterways (DBW) is now accepting grant applications for public beach restoration projects and shoreline erosion control projects. DBW will review grant applications for potential funding in the State's Fiscal Year (FY) 2022/23 budget. The deadline for DBW to receive applications for FY 2022/23 funding is Tuesday February 1, 2021. Part of the DBW application process requires a formal Resolution of support from the City Council, authorizing the submittal of the grant application.

Previously, in December 2019, the City Council approved Resolution 2019-153 authorizing the submittal of a similar grant application request to State Parks. However, that application has since expired and staff from State Parks has indicated that a new grant application is now required in order to be considered for a construction grant.

The estimated cost for initial construction for the project in both cities is \$37,791,000. This number was updated by the United States Army Corps of Engineers (USACE) in November 2020 to reflect updated inflation assumptions and related contingencies. The previous cost certification was conducted by the USACE in 2015 and this update supersedes the previous cost estimate.

The federal share for initial construction is \$24,564,150 and the non-federal (i.e., local and state) share would be \$13,226,850, representing 65% and 35% of the cost, respectively. The estimated non-federal share will be funded up to 85% by state grants, such as the grant being applied for through this adopted Resolution, with the remaining 15% to be provided locally by the cities of Solana Beach and Encinitas. Staff will work with the City of Encinitas on the preparation of the joint application. Within the grant application, Staff is requesting a grant in the amount of \$11,242,822.50 (which is equal

CITY COUNCIL ACTION:

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to 85% of the local/state cost share amount) which will be divided between the Cities of Solana Beach and Encinitas for the construction of the project. The cities of Solana Beach and Encinitas would then be responsible for 15% of the local share, or approximately \$1,984,000, which would be split according to an, as yet, undetermined apportionment of costs associated with construction as calculate by the USACE.

This item is before Council to consider approving Resolution 2021-009 (Attachment 1) authorizing submittal of a DBW Grant application.

### **DISCUSSION:**

The Solana Beach – Encinitas Coastal Storm Damage Reduction Project (Project) is designed to build coastal resilience and reduce storm damage related to severe storms and coastal erosion over an initial 50-year authorization period, which is currently anticipated to occur from 2023 through 2073 depending on funding availability. The authorized Project, under the U.S. Army Corps of Engineers (USACE), is for coastal storm damage reduction and restoration of approximately eight miles of shoreline within the cities of Solana Beach and Encinitas. The project will consist of initial placement of approximately one million cubic yards of beach sand and the beaches would be re-nourished on a regular cycle during the Federal participation period of 50 years.

Federal funds in the amount of \$500,000 were allocated to the project in FY 2019/20 to initiate the Pre-Construction, Engineering and Design (PED) phase for this important project. PED includes the following activities: engineering specifications and design, one year of pre-construction monitoring of natural resources, surfing conditions, beach and offshore borrow site bathymetry to establish baseline conditions, prepare technical reports and prepare the construction documents. The Project PED phase is anticipated to last approximately two to three years and would conclude in late 2022 or early 2023 depending on federal funding availability. The City has been advised that funding in the amount of \$1.5 million has been included in the USACE FY 2020/21 Work Plan for completion of the PED.

DBW aids local municipalities for projects that enhance public recreation, public coastal access and improve visitor opportunities as is offered through the Project. Throughout the development of the joint Final Environmental Impact Statement/Environmental Impact Report (EIS/EIR) and Feasibility Study, DBW has been a committed partner and will continue to provide most of the financial match to support the PED phase of the Project.

In 2016, Council authorized the acceptance of a total of \$450,000 in grant funding from the State Parks, DBW to support the PED phase of the Project. The City of Encinitas was awarded an identical \$450,000 grant from State Parks for their share of the PED cost. Acceptance of the grant funds from the State reduces the cities' local share burden for PED. The City is now actively utilizing these grant funds to support the PED phase of the project.

Following the completion of the PED phase, federal and non-federal construction funding would then be utilized for Project construction. The grant pursued through this Resolution is intended to fund the initial beach sand placement (i.e., construction) portion of the Project.

**CEQA COMPLIANCE STATEMENT:**

Submittal of an application for funding is not a project under the California Environmental Quality Act (CEQA). A Final Joint Environmental Impact Statement/Environmental Impact Report (EIS/EIR) was certified in 2015 for the Solana Beach – Encinitas Shoreline Coastal Storm Damage Reduction project.

**FISCAL IMPACT:**

While there is no fiscal impact associated with approving the attached Resolution, the City of Solana Beach, jointly with the City of Encinitas, is requesting grant funds in the amount of \$11,242,822.50, which is 85 percent of the non-federal funds required to construct the Project. The remaining 15 percent of the non-federal project cost, approximately \$1,984,000, shall be split between the cities of Solana Beach and Encinitas in proportion to the relative construction costs which vary due to the differing volumes of sand to be placed in each City over the life of the project. The City will use funds in the City's Sand Replenishment Fund to support the City's share of the required match. A budget adjustment will be requested if the grant is successful and initial construction is planned.

**WORK PLAN:**

Application for DBW funds is consistent with the implementation of Community Character Priorities and the ongoing protection of beach sand replenishment projects as identified in the Work Plan Items A.2, Local Coastal Program; and A.3, Beach Sand Replenishment and Retention Program.

**OPTIONS:**

- Approve Staff recommendation.
- Deny Staff recommendation.
- Provide other direction to Staff.

**DEPARTMENT RECOMMENDATION:**

Adopt Resolution 2021-009 (Attachment 1) authorizing submittal of a Shoreline Erosion Protection Grant application to the State of California Department of Parks and Recreation, Division of Boating and Waterways and authorizing the City Manager to act on behalf of the City of Solana Beach, in consultation with the City Attorney, to negotiate and execute all agreements and amendments necessary to comply with the State Parks, Division of Boating and Waterways grant requirements.



**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2021-009

**RESOLUTION NO. 2021-009**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA AUTHORIZING SUBMITTAL OF A SHORELINE EROSION PROTECTION GRANT APPLICATION TO THE STATE OF CALIFORNIA, DEPARTMENT OF PARKS AND RECREATION, DIVISION OF BOATING AND WATERWAYS**

**WHEREAS**, the City of Solana Beach proactively manages its shoreline and public beaches through comprehensive evaluations of existing conditions and identification of areas where erosion threatens public beaches or other critical public infrastructure; and

**WHEREAS**, coastal beach and bluff erosion is an existing challenge faced by the City and is anticipated to be exacerbated by rising seas in the future; and

**WHEREAS**, coastal erosion has affected critical public infrastructure in the City including coastal access and public beaches, roadways, public utilities, parking areas, pedestrian paths and other public infrastructure; and

**WHEREAS**, the City desires to protect existing critical infrastructure in place and is seeking supplemental funding to support implementation of the City's goals to protect infrastructure; and

**WHEREAS**, the U.S. Army Corps of Engineers will require non-federal funds to initiate Construction of the San Diego County, Solana Beach and Encinitas, Coastal Storm Damage Reduction Project; and

**WHEREAS**, the cost for initial construction for the Solana Beach & Encinitas Coastal Storm Damage Reduction Project is \$37,791,000, with the federal share (65%) for initial construction approximated at \$24,564,150 and the non-federal share (35%) at \$13,226,850; and

**WHEREAS**, the mission of the State of California Department of Parks and Recreation, Division of Boating and Waterways' Public Beach Restoration Program is to preserve and protect the California coastline by restoring and maintaining natural and recreational resources and minimizing damages by natural or man-made induced beach erosion; and

**WHEREAS**, the California Legislature approved the Public Beach Restoration Program in 2001-2002;

**WHEREAS**, a formal resolution of support from the City Council is a required component of the State Parks, Shoreline Erosion Protection Grant application submittal package indicating that the City authorizes the submittal of a grant application; and

**WHEREAS**, City Staff has prepared a joint application with the City of Encinitas for the State of California Department of Parks and Recreation Shoreline Erosion Protection Grant for construction funding support in the amount of \$11,242,822.50, which will represent 85% of the non-federal share of construction costs for the Coastal Storm Damage Reduction Project.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager, or his designee, to sign and submit a Shoreline Erosion Protection Grant Application to the State of California Department of Parks and Recreation, Division of Boating and Waterways to obtain funding to support the construction of shoreline protection to protect critical public infrastructure along the Solana Beach coastline.
3. That the City Council of the City of Solana Beach hereby directs the City Manager to accept any and all grant funding that is successfully obtained through the grant application authorized to be submitted by this Resolution to the State of California Department of Parks and Recreation.

**PASSED AND ADOPTED** this 27<sup>th</sup> day of January 2021 at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

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LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

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JOHANNA N. CANLAS, City Attorney

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ANGELA IVEY, City Clerk



# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** City Manager/Human Resources Department  
**SUBJECT:** **City Council Consideration of Resolution 2021-010 Adjusting the Current FY 2020/2021 Seasonal/Temporary Salary Schedule (Schedule 6) in Accordance with the State of California Minimum Wage Requirements**

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### **BACKGROUND:**

In accordance with the City's Personnel Rules and Regulations Section 8.10, the City Council authorizes and approves all salary and benefit plans for employees and establishes salary ranges pursuant to recommendation by the City Manager. Salary and benefits for non-represented employees (confidential, management and seasonal/part-time employees) are included in the salary and compensation plans approved by the City Council each fiscal year. The City Council must approve a Salary and Compensation Plan for all employees to coincide with fiscal appropriations of a new fiscal year and new budget. Subsequent revisions to the adopted Salary and Compensation Plan are recommended by the City Manager pursuant to City Personnel Rules and approved by the City Council.

On July 8, 2020, the City Council adopted the Fiscal Year (FY) 2020/2021 Salary and Compensation Plans for all represented and non-represented employees. During the mentioned approval process, all City salary schedules received an adjustment including the Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6).

It is the responsibility of the City Manager to consistently engage in organizational analysis of various City operations to improve efficiency and effectiveness and ensure the most economical means of conducting business is achieved. Section 2.08.070, Section D, of the Solana Beach Municipal Code (SBMC), "Powers and Duties (of City Manager)" Administrative Reorganization of Offices, states:

COUNCIL ACTION:

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*It shall be the duty and responsibility of the City Manager to conduct studies and effect such administrative reorganization of offices, positions or units under the City Manager's direction as may be indicated in the interest of efficient, effective and economical conduct of the City's business.*

Staff is recommending the following:

- Amend the FY 2020/2021 Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6) in order to meet the State minimum wage requirements.

This item is before the City Council for consideration of Resolution 2021-010 (Attachment 1) to amend the FY 2020/2021 Seasonal/Temporary Salary Schedule (Schedule 6) to account for the increase in minimum wage requirements, and to authorize the City Manager to make any future necessary changes to the City's salary schedules to remain in compliance with applicable State and/or Federal laws.

**DISCUSSION:**

The minimum wage in the State of California has increased from \$7.50 per hour in 2007 to \$14.00 per hour beginning January 1, 2021. A history of past and future minimum wage amounts per hour is listed in the following table:

<u>Minimum Wage History</u>		
01/01/07	\$	7.50 /hour
01/01/08		8.00 /hour
07/01/14		9.00 /hour
01/01/16		10.00 /hour
01/01/17		10.50 /hour
01/01/18		11.00 /hour
01/01/19		12.00 /hour
01/01/20		13.00 /hour
01/01/21		14.00 /hour
01/01/22		15.00 /hour

The current FY 2020/2021 Part-Time/Temporary/Seasonal Salary (Schedule 6) (Attachment 2) must be updated to comply with the State of California's minimum wage requirements for Calendar Year 2021. Each January 1<sup>st</sup>, the City must continue to update impacted salary schedules to meet the State's minimum wage requirements.

**CEQA COMPLIANCE STATEMENT:**

Not a project as defined by CEQA.

**FISCAL IMPACT:**

The increases in the FY 2020/2021 Part-Time/Temporary/Seasonal Salary Schedule will result in approximately \$3,445 in additional salary and benefit costs to the General Fund through the end of this fiscal year. Thereafter, the total annual General Budget increase will be \$8,578 per fiscal year.

This additional cost will be appropriated in the Mid-Year Budget.

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Do not approve Staff recommendations
- Provide direction / feedback.

**DEPARTMENT RECOMMENDATION:**

Staff recommends the City Council consider adoption of Resolution 2021-010 approving Salary Adjustments to the FY 2020/2021 Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6) and authorizing the City Manager to make any subsequent changes to the Salary Schedule in accordance with applicable laws.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation



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Gregory Wade, City Manager

Attachments:

1. Resolution 2021-010
2. Current 2020/2021 Part-Time/Temporary/Seasonal Salary (Schedule 6)
3. Updated 2020/2021 Part-Time/Temporary/Seasonal Employees Salary (Schedule 6)

**RESOLUTION NO. 2021-010**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE AMENDMENT OF FY 2020/2021 PART-TIME/TEMPORARY/SEASONAL SALARY SCHEDULE**

**WHEREAS**, the City Council authorizes all salary and compensation plans (Section 8.10 of the City's Personnel Rules and Regulations); and

**WHEREAS**, the City Council approved and adopted the FY 2020/2021 salary and compensation plan for all employees on July 8, 2020; and

**WHEREAS**, the State of California minimum wage requirements for calendar year 2021 has increased to fourteen dollars per hour; and

**WHEREAS**, the part-time/temporary/seasonal salary schedule has been amended to reflect the new State of California minimum wage requirements; and

**WHEREAS**, the City Manager is authorized to make any future necessary changes to the City's salary schedules to remain in compliance with applicable State and/or Federal laws; and

**WHEREAS**, the City Council has reviewed and considered the City Manager's recommendations for salary and compensation plans and is prepared to approve and adopt the amended mentioned FY 2020/2021 Salary Schedule as recommended.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. The amendments to the FY 2020/2021 Salary and Compensation Plans are as follows:
  - A. Part-Time/Seasonal/Temporary Salary Schedule (Schedule 6):
    - i. Amended salary ranges to reflect the new State of California minimum wage requirements and to remain competitive in the market place
  - B. Authorize the City Manager to make future necessary changes to the City's salary schedules to remain in compliance with applicable State and/or Federal laws and to maintain appropriate separation of job classifications.
  - C. Except as identified above, the terms of the FY 2020/2021 Salary and Compensation Plans shall continue in full force and effect for all employees.

D. Term:

- I. The amended FY 2020/2021 Part-Time/Seasonal/Temporary Salary Schedule (Schedule 6) shall be effective as of January 1, 2021, for all part-time/seasonal/temporary employees, and will remain in effect until December 31, 2021.

**PASSED AND ADOPTED** this 27<sup>th</sup> day of January 2021, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –

NOES: Councilmembers –

ABSENT: Councilmembers –

ABSTAIN: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk



**FY 2020-2021**

**PART-TIME/TEMPORARY/SEASONAL  
SALARY SCHEDULE SCHEDULE 6  
EFFECTIVE JANUARY 1, 2020**

Pay Grade		Job Classification	Step A	Step B	Step C	Step D	Step E
PTS	26	Lifeguard Intern	\$13.00				
		Junior Lifeguard Intern					
PTS	31	Junior Lifeguard Instructor I (Non-Lifeguard)	\$13.66	\$14.35	\$15.06	\$15.82	\$16.61
PTS	41	Lifeguard	\$15.00	\$15.75	\$16.54	\$17.36	\$18.23
		Junior LG Instructor II					
		Management Intern					
		Temporary Administrative Assistant					
		Parking Enforcement Officer					
Recreation Leader I							
PTS	46	Lifeguard + EMT	\$15.77	\$16.55	\$17.38	\$18.25	\$19.16
		Junior LG Instructor II + EMT					
		Recreation Leader II					
PTS	58	Temporary Maintenance Worker I	\$17.76	\$18.65	\$19.59	\$20.56	\$21.59
PTS	59	Temporary FireFighter/PM	\$17.94	\$18.84	\$19.78	\$20.77	\$21.81
PTS	60	Temporary Planning Technician	\$18.12	\$19.03	\$19.98	\$20.98	\$22.03
		Temporary Engineering Technician					
PTS	64	Temporary Administrative Technician	\$18.86	\$19.80	\$20.79	\$21.83	\$22.92
		Jr. Lifeguard Administrative Technician					
PTS	65	Recreation Leader III	\$19.05	\$20.00	\$21.00	\$22.05	\$23.15
		Senior Lifeguard					
PTS	68	Code Compliance Officer Assistant	\$19.62	\$20.60	\$21.63	\$22.72	\$23.85
PTS	70	Senior Lifeguard + EMT	\$20.02	\$21.02	\$22.07	\$23.17	\$24.33
PTS	84	Temporary Management Assistant	\$23.01	\$24.16	\$25.37	\$26.64	\$27.97
PTS	105	Temporary Fire Prevention Technician	\$28.36	\$29.77	\$31.26	\$32.83	\$34.47

**ATTACHMENT 2**

**FY 2020/2021**

**PART-TIME/TEMPORARY/SEASONAL EMPLOYEES  
SALARY SCHEDULE 6  
JANUARY 1, 2021**

Pay Grade		Job Classification	Step A	Step B	Step C	Step D	Step E
PTS	26	Lifeguard Intern	\$14.00				
		Junior Lifeguard Intern					
PTS	31	Junior Lifeguard Instructor I (Non-Lifeguard)	\$14.00	\$14.70	\$15.44	\$16.21	\$17.02
PTS	41	Lifeguard	\$15.00	\$15.75	\$16.54	\$17.36	\$18.23
		Junior LG Instructor II					
		Management Intern					
		Temporary Administrative Assistant					
		Parking Enforcement Officer					
Recreation Leader I							
PTS	46	Lifeguard + EMT	\$15.77	\$16.55	\$17.38	\$18.25	\$19.16
		Junior LG Instructor II + EMT					
		Recreation Leader II					
PTS	58	Temporary Maintenance Worker I	\$17.76	\$18.65	\$19.59	\$20.56	\$21.59
PTS	59	Temporary FireFighter/PM	\$17.94	\$18.84	\$19.78	\$20.77	\$21.81
PTS	60	Temporary Planning Technician	\$18.12	\$19.03	\$19.98	\$20.98	\$22.03
		Temporary Engineering Technician					
PTS	64	Temporary Administrative Technician	\$18.86	\$19.80	\$20.79	\$21.83	\$22.92
		Jr. Lifeguard Administrative Technician					
PTS	65	Recreation Leader III	\$19.05	\$20.00	\$21.00	\$22.05	\$23.15
		Senior Lifeguard					
PTS	68	Code Compliance Officer Assistant	\$19.62	\$20.60	\$21.63	\$22.72	\$23.85
PTS	70	Senior Lifeguard + EMT	\$20.02	\$21.02	\$22.07	\$23.17	\$24.33
PTS	84	Temporary Management Assistant	\$23.01	\$24.16	\$25.37	\$26.64	\$27.97
PTS	105	Temporary Fire Prevention Technician	\$28.36	\$29.77	\$31.26	\$32.83	\$34.47

**ATTACHMENT 3**



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Request for DRP and SDP to Demolish the Existing Residence and Construct a Replacement Single-Story, Single-Family Residence with an Attached Garage and Perform Associated Site Improvements at 514 Canyon Drive. (Applicant: Elisabeth Ewing Application: 17-19-13 DRP/SDP; APN: 263-193-04; Resolution No. 2021-006)**

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## **BACKGROUND:**

The Applicant, Elisabeth Ewing, is requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish an existing single-story residence and construct a replacement 3,911 square-foot, two-story single-family residence with an attached 449 square foot garage and associated site improvements at 514 Canyon Drive. The 14,000 square-foot lot is located within the Low Residential (LR) Zone, Scaled Residential Overlay Zone (SROZ), Scenic Area Overlay Zone (SAOZ), Hillside Overlay Zone (HOZ) and Dark Sky Area. The property is also located adjacent to Environmentally Sensitive Habitat Area (ESHA) and within the Very High Fire Severity Zone.

The project proposes grading in the amounts of approximately 175 yd<sup>3</sup> of cut, 33 yd<sup>3</sup> of fill, 150 yd<sup>3</sup> of export, 14 yd<sup>3</sup> cut for footings and 6 yd<sup>3</sup> for recompaction. The project requires a DRP for development on a property located in the SAOZ, for grading in excess of 100 cubic yards, for construction that exceeds 60% of the maximum allowable floor area, and because the floor area of the second floor exceeds 35% of the floor area of the first floor. The maximum building height would be 25 feet above the proposed grade or 319 feet above Mean Sea Level (MSL).

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2021-006 (Attachment 1).

CITY COUNCIL ACTION:

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## **DISCUSSION:**

The Applicant is requesting approval of a DRP and SDP to demolish the existing residence and construct a replacement two-story single family residence with an attached garage and associated site improvements including driveway improvements, retaining walls and perimeter fencing. The project plans are provided in Attachment 2.

The 14,000 square foot property is located on the north side of Canyon Drive, two properties east of the intersection of Marview Drive and Canyon Drive. The property is located at the top of the bluff that slopes down into the San Elijo Lagoon. The Solana Beach Municipal Code (SBMC) indicates that on properties west of I-5, structures shall be setback 25 feet from the rim of the canyon adjacent to the San Elijo Lagoon. The City's Geotechnical Engineer reviewed the plans and a geotechnical report as well as visited the site to determine the location of the canyon rim to establish the 25-foot setback.

The subject lot is currently developed with a single-story, single-family residence and an attached garage which is accessed by a driveway off Canyon Drive at the southeastern corner of the lot. The existing residence is located on a relatively flat building pad on the southern side of the lot. There is an existing retaining wall that the Applicant will maintain that is located at the end of the flat pad area. The topography of the lot then begins to significantly slope downward as you move north toward the rear (northern) property line. The change in topography within the property boundaries is approximately 61 feet.

The sloped area of the lot is located within the Hillside Overlay Zone (HOZ). The Applicant provided a slope analysis which is included in the project plans (Attachment 2). The slope analysis indicates that no building or grading will take place on slopes that exceed 25 percent, therefore, the project is exempt from the requirements of the HOZ.

The property was shown to be adjacent to ESHA according to the City's Local Coastal Plan's Biological Resources Map Exhibit 3-1. According to the map, Coastal Sage Scrub, Southern Mixed Chaparral and Southern Mixed Chaparral Disturbed were noted within the surrounding area. As mentioned previously, the property is also located within the Very High Fire Severity Zone (VHFSZ). The Applicant provided a Biological Assessment for the property which was prepared by BLUE Consulting Group. The Assessment indicated that there is Southern Mixed Chaparral onsite. Due to the property's location within the VHFSZ, the developed lot is required to have a 100-foot Fuel Modification Zone (FMZ) starting at the northernmost elevation of the existing house traveling north. The exhibit on the next page shows the property boundaries in pink, the location of the Southern Mixed Chaparral in green and the required FMZ overlaid in yellow.



The following Local Coastal Plan (LCP) policies address development adjacent to ESHA when located in the VHFSZ :

**Policy 4.78:** Fuel Modification Requirements for Additions to Existing Structures - Where a new addition would encroach closer than 100 feet to an ESHA, the City Fire Marshal shall review the project for fuel modification requirements. If a 100-foot fuel modification zone would encroach into ESHA, the additions shall not be permitted unless the addition would not encroach any closer to ESHA than existing principal structures on either side of the development.

**Policy 4.79:** Fuel Modification Requirements for New Development – New development, including, but not limited to, subdivisions and lot line adjustments shall be sited and designed so that no brush management or the 100-foot fuel modification encroaches into ESHA.

The proposed structure would be located farther away from the existing ESHA except for a proposed trellis over the existing terrace area on the north side of the residence and a small portion of the proposed addition at the center of the northern elevation. The site plan shows that neither of the proposed additions will be closer to the ESHA than the

structures on either side of the development. Therefore, because this is an existing Fuel Modification Zone (FMZ) that requires ongoing brush management, the proposed project would not cause any additional or significant impacts to the existing ESHA. The Biological Assessment was reviewed and approved by the City's third-party biologist. Their report is provided in Attachment 4.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicant's proposed design.

<b>Table 1</b>			
<b>LOT INFORMATION</b>			
<b>Property Address:</b>	514 Canyon Dr.	<b>Zoning Designation:</b>	LR (3 du/ac)
<b>Lot Size (Gross):</b>	14,000 ft <sup>2</sup>	<b># of Units Allowed:</b>	1 Dwelling Unit, 1 ADU
<b>Max. Allowable Floor Area:</b>	4,400 ft <sup>2</sup>	<b># of Units Requested:</b>	1 Dwelling Unit
<b>Proposed Floor Area:</b>	3,960 ft <sup>2</sup>	<b>Setbacks:</b>	<b>Required</b> <b>Proposed</b>
<b>Below Max. Floor Area by:</b>	440 ft <sup>2</sup>	Front (S)	25 ft.*      20 ft.
<b>Max. Allowable Height:</b>	25 ft.	Interior Side (W)	5 ft.      7'-3 <sup>1</sup> / <sub>4</sub> "
<b>Max. Proposed Height:</b>	25 ft.	Interior Side (E)	5 ft.      5 ft.
<b>Highest Point/Ridge:</b>	319 MSL	Rear (N)	25 ft.**      105 ft.
<b>Existing Development:</b>	Single-story residence with attached garage to be demolished.	* The front yard setback can be reduced to 20 feet as Canyon Drive is 60 ft. in width.	
<b>Required Parking:</b>	attached 2 car garage	** In addition to the Rear Yard Setback, the property has a required setback of 25 feet from the Canyon Rim.	
<b>Accessory Structures:</b>	No		
<b>Fences and Walls:</b>	Yes		
<b>PROPOSED PROJECT INFORMATION</b>			
<b>Floor Area Breakdown:</b>		<b>Required Permits:</b>	
Proposed First Floor Living Area	2,260 ft <sup>2</sup>	<b>DRP:</b> for development in the SAOZ, grading in excess of 100 cubic yards, construction that exceeds 60% of the maximum allowable FAR, and construction of a second floor that exceeds 35% of the floor area of the first floor.	
Proposed Attached Garage	449 ft <sup>2</sup>		
Proposed Second Floor Living Area	1,651ft <sup>2</sup>		
Subtotal	4,360 ft <sup>2</sup>	<b>SDP:</b> for construction in excess of 16 feet in height from the pre-existing grade.	
Off-Street Parking Exemption	- 400 ft <sup>2</sup>		
<b>Total Floor Area:</b>	<b>3,960 ft<sup>2</sup></b>		
<b>Proposed Grading:</b> 175 yd <sup>3</sup> cut, 33 yd <sup>3</sup> of fill, 150 yd <sup>3</sup> of export, 14 yd <sup>3</sup> cut for footings and 6 yd <sup>3</sup> for recompaction.			

Staff has prepared draft findings for approval of the project in the attached Resolution 2021-006 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2021-006.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development is on a property located within the SAOZ, grading in excess of 100 cubic yards, construction of a residence in excess of 60% of the maximum allowed floor area, and a second floor square footage that exceeds 35% of the floor area of the first floor. In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2021-006 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the LR Zone. Properties immediately to the south, east, and west are also located within the LR Zone. Properties immediately to the north are located within the Open Space/Recreation (OS/R) Zone off of Holmwood Lane. The surrounding properties are developed with a mixture of one- and two-story single-family residences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, SAOZ, and Dark Sky Area. The project has been evaluated and could be found to be in conformance with the regulations of the SROZ, SAOZ, and Dark Sky Area, which are discussed later in this report. The project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

#### Building and Structure Placement:

The Applicant is proposing to demolish the existing residence and construct a replacement two-story, single-family residence with an attached two-car garage and perform associated improvements. The project would be located in the buildable area of the lot and the driveway access would be maintained from Canyon Drive at the southeast corner of the front (south) property line.

The 2,260 square-foot, first floor of the proposed two-story residence would consist of the main entry and staircase area, an open-concept living room, dining room, and kitchen with a pantry as well as two bedrooms with ensuite bathrooms and a powder room. An outdoor terrace is proposed along the entire northern elevation of the residence up to the existing retaining wall that will be maintained along the top of the slope. The proposed 1,651 square-foot, second-floor would consist of an office and the primary bedroom suite that opens to a second floor deck off of the northwest corner of the proposed residence. The subtotal of the proposed living area for the project would be 3,911 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 449 square foot attached garage would provide two unobstructed parking spaces of 9 ft. X 19 ft. therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the exemption, the total proposed floor area would be 3,960 square feet, which is 440



square feet below the maximum allowable floor area for the 14,000 square-foot lot located in the SROZ. The maximum floor area calculation for this project is as follows:

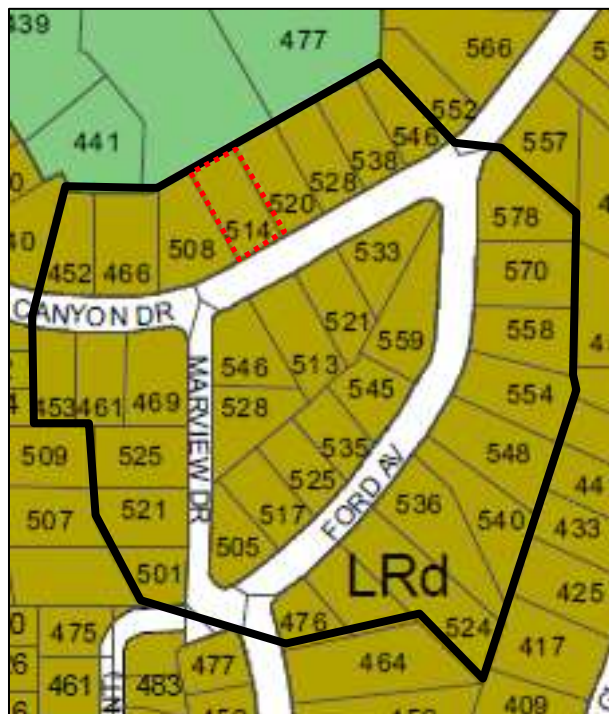
0.50 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,000 to 15,000 ft <sup>2</sup>	1,400 ft <sup>2</sup>
<u>Maximum Allowable Floor Area:</u>	<u>4,400 ft<sup>2</sup></u>

As mentioned previously, the proposed structure is required to maintain a 25-foot setback from the canyon rim. The northern elevation of the residence will follow the 25-foot setback line from the eastern property line until approximately the center of the lot, then the residence will exceed the minimum 25-foot setback from the canyon rim to approximately 53 feet at the northwest corner of the residence. The proposed residence will be constructed at the 5-foot side yard setback line on the eastern side and will exceed the 5-foot side yard setback along the west property line by approximately 2 feet 3 ¼ inches. The front yard setback is 20 feet, which can be reduced from 25 feet given that Canyon Drive is 60 feet wide.

The maximum building height for the LR zone is 25 feet. The proposed residence is proposed at 25 feet or 319 feet above the proposed grade. As designed, the project will comply with the required setbacks, maximum floor area and maximum building height.

#### Neighborhood Comparison:

Staff compared the proposed project to 34 other properties within the surrounding area. This area includes properties on the north and south sides of Canyon Drive and Ford Avenue and the east and west sides of Marview Drive as shown on the following map.



The properties evaluated in this comparison are also located in the LR Zone. The existing homes range in size from 1,576 square feet to 5,358 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or non-habitable accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage and the outdoor covered area:

Project Gross Building Area:	4,360 ft <sup>2</sup>
Delete Attached Garage:	- 449 ft <sup>2</sup>
<hr/> Project Area for Comparison to Assessor's Data:	<hr/> 3,911 ft <sup>2</sup>

<b>Table 2</b>						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft <sup>2</sup>	Max. Allowable ,ft <sup>2</sup>	Zone
1	501 Marview Drive	10,600	3,083		3,805	LR
2	521 Marview Drive	14,200	5,358		1,435	LR
3	525 Marview Drive	15,600	2,186		4,635	LR
4	476 Marview Drive	9,700	2,124	3,564	3,648	LR
5	516 Ford Avenue	13,919	Vacant	3,863	4,386	LR
6	524 Ford Avenue	28,750	3,501		5,513	LR
7	540 Ford Avenue	22,651	2,772		5,208	LR
8	536 Ford Avenue	23,958	2,311		5,273	LR
9	546 Marview Drive	13,700	1,606		3,348	LR
10	528 Marview Drive	15,700	2,180		4,645	LR
11	513 Canyon Drive	16,800	1,923		4,755	LR
12	521 Canyon Drive	14,000	N/A		4,400	LR
13	533 Canyon Drive	14,500	2,749		4,488	LR
14	559 Ford Avenue	19,000	2,255		4,975	LR
15	545 Ford Avenue	12,500	1,934		4,138	LR
16	535 Ford Avenue	10,800	3,211		3,840	LR
17	525 Ford Avenue	11,800	1,612		4,015	LR
18	505 Ford Avenue	13,000	4,550		4,225	LR
19	578 Ford Avenue	16,500	1,928		4,725	LR
20	570 Ford Avenue	19,900	3,267		5,065	LR
21	558 Ford Avenue	17,800	2,194		3,855	LR
22	554 Ford Avenue	20,000	1,663		5,075	LR
23	548 Ford Avenue	21,800	3,573		5,165	LR
24	452 Canyon Drive	12,500	2,026		4,138	LR
25	466 Canyon Drive	19,300	1,914		5,005	LR
26	508 Canyon Drive	17,500	1,728		4,825	LR
<b>27</b>	<b>514 Canyon Drive</b>	<b>14,000</b>	<b>1,576</b>	<b>3,911</b>	<b>4,400</b>	<b>LR</b>
28	520 Canyon Drive	14,000	3,728		4,400	LR
29	528 Canyon Drive	14,000	5,233		4,400	LR
30	538 Canyon Drive	14,000	3,331		4,400	LR
31	546 Canyon Drive	12,400	2,746		4,120	LR
32	453 Canyon Drive	12,600	2,619		4,155	LR
33	461 Canyon Drive	13,300	2,040		4,278	LR
34	469 Canyon Drive	16,100	3,912		4,685	LR

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

#### Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

The Applicant is proposing to maintain the existing retaining wall at the top of the slope at the rear of the proposed residence. New retaining walls that range in height from ½ foot to 4 feet above the existing grade are proposed along the western, southern, and eastern property lines. The Applicant is proposing grading within the portion of the lot that will be surrounded by the proposed retaining walls. The finished grade will be lower than the existing grade. Therefore, the retaining walls will have an above ground height between ½ foot and six feet. The Applicant is also proposing to have a fence on top of the proposed retaining walls. The fence and wall combination will not exceed the maximum heights permitted within the required setbacks.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicant decides to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to be in compliance with the Municipal Code.

#### Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

#### Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicant is proposing to construct a 449 square foot attached garage in the southeast corner of the proposed residence. The garage would be accessed by a driveway on the southeastern corner of the property from Canyon Drive. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide two 9-foot by 19-foot parking spaces that are clear of obstruction. Therefore, 400 square feet of garage area is exempt from the project's total floor area calculation.

#### Grading:

The project would include grading in the amount of 175 cut, 33 yd<sup>3</sup> of fill and 142 yd<sup>3</sup> of export, 14 yd<sup>3</sup> cut for footings, and 6 yd<sup>3</sup> for removal and recompaction.

#### Lighting:

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

#### Usable Open Space:

The project consists of the construction of a replacement two-story, single-family residence with an attached garage and associated site improvements on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

#### Scenic Area Overlay Zone (SAOZ) Compliance:

The purpose of the specific requirements of the SAOZ is to regulate development in areas of high scenic value to preserve and enhance the scenic resources present within, and adjacent to, such areas and to assure the exclusion of incompatible uses and structures. It is further recognized that the preservation and enhancement of scenic resources within the City of Solana Beach provides important social, recreation, and economic benefits for both residents and visitors. Specific review criteria are required for properties within the designated areas of the SAOZ. These are established to ensure that proposed

development does not interfere with or degrade those visual features of the site or adjacent sites that contribute to its scenic attractiveness, as viewed from the scenic highway or the adjacent scenic, historic, or recreational resource. The following specific criteria shall be evaluated when they are applicable:

1. Building Characteristics
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking and Storage Areas
5. Aboveground Utilities
6. Grading
7. Signs
8. Lighting

An application for development in the SAOZ also requires submittal of a view analysis consisting of an accurate representation of the development as viewed from at least three separate and critical points exterior to the development site and which show the treatment of the scenic resources present on the site as related to those resources which are adjacent to the site. The view analysis is provided in Attachment 5. The site is located on the hillside along Canyon Drive. The proposed south (front) elevation would be visible from Canyon Drive. The Pacific Ocean is visible when looking west down Canyon Drive and the Pacific Ocean and San Elijo Lagoon are visible as you look north between the existing residences. The project includes a two-story structure in the place of an existing single-story residence. The view analysis provided depicts any potential alterations to the existing scenic view. The following is a review according to the development review criteria listed above.

#### Building Characteristics

*All development shall be compatible with the topography, vegetation and colors of the natural environment and with the scenic, historic and recreation resources of the designated areas.*

The proposed project, as shown in the view analysis, would increase the height and width of the existing structure. Existing public scenic views of the Pacific Ocean down Canyon Drive would be maintained. Proposed vegetation along the front property line would screen the property from Canyon Drive. The project has been conditioned to be constructed with exterior colors that are natural dark or earth toned to the extent feasible.

#### Building and Structure Placement

*The placement of buildings and structures shall not detract from the visual setting or obstruct significant views and shall be compatible with the topography of the site and adjacent areas. In prime viewshed areas designated in the general plan, building and structures should not be placed along bluff-top silhouette lines or on the adjacent slopes within view from a lagoon area, but should be clustered along the bases of the bluffs and on the mesa tops set back from the bluff-top silhouette lines. Buildings and structures*

*should be sited to provide unobstructed view corridors from the nearest scenic highway, or view corridor road. These criteria may be modified when necessary to mitigate other overriding environmental considerations such as protection of habitat or wildlife corridors.*

The subject property is not located in any of the prime viewshed areas designated in the General Plan. There are existing westward ocean views down Canyon Drive that would not be impacted by the project. The views of the San Elijo Lagoon to the north between the existing residences would also be maintained. The project would expand the footprint of the existing structure to the west within the buildable area of the lot and the height of the structure would be increased.

### Landscaping

*The removal of native vegetation shall be minimized and the replacement vegetation and landscaping shall be compatible with the vegetation of the designated area. Landscaping and plantings shall be used to the maximum extent practicable to screen those features listed in paragraphs (F)(4), (5) and (6) of this subsection. Landscaping and plantings shall not obstruct significant views, either when installed or when they reach mature growth.*

The proposed project would maintain the existing landscaping on half of the property. The proposed landscape to be modified would be at the top of the slope and within the front yard setback. The proposed landscape plan is provided in Attachment 2.

### Roads, Pedestrian Walkways, Parking and Storage Areas.

*Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas shall be screened from view, to the maximum extent feasible, from either the scenic highway or the adjacent scenic, historic, or recreational resource. Acceptable screening methods shall include, but are not limited to, the use of existing topography, the strategic placement of buildings and structures, or landscaping and plantings which harmonize with the natural landscape of the designated area.*

The project would maintain the footprint of the existing driveway and revise the driveway apron to meet City standards. The required parking will be provided within the proposed attached garage. A trash enclosure is proposed within the eastern side yard setback that would be screened from the public right-of-way and adjacent properties by a proposed fence.

### Aboveground Utilities

*Utilities shall be constructed and routed underground except in those situations where natural features prevent undergrounding or where safety considerations necessitate aboveground construction and routing.*

The Engineering Department has placed a condition on the project that requires any new utility services to be undergrounded.

## Grading

*The alteration of the natural topography of the site shall be minimized and shall avoid detrimental effects to the visual setting of the designated area and the existing natural drainage system. Alterations of the natural topography shall be screened from view from either the scenic highway or the adjacent scenic, historic, or recreational resource by landscaping and plantings which harmonize with the natural landscape of the designated area, except when such alterations add variety to or otherwise enhance the visual setting of the designated area. However, design emphasis shall be placed on preserving the existing quality of scenic resources rather than concealment of disturbances or replacement in kind. In portions of the scenic area overlay zone containing sensitive lands, grading may be severely restricted or prohibited.*

The project would include grading in the amount of 175 yd<sup>3</sup> of cut, 33 yd<sup>3</sup> of fill and 142 yd<sup>3</sup> of export, 14 yd<sup>3</sup> cut for footings, and 6 yd<sup>3</sup> for removal and recompaction.

## Signs

*Off-site signs shall be prohibited in areas subject to the scenic area overlay zone, except temporary real estate signs pursuant to SBMC 17.64.060. The number, size, location, and design of all other signs shall be consistent with the Comprehensive Sign Ordinance (Chapter 17.64 SBMC) and shall not detract from the visual setting of the designated area or obstruct significant views.*

The project consists of the construction of a replacement two-story, single-family residence with an attached garage and associated site improvements; therefore, signs are not proposed as part of the development.

## Lighting

*The interior and exterior lighting of the buildings and structures and the lighting of signs, roads and parking areas shall be compatible with the lighting permitted in the designated area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. The project site is located within the City's Dark Sky Area, which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). An additional condition of project approval includes compliance with the specific requirements of the Dark Sky Area.



**Structure Development Permit Compliance:**

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on October 5, 2020, which showed the highest story pole certified at 319 MSL and 25 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on November 19, 2020. No applications for View Assessment were received by the City. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 25 feet above the proposed grade and the highest point of the structure will not exceed 319 feet above the Mean Sea Level (MSL).

**Public Hearing Notice:**

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on January 15, 2020. Staff has not received correspondence about the proposed development.

Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the Resolution of Approval.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2021-006.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP and cannot be made.

**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and an administrative SDP . Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2021-006 conditionally approving a DRP and SDP to demolish the existing residence and construct a replacement two-story, single-family residence with an 449 square foot attached garage, and perform associated site improvements at 514 Canyon Drive, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2021-006
2. Project Plans
3. Biological Resources Assessment by Blue Consulting Group
4. Helix Environmental Third-Party Biological Review
5. Scenic Area Overlay Zone View Analysis

## RESOLUTION 2021-006

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND AN ADMINISTRATIVE STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED GARAGE TO CONSTRUCT A REPLACEMENT TWO-STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED GARAGE, AND PERFORM ASSOCIATED IMPROVEMENTS AT 514 CANYON DRIVE, SOLANA BEACH.**

**APPLICANT: ELISABETH EWING**

**APPLICATION: 17-19-13 DRP/SDP**

**WHEREAS**, Elisabeth Ewing (hereinafter referred to as “Applicant”), has submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on January 27, 2021, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the Public Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the Public Hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to demolish the existing single-story, single-family residence and a construct replacement two-story, single-family residence with an attached garage and perform associated site improvements at 514 Canyon Drive, is conditionally approved based upon the following Findings and subject to the following Conditions:

### III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Density Residential, which allows for a maximum of three dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020), which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the LR Zone and cited by SBMC Section 17.020.030 and development regulations established for nonconforming structures cited in SBMC Chapter 17.16.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks), maximum allowable floor area, maximum allowable building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the LR Zone. Properties immediately to the south, east, and west are also located within the LR Zone. Properties immediately to the north are located within the Open Space/Recreation (OS/R) Zone off of Holmwood Lane. The surrounding properties are developed with a mixture of one- and two-story single-family residences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and

17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, SAOZ, HOZ, and Dark Sky Area. The project has been evaluated and could be found to be in conformance with the regulations of the SROZ, SAOZ, and Dark Sky Area, which are discussed later in this report. The project is also located within the Coastal Zone. As a condition of project approval, the Applicant will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicant is proposing to demolish the existing residence and construct a replacement two-story, single-family residence with an attached two-car garage and perform associated improvements. The project would be located in the buildable area of the lot and the driveway access would be maintained from Canyon Drive at the southeast corner of the front (south) property line.

The 2,260 square-foot first-floor of the proposed two-story residence would consist of the main entry and staircase area, an open-concept living room, dining room, and kitchen with a pantry as well as two bedrooms with ensuite bathrooms and a powder room. An outdoor terrace is proposed along the entire northern elevation of the residence up to the existing retaining wall that will be maintained along the top of the slope. The proposed 1,651 square-foot second-floor would consist of an office and the primary bedroom suite that opens to a second floor deck off of the northwest corner of the proposed residence. The subtotal of the proposed living area for the project would be 3,911 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that

when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The proposed 449 square foot attached garage would provide two unobstructed parking spaces of 9 ft. X 19 ft. therefore, 400 square feet of the garage is exempt from the calculation of floor area. With the exemption, the total proposed floor area would be 3,960 square feet, which is 440 square feet below the maximum allowable floor area for the 14,000 square-foot lot located in the SROZ. The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,000 to 15,000 ft <sup>2</sup>	1,400 ft <sup>2</sup>
<hr/> Maximum Allowable Floor Area:	4,400 ft <sup>2</sup>

As mentioned previously, the proposed structure is required to maintain a 25 foot setback from the canyon rim. The northern elevation of the residence will follow the 25 foot setback line from the eastern property line until approximately the center of the lot, then the residence will exceed the minimum 25 foot setback from the canyon rim to approximately 53 feet at the northwest corner of the residence. The proposed residence will be constructed at the five foot side yard setback line on the eastern side, the 20 foot front yard setback, because the setback can be reduced from 25 feet as Canyon Drive is 60 feet wide, and will exceed the five foot side yard setback along the west property line by approximately 2 feet 3 ¼ inches.

The maximum building height for the LR Zone is 25 feet. The residence is proposed at 25 feet or 319 feet Mean Sea Level (MSL) above the proposed grade. As designed, the project will comply with the required setbacks, maximum floor area and maximum building height.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicant provided a conceptual landscape plan that has been reviewed by the City's third-party

landscape architect, who has recommended approval. The Applicant will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicant is proposing to construct an attached 449 square-foot, two-car garage in the southeast corner of the proposed residence. The garage will be accessed by a driveway on the southeastern corner of the property from Canyon Drive. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide two 9-foot by 19-foot parking spaces that are clear of obstruction. Therefore, 400 square feet of garage area is exempt from the project's total floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project would include grading in the amount of 175 yd<sup>3</sup> cut, 33 yd<sup>3</sup> of fill, 150 yd<sup>3</sup> of export, 14 yd<sup>3</sup> of cut for footings and 6 yd<sup>3</sup> of for recompaction.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at*

*proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a replacement two-story, single-family residence with an attached garage and associated site improvements on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

- III. All required permits and approvals including variances, conditional use permits, and comprehensive sign plans have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.



B. In accordance with Section 17.48.020 (Scenic Area Overlay Zone) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *Building Characteristics. All development shall be compatible with the topography, vegetation and colors of the natural environment and with the scenic, historic and recreation resources of the designated areas.*

The proposed project, as shown in the view analysis, would increase the height and width of the existing structure. Existing public scenic views of the Pacific Ocean down Canyon Drive would be maintained. Proposed vegetation along the front property line would screen the property from Canyon Drive. The project has been conditioned to be constructed with exterior colors that are natural dark or earth toned to the extent feasible.

- II. *Building Structure and Placement. The placement of buildings and structures shall not detract from the visual setting or obstruct significant views, and shall be compatible with the topography of the site and adjacent areas. In prime viewshed areas designated in the general plan, building and structures should not be placed along bluff-top silhouette lines or on the adjacent slopes within view from a lagoon area, but should be clustered along the bases of the bluffs and on the mesa tops set back from the bluff-top silhouette lines. Buildings and structures should be sited to provide unobstructed view corridors from the nearest scenic highway, or view corridor road. These criteria may be modified when necessary to mitigate other overriding environmental considerations such as protection of habitat or wildlife corridors.*

The subject property is not located in any of the prime viewshed areas designated in the General Plan. There are existing westward ocean views down Canyon Drive that would not be impacted by the project. The views of the San Elijo Lagoon to the north between the existing residences would also be maintained. The project would expand the footprint of the existing structure to the west within the buildable area of the lot and the height of the structure would be increased.

- III. *Landscaping. The removal of native vegetation shall be minimized and the replacement vegetation and landscaping shall be compatible with the vegetation of the designated area. Landscaping and plantings shall be used to the maximum extent practicable to screen those features listed in paragraphs (F)(4), (5) and (6) of this subsection. Landscaping and plantings shall not obstruct significant views, either when installed or when they reach mature growth.*

The proposed project would maintain the existing landscaping on half of the property. The proposed landscape to be modified would be at the

top of the slope and within the front yard setback. The proposed landscape plan is provided in Attachment 2.

- IV. *Roads, Pedestrian Walkways, Parking and Storage Areas. Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas shall be screened from view, to the maximum extent feasible, from either the scenic highway or the adjacent scenic, historic, or recreational resource. Acceptable screening methods shall include, but are not limited to, the use of existing topography, the strategic placement of buildings and structures, or landscaping and plantings which harmonize with the natural landscape of the designated area.*

The project would maintain the footprint of the existing driveway and revise the driveway apron to meet City standards. The required parking will be provided within the proposed attached garage. A trash enclosure is proposed within the eastern side yard setback that would be screened from the public right-of-way and adjacent properties by a proposed fence.

- V. *Aboveground Utilities. Utilities shall be constructed and routed underground except in those situations where natural features prevent undergrounding or where safety considerations necessitate aboveground construction and routing.*

The Engineering Department has placed a condition on the project that requires any new utility services shall be undergrounded.

- VI. *Grading. The alteration of the natural topography of the site shall be minimized and shall avoid detrimental effects to the visual setting of the designated area and the existing natural drainage system. Alterations of the natural topography shall be screened from view from either the scenic highway or the adjacent scenic, historic, or recreational resource by landscaping and plantings which harmonize with the natural landscape of the designated area, except when such alterations add variety to or otherwise enhance the visual setting of the designated area. However, design emphasis shall be placed on preserving the existing quality of scenic resources rather than concealment of disturbances or replacement in kind. In portions of the scenic area overlay zone containing sensitive lands, grading may be severely restricted or prohibited.*

The project would include grading in the amount of 175 yd<sup>3</sup> of cut, 33 yd<sup>3</sup> of fill and 142 yd<sup>3</sup> of export, 14 yd<sup>3</sup> cut for footings, and 6 yd<sup>3</sup> for removal and recompaction.

- VII. *Signs. Off-site signs shall be prohibited in areas subject to the scenic area overlay zone, except temporary real estate signs pursuant to SBMC 17.64.060. The number, size, location, and design of all other signs shall be consistent with the Comprehensive Sign Ordinance (Chapter 17.64 SBMC) and shall not detract from the visual setting of the designated area or obstruct significant views.*

The project consists of the construction of a replacement two-story, single-family residence with an attached garage, and associated site improvements; therefore, signs are not proposed as part of the development.

- VIII. *Lighting. The interior and exterior lighting of the buildings and structures and the lighting of signs, roads and parking areas shall be compatible with the lighting permitted in the designated area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

- C. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicant was required to complete the SDP process. The Applicant had story poles erected onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on October 5, 2020, which showed the highest story pole certified at 319 MSL and 25 feet above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on November 19, 2020. No applications for View Assessment were received by the City.

A height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 25 feet above the proposed grade and the highest point of the structure will not exceed 319 feet above the Mean Sea Level (MSL).

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

##### A. Community Development Department Conditions:

- I. The Applicant shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on January 27, 2021, and located in the project file with a submittal date of January 14, 2021.
- III. Prior to requesting a framing inspection, the Applicant shall submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with the plans as approved by the City Council on January 27, 2021, and will not exceed 25 feet in height from the proposed grade or 319 MSL.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- VIII. Due to the property's location within the Dark Sky Area, the outside illumination for aesthetic or dramatic purposes of any building or surrounding landscape, including environmentally sensitive habitat areas (public or private) is prohibited.
- IX. The residence shall be constructed and painted so that the exterior colors are natural dark or earth toned to the extent feasible.
- X. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- XI. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.

B. Fire Department Conditions:

- I. **GATES:** All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.
- II. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- III. **FUEL MODIFICATION ZONES/FIRE BREAKS:** The Applicant shall provide and maintain fire/fuel breaks to the satisfaction of the Solana Beach Fire Department. Fire/fuel breaks size and composition shall be determined by the Fire Department and shown on the improvement /grading plans and final map and building plans.
- IV. **ADDRESS NUMBERS: STREET NUMBERS:** Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke

for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.

- V. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- VI. FIRE RESISTIVE CONSTRUCTION REQUIREMENTS FOR WILDLAND/URBAN INTERFACE AREAS: Structures shall meet all wildland/urban interface standards to the satisfaction of the Fire Department. Structures shall comply with current California Building Code Chapter 7A.
- VII. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 prior to any work being done in the public right-of-way. These include, but are not limited to:
  - a. Construction of 9" X 9" X 12" low profile mountable concrete curb along Canyon Drive with transitions to the existing improvements on both sides.
  - b. Construction of a 10' wide, Stabilized, Compacted Decomposed Granite graded at 2% towards the curb.
  - c. Concrete walkway steps.
  - d. Paver drainage swale.
  - e. Pervious paver driveway approach.
  - f. Landscaping.
  - g. 4" PCC landscape header.
- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit. The EMRA shall be

recorded against this property for all improvements in the Public Right-Of-Way including but not limited to:

- a. Concrete walkway steps.
  - b. Pervious paver underdrain.
  - c. Pervious paver driveway approach.
  - d. 10' wide D.G area compacted and graded at 2% towards the flow line.
  - e. 9" X 9" X 12" concrete curb along the property frontage.
  - f. Landscaping.
  - g. Irrigation.
  - h. 4" PCC landscape header.
- III. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- IV. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- V. The Applicant shall underground all new utility services including, but not limited to, electrical and telephone.
- VI. Obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
- a. The Applicant shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
  - b. The Applicant shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.

- c. The Applicant shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to Final Inspection of the Building Permit.
- d. The Applicant shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicant is responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicant shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. Cut and fill slopes shall be set back from site boundaries and buildings shall be set back from cut or fill slopes in accordance with SBMC 15.40.140 and to the satisfaction of the City Engineer.
- g. The Applicant shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- h. The Applicant shall obtain and submit grading security in a form prescribed by the City Engineer.
- i. The Applicant shall obtain haul permit for import / export of soil. The Applicant shall transport all excavated material to a legal disposal site.



- j. The Applicant shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- k. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicant. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used as a supplement to erosion prevention for keeping sediment on site.
- l. The Applicant shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- m. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- n. Prior to obtaining a building permit, submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.
- o. The building permit shall be issued concurrently with the grading permit.
- p. No increased cross lot drainage shall be allowed.

## V. EXPIRATION

The Development Review Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to

completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

## VI. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

**NOTICE TO APPLICANT:** Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 27<sup>th</sup> day of January 2021, by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSENT: Councilmembers –  
ABSTAIN: Councilmembers –

---

LESA HEEBNER, MAYOR

APPROVED AS TO FORM:

ATTEST:

---

JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk

# EWING RESIDENCE

NEW CONSTRUCTION / 514 CANYON DRIVE, SOLANA BEACH, CA 92075

DEVELOPMENT REVIEW PERMIT / STRUCTURE DEVELOPMENT PERMIT SUBMITTAL



## EWING RESIDENCE

New Construction  
514 Canyon Drive  
Solana Beach, CA 92075  
APN: 263-193-04

### SAFDIE RABINES ARCHITECTS

925 Fort Stockton Drive  
San Diego, CA 92103  
P (619) 297-6153  
F (619) 299-0072  
www.safdie-rabines.com

**CLIENT**  
Elisabeth Ewing  
514 Canyon Drive  
Solana Beach, CA 92075  
(760) 419-3167

**LANDSCAPE ARCHITECT**  
MARCIE HARRIS LANDSCAPE ARCHITECTURE  
2816 Granada Avenue  
San Diego, CA 92104  
(619) 688-0637

**SURVEYOR**  
COASTAL LAND SOLUTIONS, INC.  
577 Second Street  
Encinitas, CA 92024  
(760) 230-6025

**CIVIL ENGINEER**  
PASCO LARET SUITER & ASSOCIATES  
535 North Highway 101, Suite A  
Solana Beach, CA 92075  
(858) 259-8212

**SOILS ENGINEER**  
GEOTECHNICAL EXPLORATION INC.  
7420 Trade Street  
San Diego, CA 92121  
(858) 549-7222

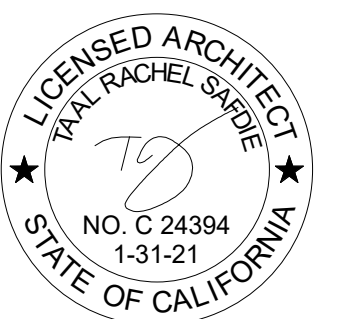
**BIOLOGICAL CONSULTANT**  
BLUE CONSULTING GROUP  
P.O. Box 501115  
San Diego, CA 92150  
(858) 391-8145

**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**



### REVISIONS

No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
02	SDP & DRP Submittal	07/15/19
03	SDP & DRP Resubmittal	03/06/20
04	SDP & DRP Resubmittal	05/07/20
05	SDP & DRP Resubmittal	09/10/20
06	SDP & DRP Resubmittal	10/10/20
07	City Council Presentation	01/27/21

Issue Date Scale

1/13/2021 5:30:50 PM

SRA Project Number

1810

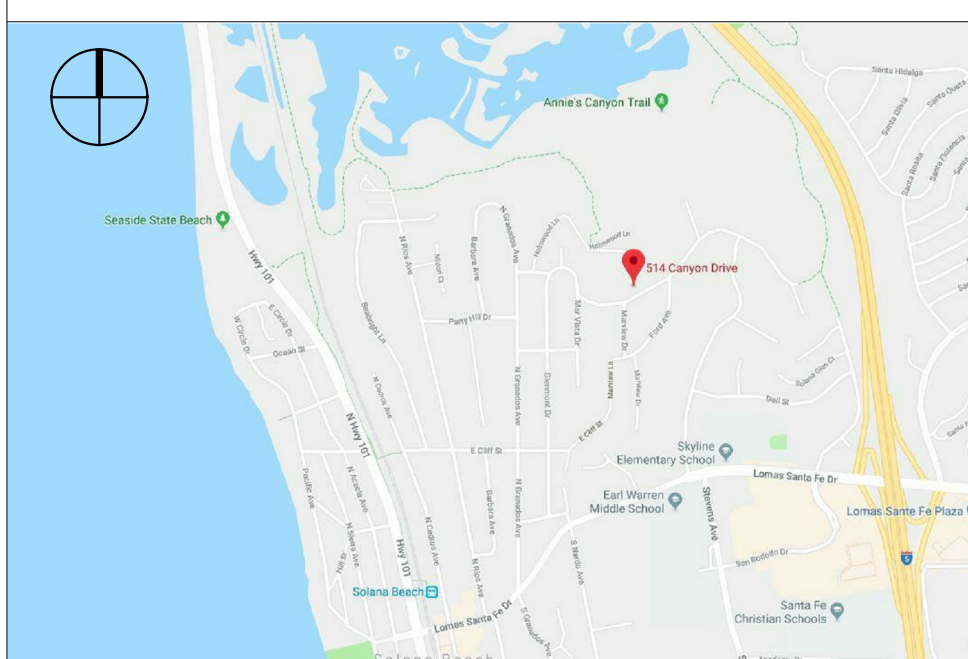
TITLE SHEET

ATTACHMENT 2

T1.0

CLIENT	DEVELOPMENT SUMMARY	PROPOSED LANDSCAPE	SHEET INDEX																																																																
<p><b>ELISABETH EWING</b> 514 Canyon Drive Solana Beach, CA 92075 (760) 419-3167</p> <p><b>PROJECT TEAM</b></p> <p><b>ARCHITECT</b> SAFDIE RABINES ARCHITECTS 925 Fort Stockton Drive San Diego, CA 92103 (619) 297-6153</p> <p><b>LANDSCAPE ARCHITECTURE</b> Marcie Harris Landscape Architecture 2816 Granada Avenue San Diego, CA 92104 (619) 688-0637</p> <p><b>SURVEYOR</b> Coastal Land Solutions, Inc. 577 Second Street Encinitas, CA 92024 (760) 230-6025</p> <p><b>CIVIL ENGINEER</b> Pasco Laret Suiter &amp; Associates 535 North Highway 101, Suite A Solana Beach, CA 92075 (858) 259-8212</p> <p><b>SOILS ENGINEER</b> Geotechnical Exploration Inc. 7420 Trade Street San Diego, CA 92121 (858) 549-7222</p> <p><b>BIOLOGICAL CONSULTANT</b> Blue Consulting Group P.O. Box 501115 San Diego, CA 92150 (858) 391-8145</p>	<p><b>PROJECT SCOPE</b> NEW TWO (2) STORY SINGLE FAMILY RESIDENCE, WITH AN ATTACHED GARAGE</p> <p><b>PROJECT ADDRESS</b> 514 CANYON DRIVE SOLANA BEACH, CA 92075</p> <p><b>ASSESSOR'S PARCEL NUMBER</b> 263-193-04-00</p> <p><b>LOT SIZE</b> GROSS LOT SIZE 14,000 SQ. FT. (0.32 AC) NET LOT SIZE 6,550 SQ. FT. (0.15 AC) RIGHT-OF-WAY 1,235 SQ. FT. (0.02 AC)</p> <p><b>LEGAL DESCRIPTION</b> LOT 15 IN BLOCK H OF MARVIEW HEIGHTS UNIT NO. 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1951</p> <p><b>OVERLAYS ZONES</b> SCENIC AREA OVERLAY HILLSIDE OVERLAY ZONE (PARTIALLY) SCALE RESIDENTIAL OVERLAY ZONE DARK SKY AREAS</p> <p><b>JURISDICTIONAL AUTHORITIES</b> CITY OF SOLANA BEACH</p> <p><b>ZONE</b> LOW RESIDENTIAL (LRD)</p> <p><b>EXISTING OCCUPANCY</b> SINGLE FAMILY RESIDENCE (R-3)</p> <p><b>PROPOSED OCCUPANCY</b> SINGLE FAMILY RESIDENCE (R-3)</p> <p><b>APPLICABLE BUILDING CODE</b> - 2016 CALIFORNIA BUILDING CODE (CBC) - 2016 CALIFORNIA RESIDENTIAL CODE (CRC) - 2016 CALIFORNIA MECHANICAL CODE (CMC) - 2016 CALIFORNIA ELECTRICAL CODE (CEC) - 2016 CALIFORNIA PLUMBING CODE (CPC) - 2016 CALIFORNIA ENERGY CODE - 2016 CALIFORNIA FIRE CODE (CFC) - 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (COBSC)</p> <p><b>BUILDING TYPE</b> TYPE V-B NFFPA 13-D SPRINKLERS SYSTEM</p> <p><b>EXISTING NUMBER OF STORIES</b> ONE STORY</p> <p><b>PROPOSED NUMBER OF STORIES</b> TWO STORIES</p> <p><b>PROPOSED PARKING</b> (2)-PARKING SPACES, REF. SBMC 17.52.040(A)</p> <p><b>EASEMENTS</b> NONE</p> <p><b>STRUCTURE HEIGHT</b> 25 FT. MAX HEIGHT FROM EXISTING OR PROPOSED GRADE, WHICHEVER IS LOWER. SITE SUBJECT TO THE DAYLIGHT PLANE.</p> <p><b>MAXIMUM FLOOR AREA CALCULATION</b> LOT SIZE: 14,000 SF</p> <table border="1"> <tr> <td>0.50 x 6,000 SF</td> <td>3,000 SF</td> </tr> <tr> <td>0.175 x 8,000 SF</td> <td>1,400 SF</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>4,400 SF</b></td> </tr> </table> <p><b>PROPOSED FLOOR AREA CALCULATION</b> LOT SIZE: 14,000 SF</p> <table border="1"> <tr> <td>FIRST LEVEL</td> <td></td> </tr> <tr> <td>LIVING AREAS</td> <td>2,260 SF</td> </tr> <tr> <td>GARAGE</td> <td>449 SF</td> </tr> <tr> <td>SECOND LEVEL</td> <td>1,651 SF</td> </tr> <tr> <td>SUBTOTAL</td> <td>4,360 SF</td> </tr> <tr> <td>GARAGE [EXEMPT]</td> <td>-400 SF</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>3,960 SF</b></td> </tr> </table>	0.50 x 6,000 SF	3,000 SF	0.175 x 8,000 SF	1,400 SF	<b>TOTAL</b>	<b>4,400 SF</b>	FIRST LEVEL		LIVING AREAS	2,260 SF	GARAGE	449 SF	SECOND LEVEL	1,651 SF	SUBTOTAL	4,360 SF	GARAGE [EXEMPT]	-400 SF	<b>TOTAL</b>	<b>3,960 SF</b>	<p><b>PROPOSED LANDSCAPE</b></p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>PROPOSED</th> <th>R.O.W.</th> </tr> </thead> <tbody> <tr> <td>NON-LANDSCAPED AREA</td> <td></td> <td></td> <td></td> </tr> <tr> <td>- BUILDING AREA</td> <td>2,157 SQ. 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FT.</b>	<p>1 - GENERAL T1.0 TITLE SHEET</p> <p>2 - CIVIL C100 PRELIMINARY GRADING PLAN</p> <p>3 - LANDSCAPE L1.0 LANDSCAPE CONCEPT PLAN L1.1 PLANT SCHEDULE AND HYDRO ZONE MAP</p> <p>4 - ARCHITECTURE A0.1 TOPOGRAPHIC SURVEY A0.2 DEMOLITION PLAN A0.3 SETBACK CALCULATIONS A0.4 AREA CALCULATION A0.5 SLOPE ANALYSIS A1.0 SITE PLAN A2.0 FLOOR PLAN - FIRST LEVEL A2.1 FLOOR PLAN - SECOND LEVEL A2.2 ROOF PLAN A3.0 ELEVATIONS - NORTH / SOUTH A3.1 ELEVATIONS - EAST / WEST A4.0 SECTIONS A-SP STORY POLE PLAN A-SP-EL1 STORY POLE ELEVATIONS - NORTH / SOUTH A-SP-EL2 STORY POLE ELEVATIONS - EAST / WEST</p>
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### VICINITY MAP





**GENERAL NOTES**

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:  
UNDERGROUND S.A. (800)-227-2600
- A SOILS REPORT SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARNING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A GRADUAL TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL FACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 1:2 FILL 1:2  
CUT: 175 CY (OUTSIDE OF STRUCTURE) FILL: 33 CY (OUTSIDE OF STRUCTURE) EXPORT: 142 CY  
CUT: 14 CY (BELOW THE STRUCTURE) FILL: 6 CY (BELOW THE STRUCTURE) EXPORT: 8 CY  
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)

\*\* THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.

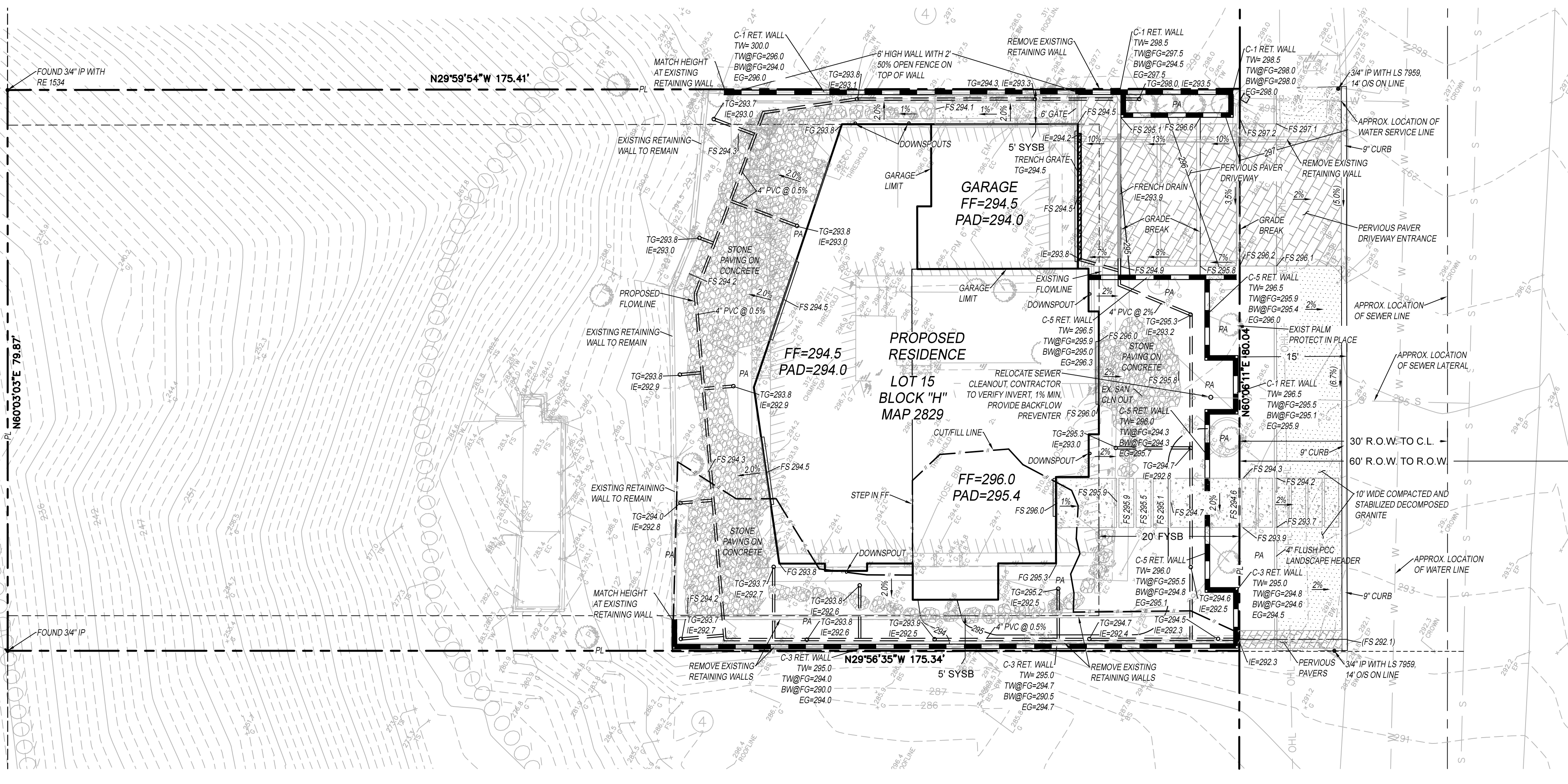
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 858.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1. PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING: "THE GRADING UNDER PERMIT NO. SBR-216 HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN OR AS SHOWN ON THE ATTACHED AS-GRADED PLAN". THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- SEWER LATERAL TO HOUSE LOWER THAN UPSTREAM SEWER MANHOLE. A HOLD HARMLESS AGREEMENT MAY BE REQUIRED PRIOR TO FINAL INSPECTION.

**EROSION CONTROL NOTES**

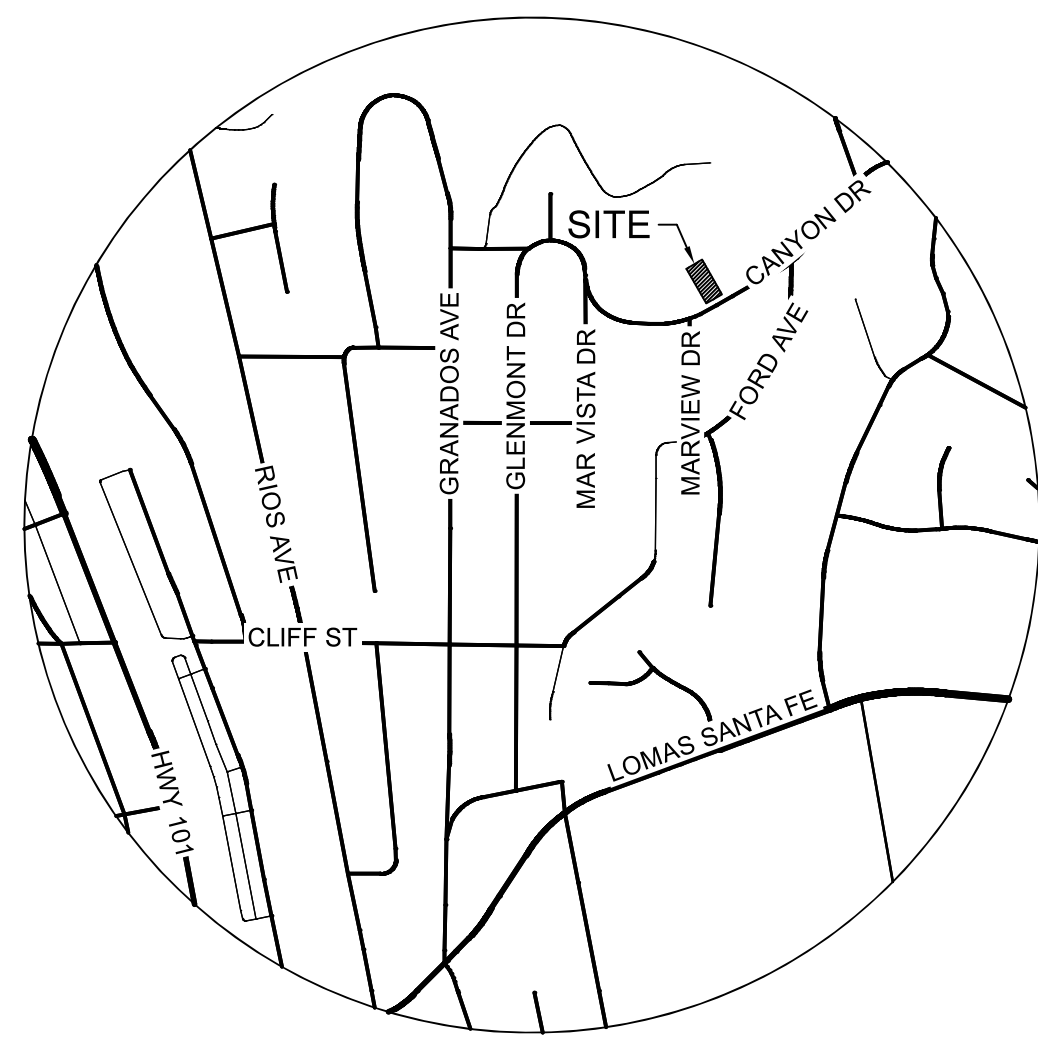
- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:  
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.  

LBS/ACRE	% PURITY/ACRE	SEED SPECIES
20	70% PLUS	ATRIPLIX GLAUCA
50		PLANTAGE INSULARIS
8		ENCELIS FARINOSA
6	SCARIFIED	LOTUS SCOPARIUS
7	50% PLUS	EXCHSCHOLTZIA CALIF.
97		
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

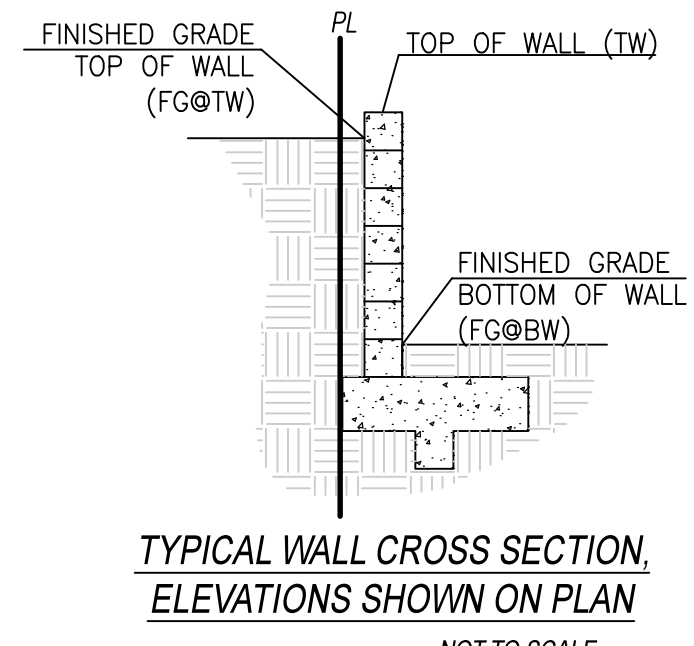
**PRELIMINARY GRADING PLAN**



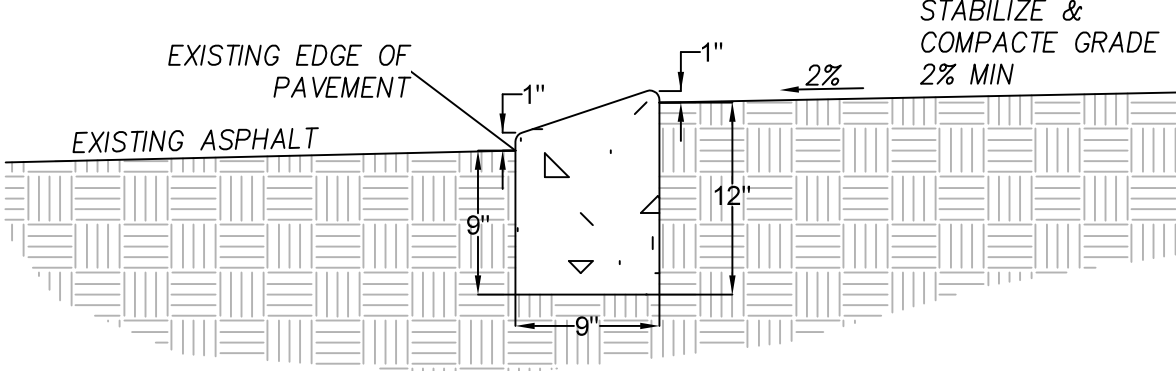
PRELIMINARY GRADING PLAN SCALE: 1" = 10'



VICINITY MAP NOT TO SCALE



TYPICAL WALL CROSS SECTION ELEVATIONS SHOWN ON PLAN NOT TO SCALE



9"X9"X12" CONCRETE CURB NOT TO SCALE

**LEGAL DESCRIPTION**  
LOT 15 IN BLOCK "H" OF MARVIEW HEIGHTS, UNIT NO. 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARCEL MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1951.

**A.P.N.:** 263-193-04  
**SITE ADDRESS:** 514 CANYON DRIVE SOLANA BEACH, CA 92075  
**OWNER/PERMITTEE:** ELISABETH EWING

**TOPOGRAPHIC SURVEY:** COASTAL LAND SOLUTIONS, INC. 760-230-6025

**WORK TO BE DONE**  
THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:

- STANDARD SPECIFICATIONS**
- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
  - CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
  - STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

**STANDARD DRAWINGS**

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

**LEGEND**

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTERLINE OF ROAD	---
PROPOSED SETBACKS	---
PROPOSED HARDSCAPE PER LANDSCAPE ARCHITECT PLANS	---
PROPOSED PERVIOUS PAVERS PER LANDSCAPE ARCHITECT	---
PROPOSED STONE ON CONCRETE PER LANDSCAPE ARCHITECT	---
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---
PROPOSED MASONRY RETAINING WALL PER PLAN	---

**OWNER'S CERTIFICATE**  
I, ELISABETH EWING, AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN. IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

ELISABETH EWING DATE

**DECLARATION OF RESPONSIBLE CHARGE**  
I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

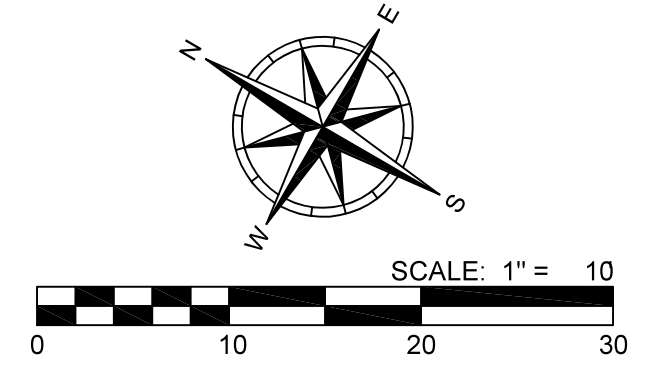
By: *Brian Ardolino*  
BRIAN ARDOLINO RCE No. 71651 Exp. 12/31/2019  
PASCO LARET SUTJER & ASSOCIATES



**EARTHWORK QUANTITIES**  
SITE GRADING (OUTSIDE OF STRUCTURE):  
CUT: 175 CY  
FILL: 33 CY

EXCAVATION FOR FOOTINGS: 14 CY  
REMOVAL & RECOMPACTION (UNDER STRUCTURE): 6 CY  
TOTAL GRADING: 228 CY

\* EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.



COASTAL COMMISSION PERMIT NO.

ENGINEER OF WORK	CITY APPROVED CHANGES	APPD	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
KAH By: <i>Brian Ardolino</i> Date: 6/6/18 Name: BRIAN ARDOLINO R.C.E. 71651 Exp. 12/31/19				By: _____ Review Engineer Date: _____	By: _____ City Engineer R.C.E. _____ Date: _____ Exp: _____	DESCRIPTION: "SOLB-1" PER SOLANA BEACH VERT. CONTROL LOCATION: ON THE EAST SHOULDER OF HIGHWAY 101, 0.1 MILES SOUTH OF LOMAS SANTA FE DRIVE. RECORD FROM: ROS NO. 18971 ELEV. 71.450 DATUM: NAVD 88	PRELIMINARY GRADING PLAN FOR: <b>514 CANYON DRIVE</b>	SHEET 1 OF 1



# EWING RESIDENCE

New Construction  
514 Canyon Drive  
Solana Beach, CA 92075  
APN: 263-193-04

**SAFDIE RABINES ARCHITECTS**  
925 Fort Stockton Drive  
San Diego, CA 92103  
P (619) 297-5153  
F (619) 299-8072  
www.safdie-rabines.com

**CLIENT**  
Elisabeth Ewing  
514 Canyon Drive  
Solana Beach, CA 92075  
(760) 419-3167

**LANDSCAPE ARCHITECT**  
MARJORIE HARRIS LANDSCAPE ARCHITECTURE  
2316 Granada Avenue  
San Diego, CA 92104  
(619) 688-0637

**SURVEYOR**  
COASTAL LAND SOLUTIONS, INC.  
577 Second Street  
Encinitas, CA 92024  
(760) 230-6025

**CIVIL ENGINEER**  
PASCO LARET SUITER & ASSOCIATES  
535 North Highway 101, Suite A  
Solana Beach, CA 92075  
(858) 259-8212

**SOILS ENGINEER**  
GEOTECHNICAL EXPLORATION INC.  
7420 Trade Street  
San Diego, CA 92121  
(858) 549-7222

**BIOLOGICAL CONSULTANT**  
BLUE CONSULTING GROUP  
P.O. Box 501115  
San Diego, CA 92150  
(858) 391-8145

**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**



FIRST LEVEL

SECOND LEVEL

## PLANT SCHEDULE SEE COMPLETE PLANT SCHEDULE ON L1.1

TREES	BOTANICAL / COMMON NAME	SHRUBS	BOTANICAL / COMMON NAME	VINE/ESPALIER	BOTANICAL / COMMON NAME
	FEUOA SELLOWIANA / PINEAPPLE GUAVA TREE		COTYLEDON ORBICULATA 'WHITEWASH' / IVORY SHELL		BOUGAINVILLEA X 'LA JOLLA' / BOUGAINVILLEA STAKED
	JACARANDA MIMOSIFOLIA / JACARANDA		DIANELLA 'BLU TOPIA' / BLU TOPIA FLAX LILY		CAMELLIA J 'KRAMER'S SUPREME' / KRAMER'S SUPREME CAMELLIA ESPALIER FORM
<b>EXISTING TREES TO PRESERVE</b>					
	EXISTING JUNIPER / TO BE PRESERVED		HESPERALOE PARVIFLORA / RED YUCCA		HARDENBERGIA VIOLACEA / LILAC VINE ESPALIER FORM
	EXISTING PALM / TO BE PRESERVED		HETEROMELES ARBUTIFOLIA / TOYON	<b>SHRUB AREAS</b>	
	EXISTING TORREY PINE / TO BE PRESERVED		LAVANDULA STOECAS / SPANISH LAVENDER		BACCHARIS P 'PIGEON POINT' / COYOTE BRUSH
<b>SHRUBS</b>					
	AEONILUM X 'PLUM PETALS' / PLUM PETALS AEONILUM		LEPTOSPERMUM S 'HELENE STRYBING' / FLOWERING TEA TREE		DYMONDIA MARGARETAE / DYMONDIA
	AGAVE ATTENUATA / AGAVE		LEPTOSPERMUM X 'DARK SHADOWS' / DARK SHADOWS TEA TREE LOW BRANCHING FORM		FESTUCA MAIREI / ATLAS FESCUE
	AGAVE X 'BLUE GLOW' / BLUE FLAME AGAVE		LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' / RIO BRAVO TEXAS RANGER		GAURA 'PASSIONATE BLUSH' / PASSIONATE BLUSH
	CALANDRINA GRANDIFLORA / ROCK PURSLANE		OLEA EUROPAEA 'LITTLE OLLIE' / LITTLE OLLIE OLIVE		LOMANDRA LONGIFOLIA / MAT RUSH
	CEANOTHUS GRISEUS H. 'YANKEE POINT' / CALIFORNIA LILAC		PITTOSPORUM T. 'MARJORIE CHANNON' / MARJORIE CHANNON TAWHIWHI		SENECIO MANDRALISCAE / BLUE FINGER
	CHONDROPETALUM TECTORUM / CAPE RUSH		PODOCARPUS X 'ICEE BLUE' / ICEE BLUE PODOCARPUS		THYMUS PSEUDOLANUGINOSUS / WOOLLY THYME
	CISTUS LADANIFER / CRIMSON SPOT ROCKROSE		WESTRINGIA FRUTICOSA 'MUNDY' / SMOKEY WESTRINGIA TRAILING TYPE		
	COLEONEMA PULCHRUM / PINK BREATH OF HEAVEN		YUCCA FILAMENTOSA 'GOLDEN SWORD' / GOLDEN SWORD ADAM'S NEEDLE		

### NOTES:

- ALL LANDSCAPE AND IRRIGATION DESIGN AND INSTALLATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE REGULATIONS AND ALL OTHER LANDSCAPE RELATED REGIONAL STANDARDS.
- THE PLAN TO ADHERE TO THE SOLANA BEACH LANDSCAPE DESIGN MANUAL WITH RESPECT TO THE INVASIVE PLANT SPECIES LIST. ANY INVASIVE PLANT SPECIES LISTED ON THE INVASIVE PLANT SPECIES LIST IS PROHIBITED.
- ALL PLANTING AREAS TO RECEIVE 3" DEEP LAYER OF MULCH.
- INSTALL BIOBARRIER (TYPER, WWW.BIOBARRIER.COM. NO KNOWN EQUAL) AT TREES WITHIN 5' OF ANY HARDSCAPE AND UTILITY. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR TO PROTECT AND CARE FOR EXISTING VEGETATION TO REMAIN WHICH INCLUDES, BUT IS NOT LIMITED TO, MINIMIZING ROOT DISTURBANCE BY STOCK-PILING EQUIPMENT AND MATERIALS DURING CONSTRUCTION. ANY PLANT DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR WITH NO ADDITIONAL COST TO OWNER.

### REVISIONS

No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
02	SDP & DRP Submittal	07/15/19
03	SDP & DRP Resubmittal	03/06/20
04	SDP & DRP Resubmittal	05/07/20
05	SDP & DRP Resubmittal	09/10/20
06	SDP & DRP Resubmittal	10/15/20
07	City Council Presentation	01/27/21

Issue Date \_\_\_\_\_ Scale 1" = 10'

SRA Project Number 1810

# LANDSCAPE CONCEPT PLAN

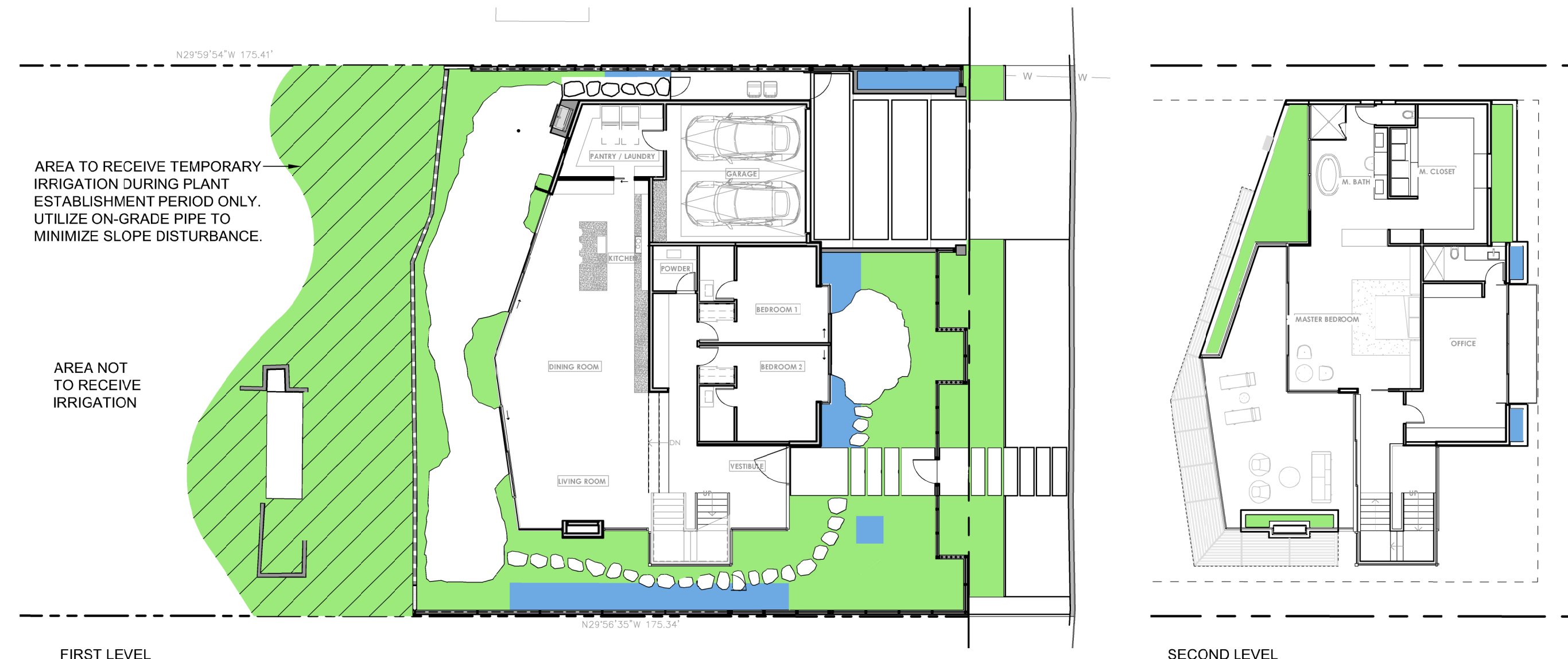
# L1.0



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	INSTALLATION SIZE	MATURE SIZE	WUCOLS	QTY	
	FEIJOA SELLOWIANA / PINEAPPLE GUAVA TREE	36" BOX	18-25' X 18-25'	LOW	2	
	JACARANDA MIMOSIFOLIA / JACARANDA	48" BOX	25-40' X 15-30'	MODERATE/MEDIUM	1	
EXISTING TREES TO PRESERVE	BOTANICAL / COMMON NAME	INSTALLATION SIZE	MATURE SIZE	WUCOLS	QTY	
	EXISTING JUNIPER / TO BE PRESERVED	--	--	--	1	
	EXISTING PALM / TO BE PRESERVED	--	--	--	4	
	EXISTING TORREY PINE / TO BE PRESERVED	--	--	--	1	
SHRUBS	BOTANICAL / COMMON NAME	INSTALLATION SIZE	MATURE SIZE	WUCOLS	QTY	
	AEONIUM X 'PLUM PETALS' / PLUM PETALS AEONIUM	5 GALLON	1-2' X 1-2'	LOW	5	
	AGAVE ATTENUATA / AGAVE	5 GALLON	4-5' X 4-5'	LOW	33	
	AGAVE X 'BLUE GLOW' / BLUE FLAME AGAVE	5 GALLON	2-3' X CLUMPING	LOW	9	
	CALANDRINA GRANDIFLORA / ROCK PURSLANE	1 GALLON	12-18" X 3-4"	LOW	4	
	CEANOTHUS GRISEUS H. 'YANKEE POINT' / CALIFORNIA LILAC	1 GALLON	2-3' X 8-10'	LOW	7	
	CHONDRROPETALUM TECTORUM / CAPE RUSH	5 GALLON	3' X 3'	MODERATE/MEDIUM	4	
	CISTUS LADANIFER / CRIMSON SPOT ROCKROSE	5 GALLON	4-5' X 4-5'	LOW	6	
	COLEONEMA PULCHRUM / PINK BREATH OF HEAVEN	15 GALLON	4-5' X 4-5'	MODERATE/MEDIUM	3	
	COTYLEDON ORBICULATA 'WHITEWASH' / IVORY SHELL	1 GALLON	12-18" X 12-18"	LOW	12	
	DIANELLA 'BLU TOPIA' / BLU TOPIA FLAX LILY	5 GALLON	2-3' X 1-2'	MODERATE/MEDIUM	11	
	HESPERALOE PARVIFLORA / RED YUCCA	5 GALLON	3-4' X 4-5'	LOW	11	
	HETEROMELES ARBUTIFOLIA / TOYON	15 GALLON	6-10' X 6-8'	VERY LOW	2	
	LAVANDULA STOECHAS / SPANISH LAVENDER	1 GALLON	1-2' X 2-3'	LOW	10	
	LEPTOSPERMUM S 'HELENE STRYBING' / FLOWERING TEA TREE	15 GALLON	8-10' X 8-12'	MODERATE/MEDIUM	3	
	LEPTOSPERMUM X 'DARK SHADOWS' / DARK SHADOWS TEA TREE LOW BRANCHING FORM	24" BOX	12-16' X 12-16'	LOW	1	
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' / RIO BRAVO TEXAS RANGER	5 GALLON	4-5' X 4-5'	LOW	5	
	OLEA EUROPAEA 'LITTLE OLLIE' / LITTLE OLLIE OLIVE	15 GALLON	6-8' X 4-6'	LOW	9	
	PITTIOSPORUM T. 'MARJORIE CHANNON' / MARJORIE CHANNON TAWHIWIHI	15 GALLON	6-8' X 6-8'	MODERATE/MEDIUM	2	
	PODOCARPUS X 'ICEE BLUE' / ICEE BLUE PODOCARPUS	15 GALLON	15-25' X 15-25'	MODERATE/MEDIUM	11	
	WESTRINGIA FRUTICOSA 'MUNDY' / SMOKEY WESTRINGIA TRAILING TYPE	5 GALLON	1-2' X 4-8'	LOW	5	
	YUCCA FILAMENTOSA 'GOLDEN SWORD' / GOLDEN SWORD ADAM'S NEEDLE	5 GALLON	3-4' X 4-5'	VERY LOW	5	
VINE/ESPALIER	BOTANICAL / COMMON NAME	INSTALLATION SIZE	MATURE SIZE	WUCOLS	QTY	
	BOUGAINVILLEA X 'LA JOLLA' / BOUGAINVILLEA STAKED	5 GALLON	4-5' X SPREADING	LOW	3	
	CAMELLIA J 'KRAMER'S SUPREME' / KRAMER'S SUPREME CAMELLIS ESPALIER FORM	15 GALLON	6-8' X 6-8'	MODERATE/MEDIUM	1	
	HARDENBERGIA VIOLACEA / LILAC VINE ESPALIER FORM	15 GALLON	SPREADING	MODERATE/MEDIUM	3	
SHRUB AREAS	BOTANICAL / COMMON NAME	INSTALLATION SIZE	MATURE SIZE	WUCOLS	SPACING	QTY
	BACCHARIS P 'PIGEON POINT' / COYOTE BRUSH	1 GAL	1-2' X 8-10'	LOW	72" o.c.	30
	DYMONDIA MARGARETAE / DYMONDIA	FLATS	<1' X SPREADING	LOW	6" o.c.	3
	FESTUCA MAIREI / ATLAS FESCUE	1 GALLON	1-2' X 1-2'	LOW	18" o.c.	350
	GAURA 'PASSIONATE BLUSH' / PASSIONATE BLUSH	1 GALLON	1-2' X 1-2'	LOW	18" o.c.	60
	LOMANDRA LONGIFOLIA / MAT RUSH	1 GALLON	1-2' X 1-2'	LOW	18" o.c.	90
	SENECIO MANDRALISCAE / BLUE FINGER	FLAT	<1' X SPREADING	LOW	9" o.c.	30
	THYMUS PSEUDOLANUGINOSUS / WOOLLY THYME	FLAT	6-8' X SPREADING	LOW	6" o.c.	20

HYDRO ZONE MAP N.T.S.



**HYDROZONESONES**

	LOW WATER USE	3,557 SF
	MEDIUM/MODERATE WATER USE	305 SF
<b>TOTAL HYDROZONES (INCLUDES HYDROZONES IN R.O.W., 250 SF)</b>		<b>3,862 SF</b>

SITE AREAS

TOTAL LOT AREAS 14,000 SF

BREAKDOWN PER CITY OF SOLANA BEACH GENERAL PROJECT APPLICATION SUBMITTAL PACKET GUIDE

	EXISTING	PROPOSED	R.O.W.
• NON-LANDSCAPED AREA			
• BUILDING AREA	2,157 SF	2,706 SF	0 SF
• IMPERVIOUS HARDSCAPE	1,115 SF	1,698 SF	157 SF
• PERVIOUS HARDSCAPE	0 SF	544 SF	814 SF
• NON-IRRIGATED LANDSCAPE	7,633 SF	5,687 SF	0 SF
• IRRIGATED LANDSCAPE	3,095 SF	3,375 SF (EXCLUDING 237 SF ON 2ND LEVEL)	250 SF
• WATER FEATURES	0 SF	0 SF	0 SF
<b>TOTAL AREA</b>	<b>14,000 SF</b>	<b>14,000 SF</b>	<b>1,221 SF</b>

**ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

Applicant Last Name: \_\_\_\_\_ Project/Plan Check Number: \_\_\_\_\_ Project Address: \_\_\_\_\_

The project's Estimated Total Water Use is calculated using the following formula:  $ETWU = (ETo)(0.62) \left( \frac{PF \times HA}{IE} + SLA \right)$

ETWU = Estimated total water use per year (gallons per year)  
 ETo = Evapotranspiration rate (inches per year)  
 PF = Plant Factor from WUCOLS (see Definitions)  
 HA = Hydro-zone Area (square feet). Define hydro-zones by water use: very low, low, moderate and high  
 SLA = Special Landscape Area (square feet): Edible plants, irrigated with recycled water, & turf used for active play  
 0.62 = Conversion Factor (to gallons per square foot)  
 IE = Irrigation Efficiency

**CITY OF SOLANA BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

Line	Hydro-zone Number (1 - 4 Below - use as many tables as necessary to complete all hydrozones)					SLA
	1	2	3	4		
Evapotranspiration Rate (ETo) See "A" below	Use 41 (west of I-5) / 47 (east of I-5)					
Conversion Factor - 0.62	0.62					
(Line 1 x Line 2)	25.42 (west of I-5) / 29.14 (east of I-5)					
Plant Factor (PF) See "B" below	.3	.3	.6			
Hydrozone Area (HA) - in square feet	5	1,831	1,726	305		
(Line 4 x Line 5)	6	549.3	517.8	183		
Irrigation Efficiency (IE) See "C" below	7	.75	.81	.81		
(Line 6 ÷ Line 7)	8	732	639	226		
TOTAL of all Line 8 boxes + SLA	9	1,597				
Line 3 x Line 9 Estimated Total Water Use - ETWU (gallons per year)	10	40,596				
Total shall not exceed MAWA below						

**MAXIMUM APPLIED WATER APPLICATION (MAWA) calculation:**  
 Evapotranspiration adjustment factor (ETAF) [Sec. 55 residential] 45 non-residential

$\frac{25.42}{25.42 \text{ or } 29.14} \left[ (ETAF \times \frac{3,862}{\text{Total Landscape Area}}) + (1-ETAF \times \frac{0}{\text{Total SLA}}) \right] = \text{MAWA } 53,995$

January 2016 Page 3 of 9

**EWING RESIDENCE**  
 New Construction  
 514 Canyon Drive  
 Solana Beach, CA 92075  
 APN: 263-193-04

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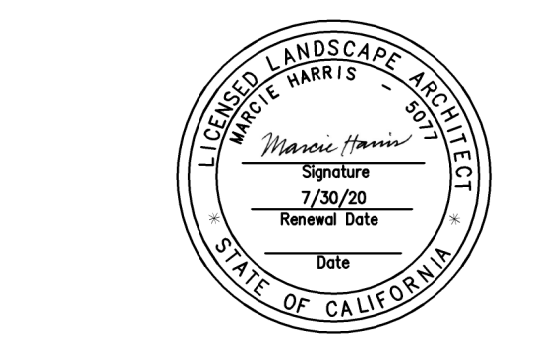
**BIOLOGICAL CONSULTANT**  
 BLUE CONSULTING GROUP  
 P.O. Box 50115  
 San Diego, CA 92150  
 (858) 391-8145

**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**



**REVISIONS**

No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
02	SDP & DRP Submittal	07/15/19
03	SDP & DRP Resubmittal	03/06/20
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06	SDP & DRP Resubmittal	10/15/20
07	City Council Presentation	01/27/21

Issue Date: \_\_\_\_\_ Scale: \_\_\_\_\_

SRA Project Number: 1810

PLANT SCHEDULE AND HYDRO ZONE MAP

L1.1



# TOPOGRAPHIC SURVEY

## ENCUMBRANCES:

EXISTING ENCUMBRANCES LISTED BELOW ARE PER A PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY DATED MARCH 11, 2016 AS ORDER NO 73718000825-RCM.

- 4 COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT.

RECORDING DATE: DECEMBER 31, 1951 RECORDING NO.: 156661, OFFICIAL RECORDS.

## OWNER:

ELISABETH EWING

## ADDRESS:

514 CANYON DRIVE  
SOLANA BEACH, CA 92075

## APN:

263-193-04

## BENCHMARK:

CITY OF SOLANA BEACH BENCHMARK SOLB-1, 2.5"  
CITY OF SOLANA BEACH BRASS DISC ON  
CONCRETE DRAINAGE INLET ON THE EAST  
SHOULDER OF HIGHWAY 101, 0.1 MILES SOUTH OF  
LOMAS SANTA FE DRIVE.  
ELEVATION = 71.450'

DATUM = NAVD 88

## LEGAL DESCRIPTION:

LOT 15 IN BLOCK H OF MARVIEW HEIGHTS UNIT NO. 4, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2829, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 27, 1951.

## NOTES:

- BEARINGS AND DISTANCES SHOWN HEREON ARE DERIVED FROM AN EVIDENCE BASED BOUNDARY SURVEY PERFORMED IN JANUARY OF 2018. A CORNER RECORD DEPICTING THE FULL BOUNDARY PROCEDURE WILL BE FILED WITH THE COUNTY OF SAN DIEGO
- PLEASE NOTE THAT THIS SURVEY HAS NOT IDENTIFIED ANY UNDERGROUND UTILITIES THAT MAY EXIST UNLESS OTHERWISE SHOWN.
- TREES THAT ARE LESS THAN 6" IN DIAMETER HAVE NOT BEEN LOCATED, UNLESS OTHERWISE SHOWN.

## LEGEND:

BS	INDICATES BOTTOM OF SLOPE
BW	INDICATES BOTTOM OF WALL
EC	INDICATES EDGE OF CONCRETE
EM	INDICATES ELECTRIC METER
EP	INDICATES EDGE OF PAVEMENT
EX	INDICATES EXISTING
FFE	INDICATES FINISHED FLOOR ELEVATION
FS	INDICATES FINISHED SURFACE
FYSB	INDICATES FRONT YARD SETBACK
G	INDICATES GROUND
GM	INDICATES GAS METER
PM	INDICATES PALM TREE
SSCO	INDICATES SANITARY SEWER CLEAN OUT
YSB	INDICATES SIDE YARD SETBACK
TR	INDICATES TREE
TS	INDICATES TOP OF SLOPE
TW	INDICATES TOP OF WALL

FLOWLINE	
DENSE VEGETATION LIMITS	
OVER HEAD POWER LINE	
SEWER LINE	
WALL	
WOOD FENCE	
EXISTING FIRE HYDRANT	
EXISTING SEWER MANHOLE	
EXISTING TREE	
EXISTING UTILITY POLE	
EXISTING WATER METER	
EXISTING WATER VALVE	

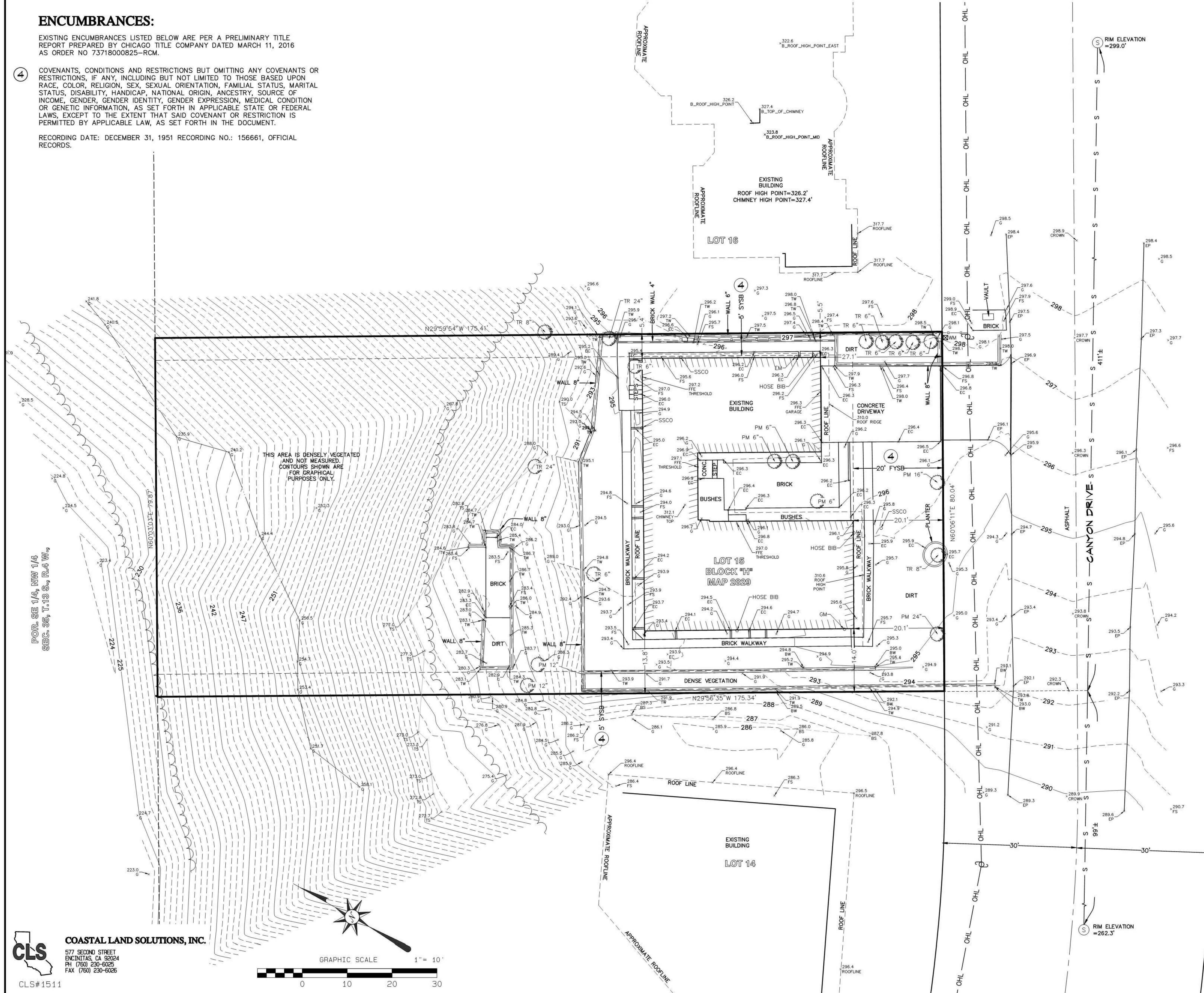
## PREPARED BY:

COASTAL LAND SOLUTIONS, INC.  
577 SECOND STREET  
ENCINITAS, CA 92024  
760-230-6025

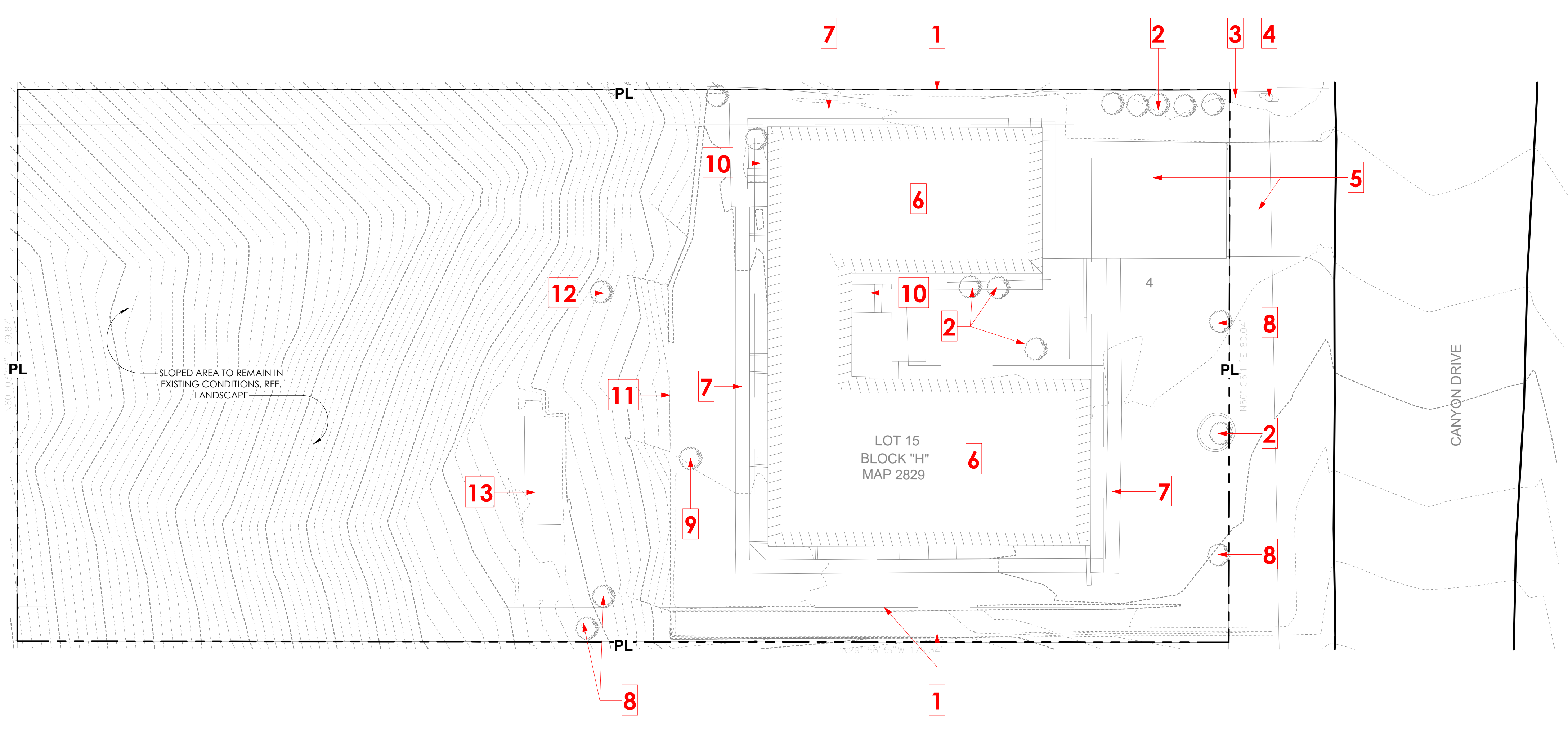
DATE OF SURVEY: JANUARY 2018.

DATE OF UPDATED SURVEY: SEPTEMBER 2019

SEAN C. ENGLERT, LS 7959 9-23-2019  
DATE







**DEMOLITION NOTES**

1. (E) FENCE, RETAINING WALLS AND PLANTING TO BE REMOVED
2. (E) TREES TO BE REMOVED, TYP.
3. (E) WATER METER TO REMAIN
4. (E) UTILITY POLE TO REMAIN
5. (E) CONCRETE AND ASPHALT DRIVEWAY TO BE DEMOLISHED AND REPLACED PER PROPOSED DESIGN
6. (E) HOUSE STRUCTURE TO BE COMPLETELY DEMOLISHED (FOUNDATIONS, FLOORS, WALLS AND ROOFS)
7. (E) BRICK WALKWAY TO BE DEMOLISHED, TYP.
8. (E) PALM TREE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE, REF. LANDSCAPE
9. (E) PLANTING TO BE REMOVED
10. (E) CONCRETE STEPS TO BE DEMOLISHED
11. (E) RETAINING WALL TO REMAIN.
12. (E) PINE TREE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE, REF. LANDSCAPE
13. (E) PAD AND RETAINING WALLS TO REMAIN IN PLACE

**EWING RESIDENCE**

**New Construction**  
 514 Canyon Drive  
 Solana Beach, CA 92075  
 APN: 263-193-04

**SAFDIE RABINES ARCHITECTS**  
 925 Fort Stockton Drive  
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 F (619) 299-0072  
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**LANDSCAPE ARCHITECT**  
 MARCIE HARRIS LANDSCAPE ARCHITECTURE  
 2316 Granada Avenue  
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**SURVEYOR**  
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 Solana Beach, CA 92075  
 (858) 259-8212

**SOILS ENGINEER**  
 GEOTECHNICAL EXPLORATION INC.  
 7420 Trade Street  
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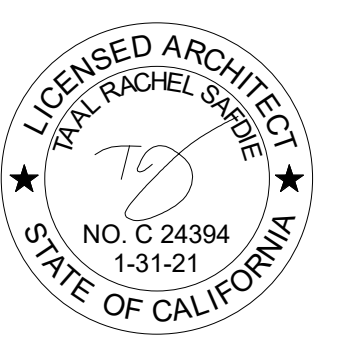
**BIOLOGICAL CONSULTANT**  
 BLUE CONSULTING GROUP  
 P.O. Box 50115  
 San Diego, CA 92150  
 (858) 391-8145

**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**



**REVISIONS**

No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
02	SDP & DRP Submittal	07/15/19
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07	City Council Presentation	01/27/21

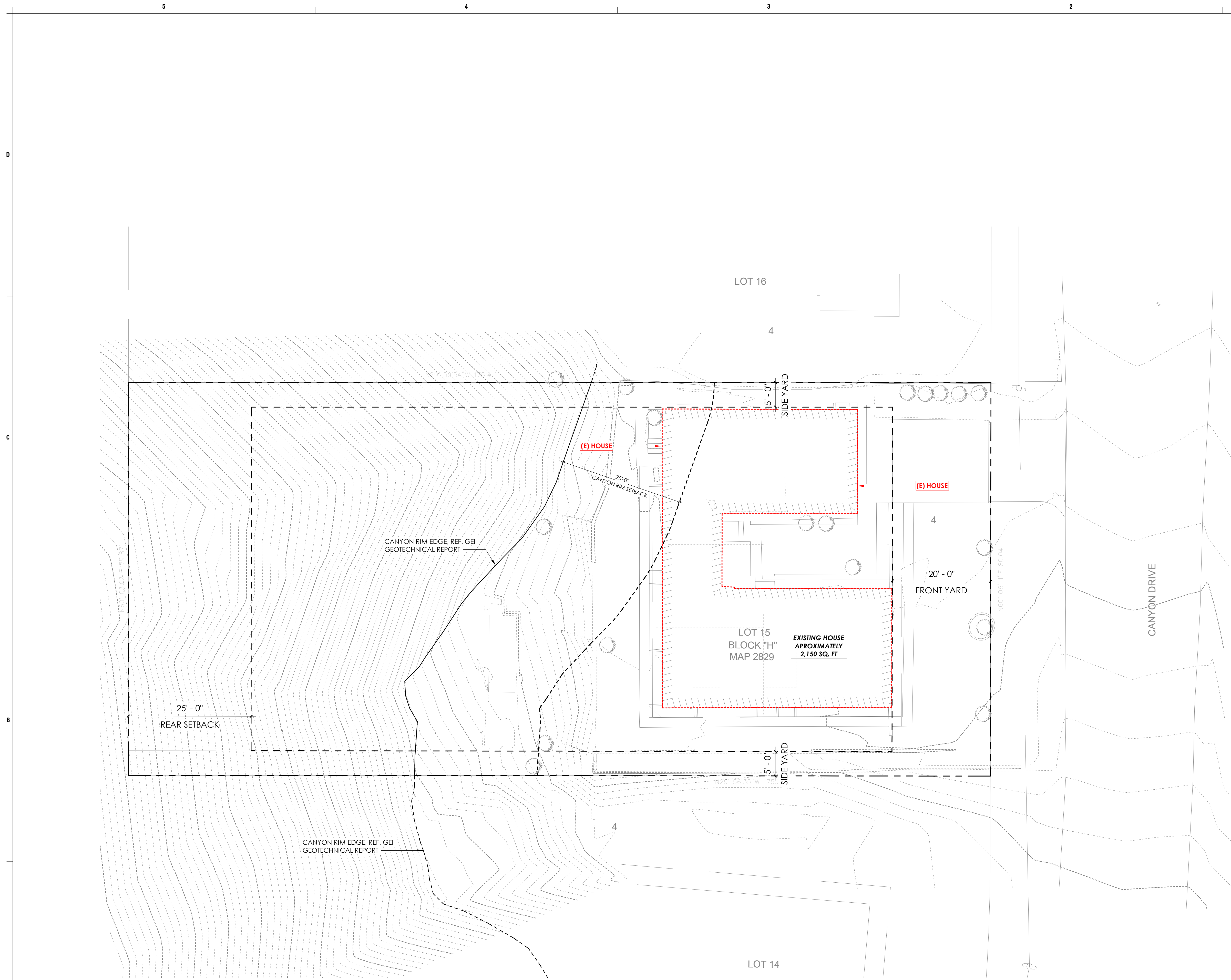
Issue Date: 1/13/2021 5:30:26 PM Scale: 1" = 10'-0"

SRA Project Number: 1810

**DEMOLITION PLAN**

**A0.2**





### SETBACK CALCULATIONS

**17.20.030(A) MINIMUM LOT SIZES AND DIMENSIONS**  
 PER SOLANA BEACH MUNICIPAL CODE, TABLE 17.20.030-A, THE MINIMUM LOT DIMENSIONS FOR ZONE LR ARE AS FOLLOWS:

MINIMUM LOT AREA IN SQ. FT.	14,000 SQ. FT.
<b>ACTUAL LOT AREA</b>	<b>14,000 SQ. FT.</b>
MINIMUM STREET FRONTAGE	65.00 FEET
<b>ACTUAL STREET FRONTAGE</b>	<b>80.04 FEET</b>
MINIMUM LOT DEPTH	100.00 FEET
<b>ACTUAL LOT DEPTH</b>	<b>175.41 FEET</b>
MINIMUM LOT DEPTH	65.00 FEET
<b>ACTUAL STREET FRONTAGE</b>	<b>80.04 FEET</b>

**17.20.030(D)(1) MINIMUM YARD DIMENSIONS**  
 PER SOLANA BEACH MUNICIPAL CODE, TABLE 17.20.030-D, THE MINIMUM YARD DIMENSIONS FOR ZONE LR ARE AS FOLLOWS:

MINIMUM FRONT YARD	25 FEET*
<b>ACTUAL FRONT YARD</b>	<b>20 FEET*</b>
MINIMUM SIDE YARD	5 FEET
<b>ACTUAL SIDE YARD</b>	<b>5 FEET</b>
MINIMUM REAR YARD	25 FEET**
<b>ACTUAL REAR YARD</b>	<b>25 FEET</b>

\*NOTE 1: PER TABLE 17.20.030-D(b), WHERE ANY LOT HAS A DEPTH OF LESS 100 FEET OR FRONTS ON A PUBLIC RIGHT-OF-WAY 55 FEET OR GREATER IN WIDTH, **THE MINIMUM REQUIRED FRONT YARD SHALL BE REDUCED TO 20 FEET**

**17.20.030(E)(2) CANYON RIM ABOVE SAN ELIJO LAAGOON**  
 STRUCTURES SHALL BE SETBACK 25 FEET FROM THE RIM OF THE CANYONS ADJOINING SAN ELIJO LAAGOON, WEST OF THE I-5 REQUIRED CANYON RIM SETBACK, 25 FEET  
**ACTUAL CANYON RIM SETBACK 25 FEET**

## EWING RESIDENCE

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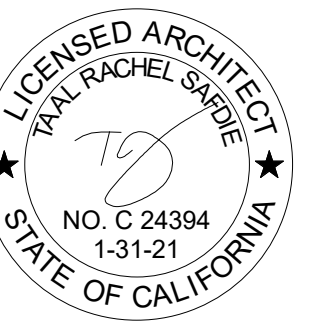
**BIOLOGICAL CONSULTANT**  
 BLUE CONSULTING GROUP  
 P.O. Box 50115  
 San Diego, CA 92150  
 (858) 391-8145

**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**



### REVISIONS

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07	City Council Presentation	01/27/21

Issue Date: 1/13/2021 5:30:26 PM  
 Scale: 1" = 10'-0"  
 SRA Project Number: 1810

## SETBACK CALCULATIONS

SITE SETBACK CALCULATION 1  
 1" = 10'-0"



**A0.3**

PROJECT DESCRIPTION

**PROJECT SCOPE**  
NEW TWO (2) STORY SINGLE FAMILY RESIDENCE, WITH AN ATTACHED GARAGE

**PROJECT ADDRESS**  
514 CANYON DRIVE  
SOLANA BEACH, CA 92075

**ASSESSOR'S PARCEL NUMBER**  
263-193-04-00

**LOT SIZE**  
GROSS LOT SIZE 14,000 SQ. FT. (0.32 AC)  
NET LOT SIZE 6,550 SQ. FT. (0.15 AC)  
RIGHT-OF-WAY 1,235 SQ. FT. (0.02 AC)

AREA CALCULATIONS

**17.48.040(C)(1) FLOOR AREA RATIOS**  
**17.48.040(C)(1)(a) FOUR-TIERED STANDARD**  
0.500 FOR THE FIRST 6,000 SQUARE FEET OF LOT SIZE; PLUS 0.175 FOR THAT PORTION OF THE LOT 6,001 UP TO 15,000 SQUARE FEET; PLUS 0.100 FOR THAT PORTION OF THE LOT 15,001 UP TO 20,000 SQUARE FEET; PLUS 0.050 FOR THAT PORTION OF THE LOT GREATER THAN 20,000 SQUARE FEET.

LOT SIZE: **14,000 SF**

0.50 FOR THE FIRST 6,000 SF OF LOT AREA  
6,000 X 0.50 = **3,000 SF**

0.175 FOR EACH ADDITIONAL SF OF LOT AREA  
BETWEEN 6,001 AND 15,000 SF  
8,000 X 0.175 = **1,400 SF**

**3,000 SQ. FT. + 1,400 SQ. FT. = 4,400 SQ. FT. ALLOWED**

**PROPOSED FLOOR AREA CALCULATION**

LOT SIZE:	14,000 SQ. FT.
FIRST LEVEL	
LIVING AREA	2,260 SQ. FT.
GARAGE	449 SQ. FT.
SECOND LEVEL	1,651 SQ. FT.
SUBTOTAL	4,360 SQ. FT.
GARAGE (EXEMPT)	-400 SQ. FT.
<b>TOTAL</b>	<b>3,960 SQ. FT.</b>

EWING RESIDENCE

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APN: 263-193-04

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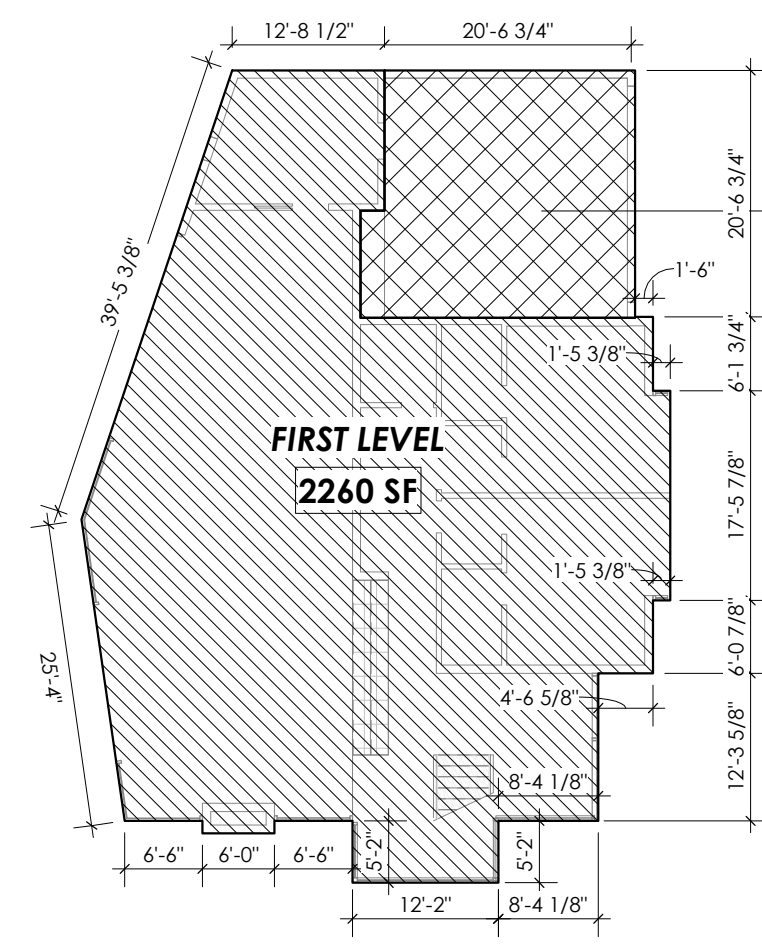
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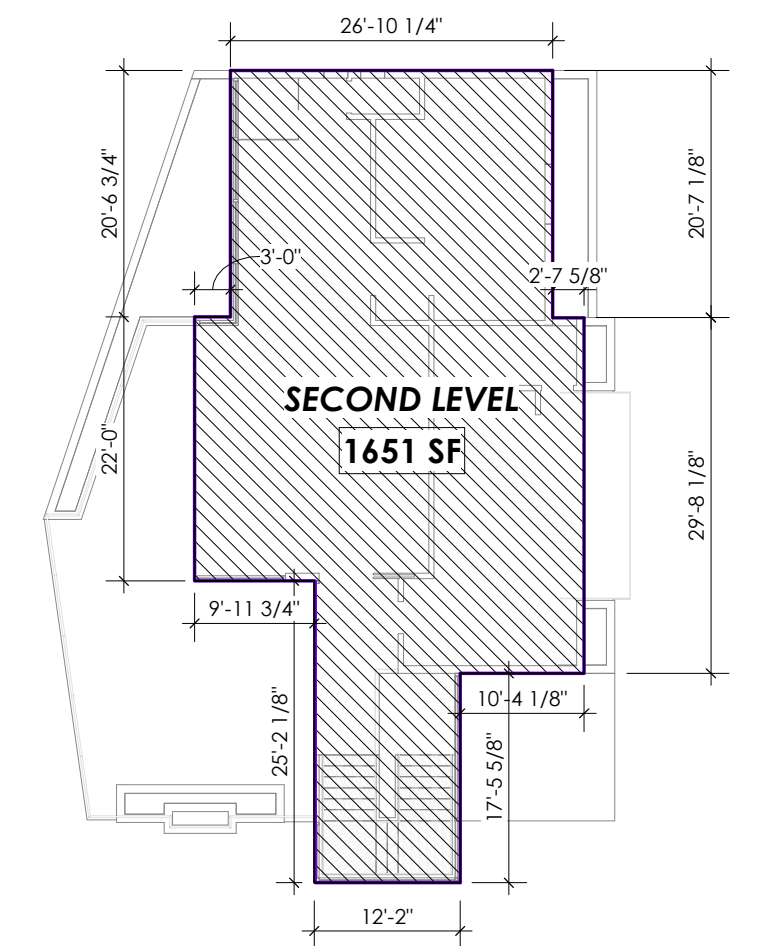
**STRUCTURAL ENGINEER**  
**MEP**  
**TITLE 24**  
**CONTRACTOR**



ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES

FIRST LEVEL 1  
1/16" = 1'-0"

**GARAGE (400 SF NOT COUNTED TOWARDS G.F.A.)  
449 SF**

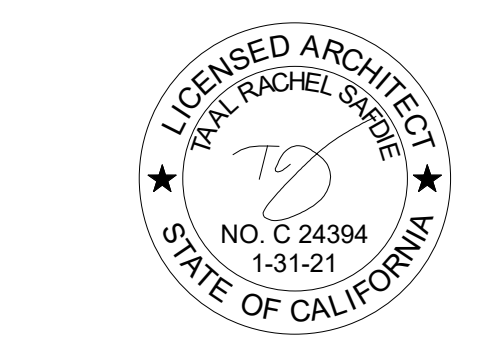


ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES

SECOND LEVEL 2  
1/16" = 1'-0"

LEGEND

- AREA INCLUDED IN F.A.R.
- AREA EXCLUDED FROM F.A.R.



**REVISIONS**

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01	Pre-Application Review Submittal	04/11/18
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Issue Date 1/13/2021 5:30:27 PM Scale As indicated  
SRA Project Number 1810

AREA CALCULATION

A0.4



# 514 CANYON DRIVE, SOLANA BEACH SLOPE ANALYSIS

**SITE ADDRESS:**

514 CANYON DRIVE  
SOLANA BEACH, CA 92075  
APN: 263-193-04

**SOURCE OF TOPOGRAPHY:**

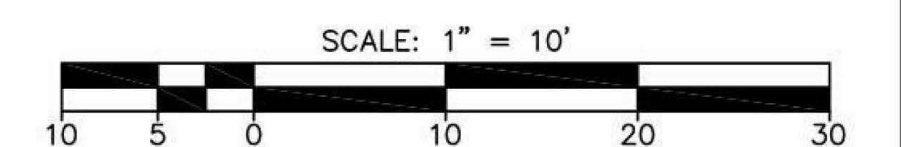
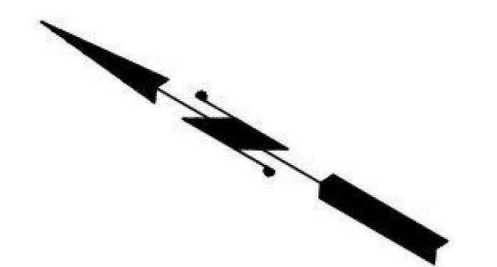
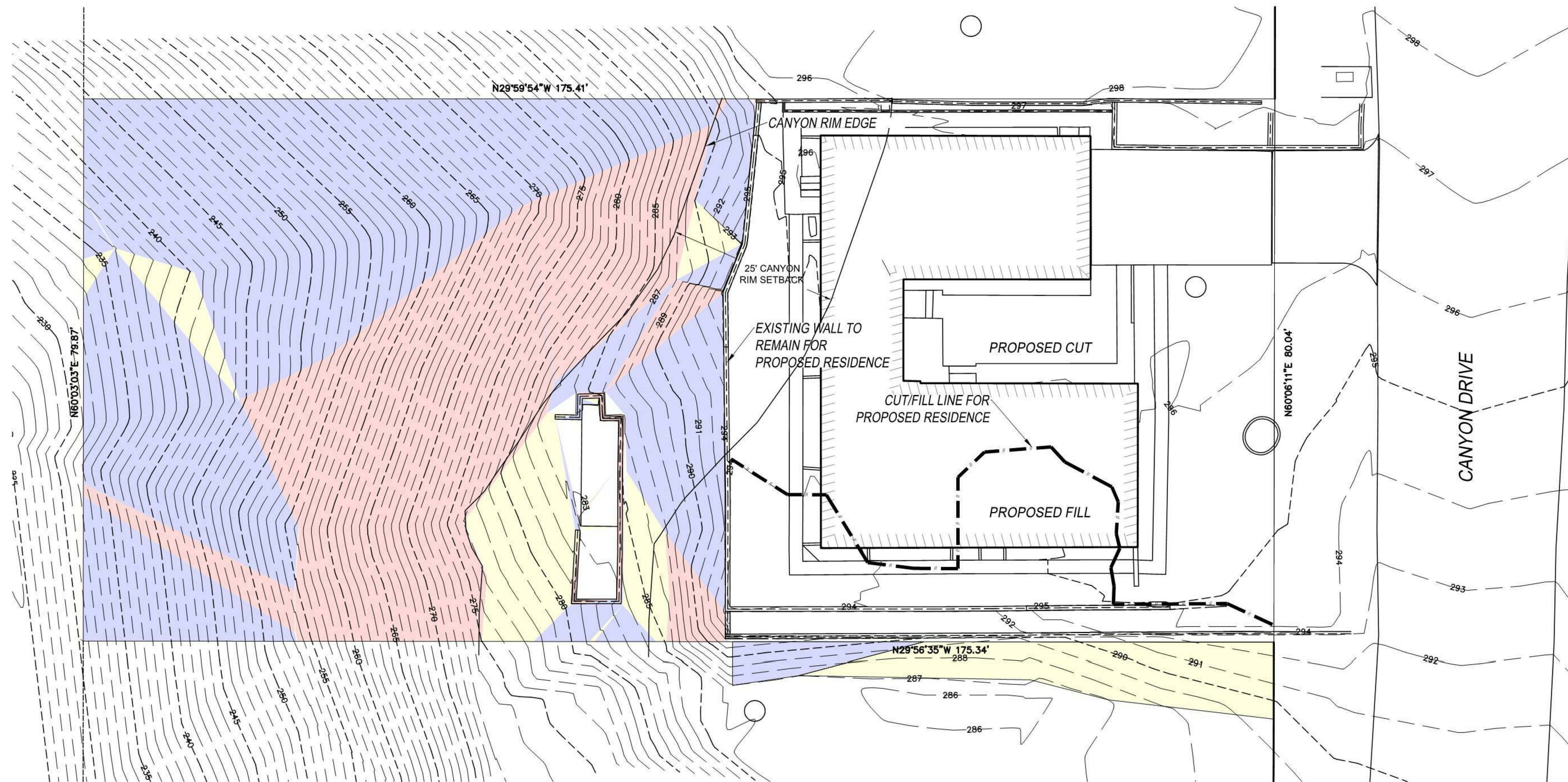
TOPOGRAPHY OBTAINED BY TRADITIONAL SURVEY METHODS PERFORMED  
BY COASTAL LAND SOLUTIONS, INC. DATED SEPTEMBER 23, 2019

**HILLSIDE INLAND BLUFF OVERLAY NOTES:**

PER CITY MUNICIPAL CODE SECTION 30.34.030, IF MORE THAN 10% OF PARCEL SLOPE EXCEED 25%, PARCEL IS SUBJECT TO HILLSIDE / INLAND BLUFF OVERLAY REGULATIONS AND SLOPES GREATER THAN 25% GRADE SHALL BE PRESERVED IN THEIR NATURAL STATE.

**TOTAL GROSS LOT AREA = 0.38 AC**

SLOPES	0 - 25%	0.11 AC	(42% OF PROJECT SITE)
SLOPES	25 - 40%	0.02 AC	(5% OF PROJECT SITE)
SLOPES	40 - 80%	0.11 AC	(29% OF PROJECT SITE)
SLOPES	80% +	0.08 AC	(24% OF PROJECT SITE)
<b>TOTAL SLOPES =</b>		<b>0.32 AC</b>	



PREPARED BY:

**PASCO LARET SUITER**  
& ASSOCIATES  
San Diego | Solana Beach | Orange County  
Phone 858.259.8212 | www.plsaengineering.com

SOLANA BEACH, CA

**514 CANYON DRIVE**  
SLOPE ANALYSIS

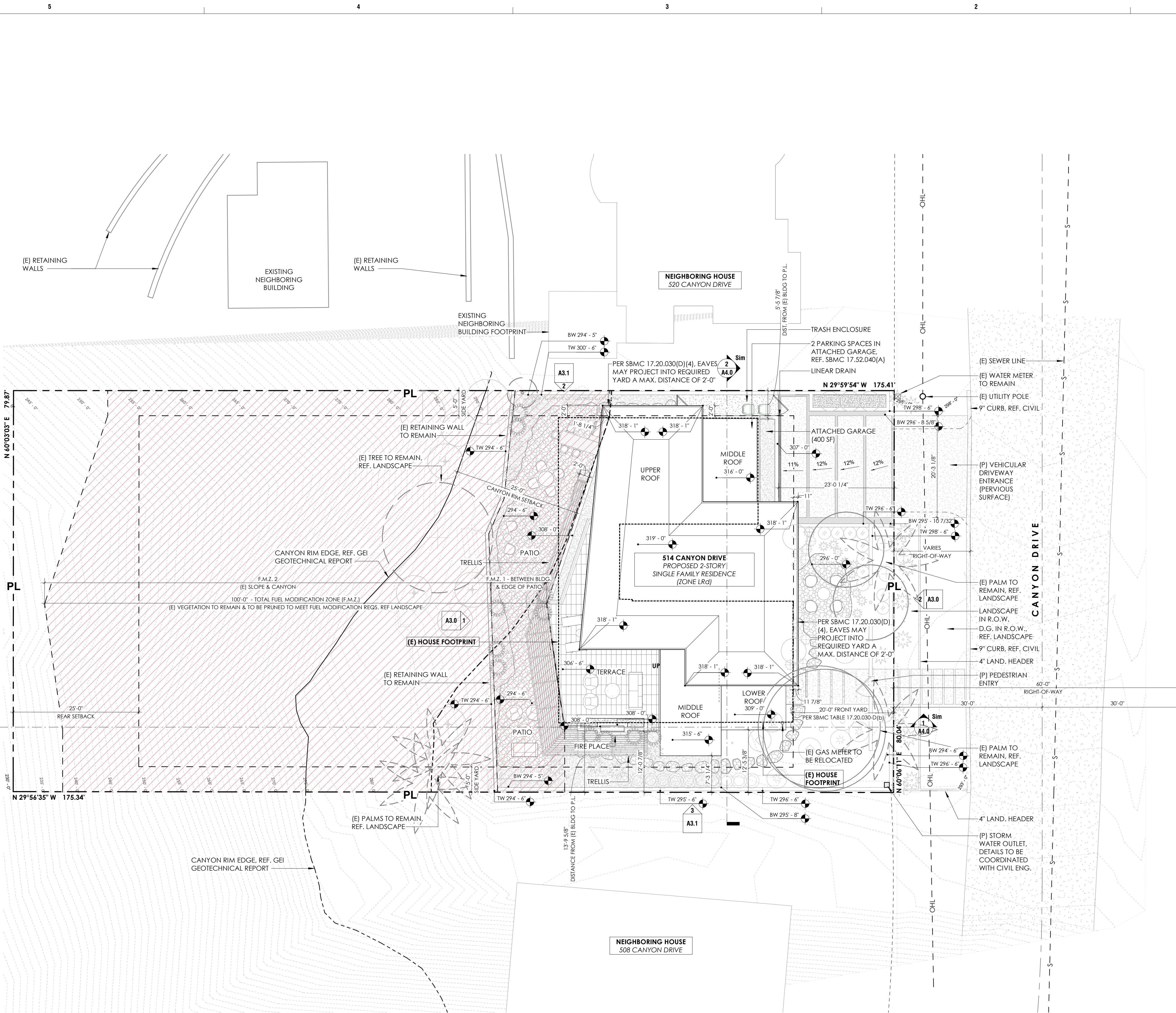
DATE:

1/26/20

DRAWING:

SHEET 1 OF 1





**SITE PLAN NOTES**

**SURVEY BENCHMARK**  
 A. CITY OF SOLANA BEACH BENCHMARK SOLB-1, 2.5'  
 B. CITY OF SOLANA BEACH BRASS DISC ON CONCRETE DRAINAGE INLET ON THE EAST SHOULDER OF HIGHWAY 101, 0.1 MILES SOUTH OF LOMAS SANTA FE DRIVE.  
 C. ELEVATION = 71.450'  
 D. DATUM = NAVD 88

**OVERLAY ZONES**  
 1. SCENIC AREA OVERLAY  
 2. HILLSIDE OVERLAY ZONE (PARTIALLY)  
 3. SCALE RESIDENTIAL OVERLAY ZONE  
 4. DARK SKY AREAS

**FIRE SAFETY NOTES**  
 1. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. REF. CRC R337.5.4 / SDMC 149.0327(e)(1)  
 2. CANTILEVERED SECOND LEVEL PROJECTIONS TO BE 1-HR FIRE RATED  
 3. DUE TO THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ) ALL PROPOSED WALL ASSEMBLIES, WINDOWS, DOORS AND GLASS DOORS SHALL COMPLY WITH 2016 C.R.C. SECTION 337 - MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE  
 4. ALL ROOFING TO BE CLASS "A" FIRE RATED  
 5. CONSISTENT WITH STATE AND COUNTY CODES THE FUEL (VEGETATION) MODIFICATION ZONE IS 100 FEET FROM STRUCTURES

**PROPOSED GRADING (REF. C100)**  
 W. SITE GRADING (OUTSIDE OF STRUCTURE)  
 CUT: 175 C.Y.  
 FILL: 33 C.Y.  
 X. EXCAVATION FOR THE FOOTINGS 14 C.Y.  
 Y. REMOVAL AND RECOMPACTION (UNDER STRUCTURE) 6 C.Y.  
**Z. TOTAL GRADING (W+X+Y) 228 C.Y.**

**LANDSCAPE DESIGN BREAKDOWN (REF. LANDSCAPE SHEETS)**

	EXISTING	PROPOSED	
	LOT AREA	R.O.W.	
NON-LANDSCAPED AREA			
BUILDING AREA	2,157 SF	2,706 SF	0 SF
IMPERVIOUS HARDSCAPE	1,115 SF	1,688 SF	157 SF
PERVIOUS HARDSCAPE	0 SF	544 SF	814 SF
NON-IRRIGATED LANDSCAPE	7,633 SF	5,687 SF	0 SF
IRRIGATED LANDSCAPE	3,095 SF	4,905 SF*	250 SF
WATER FEATURES	0 SF	0 SF	0 SF
TOTAL LOT AREA	14,000 SF	14,000 SF	1,221 SF

\*EXCLUDING 237 SQ. FT. ON SECOND LEVEL

**AREA OF WORK (SQ. FT.)**

IRRIGATED LANDSCAPE	4,905 SQ. FT.
WATER FEATURES	0 SQ. FT.
DECORATIVE HARDSCAPE	0 SQ. FT.
<b>TOTAL LOT AREA</b>	<b>4,905 SQ. FT.</b>

**PARKING REQUIREMENTS**  
 (2) PARKING SPACES PROVIDED FOR SINGLE FAMILY DWELLING UNIT, REF. SBMC 17.52.040(A)

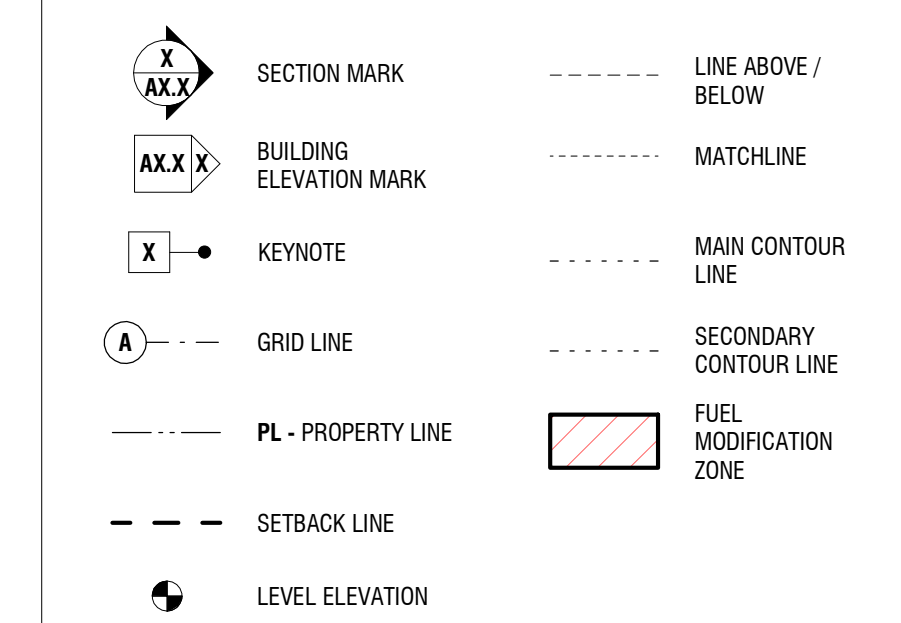
**MAXIMUM FLOOR AREA CALCULATION (REF. A0.4)**  
 LOT SIZE: 14,000 SF  
 0.50 FOR THE FIRST 6,000 SF OF LOT AREA  
 6,000 X 0.50 = 3,000 SF  
 0.175 FOR EACH ADDITIONAL SF OF LOT AREA BETWEEN 6,001 AND 15,000 SF  
 8,000 X 0.175 = 1,400 SF  
**3,000 SQ. FT. + 1,400 SQ. FT. = 4,400 SQ. FT. ALLOWED**

**PROPOSED FLOOR AREA CALCULATION (REF. A0.4)**

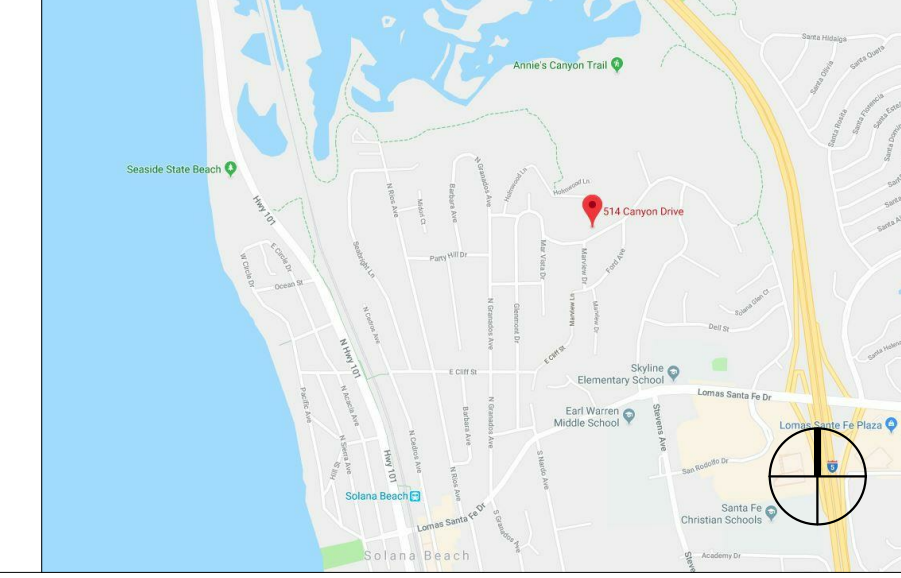
FIRST LEVEL	
LIVING AREA	2,309 SF
GARAGE	400 SF
SECOND LEVEL	
SUBTOTAL	1,651 SF
GARAGE (EXEMPT)	400 SF
<b>TOTAL</b>	<b>3,960 SF</b>

**ENVIRONMENTALLY SENSITIVE HABITAT AREA (E.S.H.A.)**  
 NO E.S.H.A. OR POTENTIAL E.S.H.A. IS LOCATED ON, ADJACENT OR NEAR PROJECT SITE. REFER TO CITY OF SOLANA BEACH E.S.H.A. MAP AND BIOLOGY RESOURCES ASSESSMENT STUDY BY BLUE CONSULTING GROUP

**LEGEND**



**VICINITY MAP**



**EWING RESIDENCE**

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 514 Canyon Drive  
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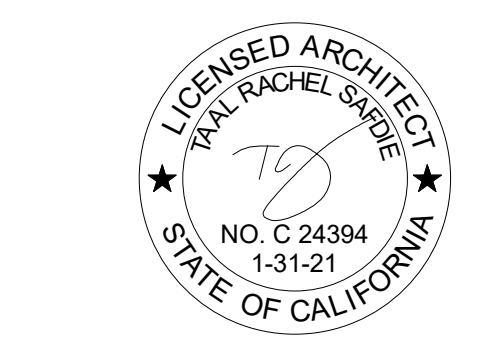
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 MEP  
 TITLE 24  
 CONTRACTOR



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06	SDP & DRP Resubmittal	10/10/20
07	City Council Presentation	01/27/21

Issue Date: 1/13/2021 5:30:33 PM  
 Scale: As indicated  
 SRA Project Number: 1810

**SITE PLAN**

**A1.0**

**SITE PLAN**  
 1" = 10'-0" 1



GENERAL NOTES

- INTERIOR DIMENSIONS ARE MEASURED TO FACE OF FINISH U.N.O.
- DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, U.N.O.
- PROJECT SHALL COMPLY WITH THE CITY OF SOLANA BEACH "DARK SKY" LIGHTING REQUIREMENTS.
- ROOF VENTS, DORMER VENTS, GABLE VENTS, CRAWLSPACE VENTS OR OTHER SIMILAR OPENINGS SHALL BE COVERED WITH 1/4" NON-COMBUSTIBLE CORROSION RESISTANT METAL MESH OR OTHER APPROVED MATERIAL THAT OFFERS EQUIVALENT PROTECTION.

FLOOR PLAN NOTES

- THIS PROJECT MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 25-FEET PER SBMC 17.20.030(G), SUBJECT TO THE DAYLIGHT PLANE HEIGHT LIMITATION, PER 17.20.030(H).
- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-04 (UFC 901.4.4).
- ALL EXTERIOR DECKING WALKING SURFACES SHALL COMPLY WITH THE 2016 CBC, CHAPTER 7A, SECTION 709A DECKING.

OVERLAY ZONES

- SCENIC AREA OVERLAY
- HILLSIDE OVERLAY ZONE (PARTIALLY)
- SCALE RESIDENTIAL OVERLAY ZONE
- DARK SKY AREAS

FIRE SAFETY NOTES

- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. REF. CRC R337.5.4 / SDMC 149.0327(e)(1) CANTILEVERED SECOND LEVEL PROJECTIONS TO BE 1-HR FIRE RATED DUE TO THE VERY HIGH FIRE HAZARD SEVERITY ZONE [VHFHSZ] ALL PROPOSED WALL ASSEMBLIES, WINDOWS, DOORS AND GLASS DOORS SHALL COMPLY WITH 2016 CRC, SECTION 337 - MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE ALL ROOFING TO BE CLASS "A" FIRE RATED

PARKING REQUIREMENTS

- PARKING SPACES PROVIDED FOR SINGLE FAMILY DWELLING UNIT, REF. SBMC 17.52.040(A)

EWING RESIDENCE

**New Construction**  
 514 Canyon Drive  
 Solana Beach, CA 92075  
 APN: 263-193-04

SAFDIE RABINES ARCHITECTS

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 San Diego, CA 92103  
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CLIENT

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LANDSCAPE ARCHITECT

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SURVEYOR

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BIOLOGICAL CONSULTANT

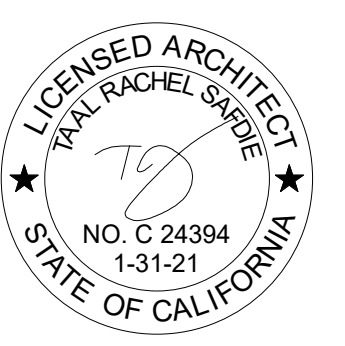
BLUE CONSULTING GROUP  
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STRUCTURAL ENGINEER

MEP

TITLE 24

CONTRACTOR



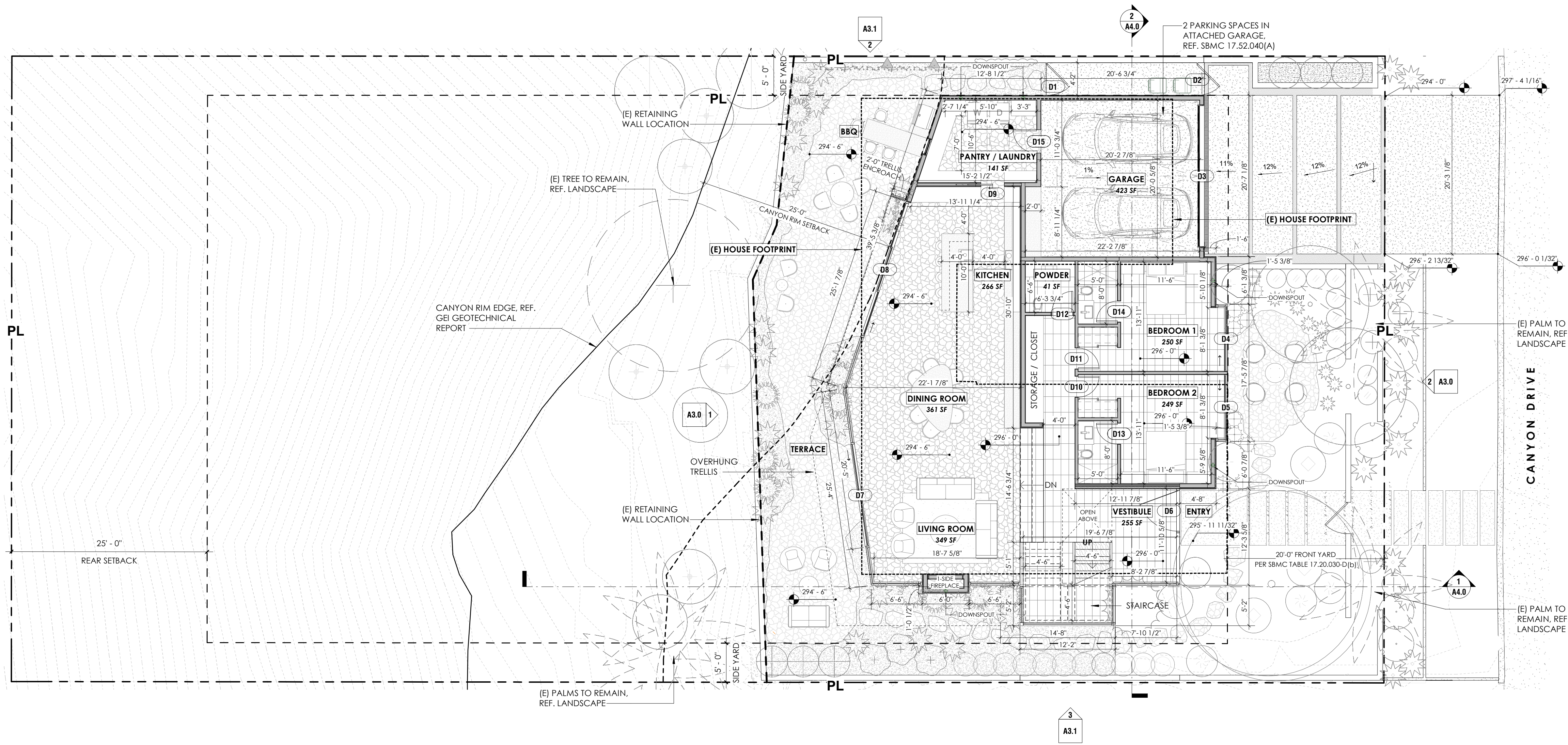
REVISIONS

No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
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07	City Council Presentation	01/27/21

Issue Date: 1/13/2021 5:30:39 PM  
 Scale: As indicated  
 SRA Project Number: 1810

FLOOR PLAN - FIRST LEVEL

A2.0

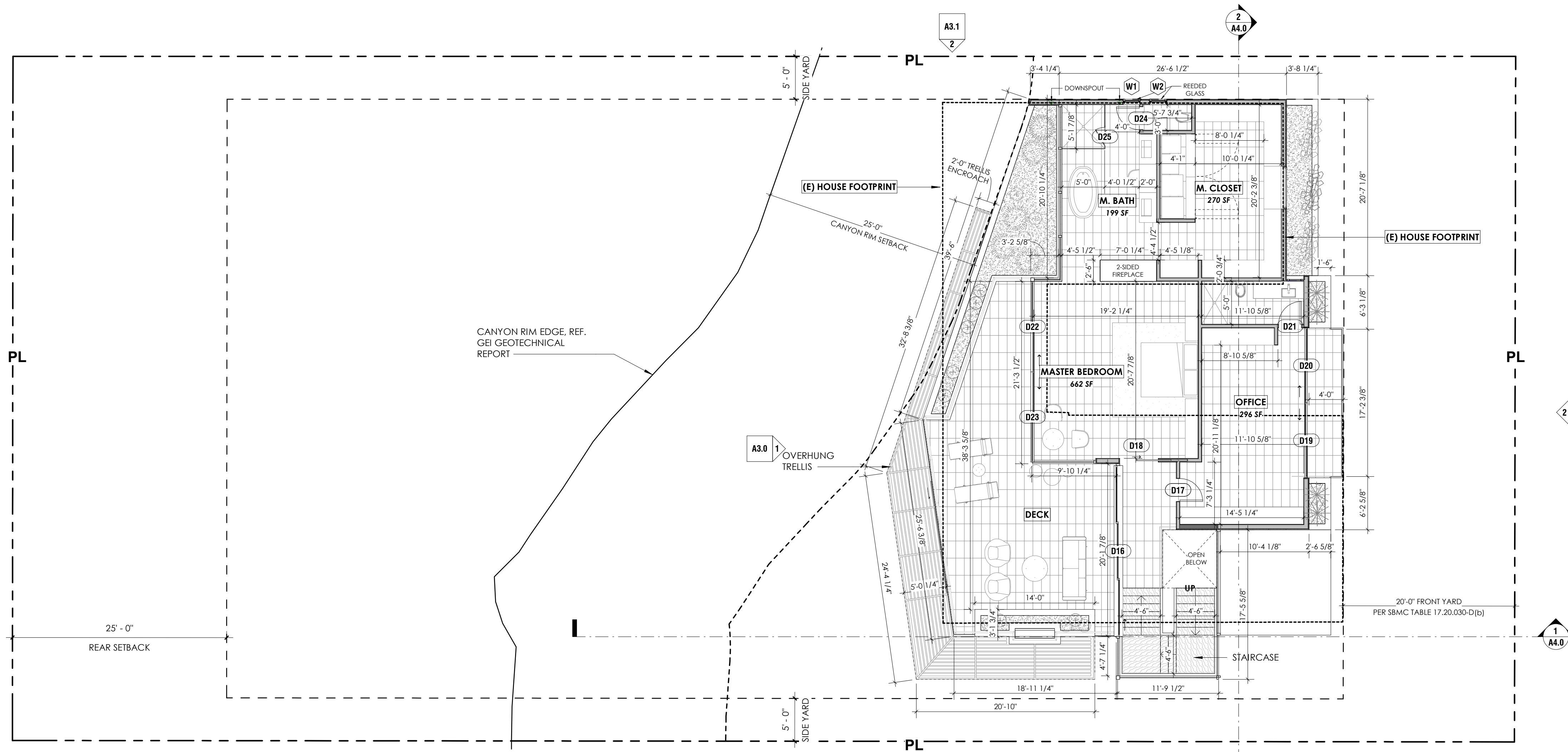


LEGEND

- SECTION MARK
- BUILDING ELEVATION MARK
- KEYNOTE
- GRID LINE
- PL - PROPERTY LINE
- SETBACK LINE
- DOOR TAG
- ROOF TAG
- LINE ABOVE / BELOW
- MATCHLINE
- MAIN CONTOUR LINE
- SECONDARY CONTOUR LINE
- LEVEL ELEVATION
- WINDOW TAG

FIRST LEVEL  
 1/8" = 1'-0" 1





**GENERAL NOTES**

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**PARKING REQUIREMENTS**

- (2)-PARKING SPACES PROVIDED FOR SINGLE FAMILY DWELLING UNIT, REF. SBMC 17.52.040(A)

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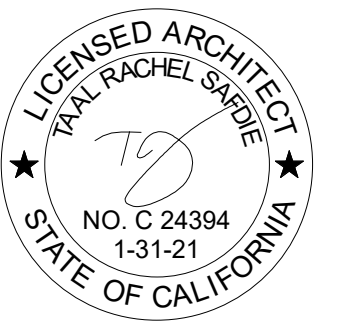
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**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**



**REVISIONS**

No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
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**FLOOR PLAN - SECOND LEVEL**

**A2.1**

**SECOND LEVEL**  
1/8" = 1'-0"

**LEGEND**

- SECTION MARK
- ROOF TAG
- BUILDING ELEVATION MARK
- LINE ABOVE / BELOW
- KEYNOTE
- MATCHLINE
- GRID LINE
- MAIN CONTOUR LINE
- PL - PROPERTY LINE
- SECONDARY CONTOUR LINE
- SETBACK LINE
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ROOF PLAN NOTES

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- PARKING REQUIREMENTS**
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 MEP  
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 CONTRACTOR



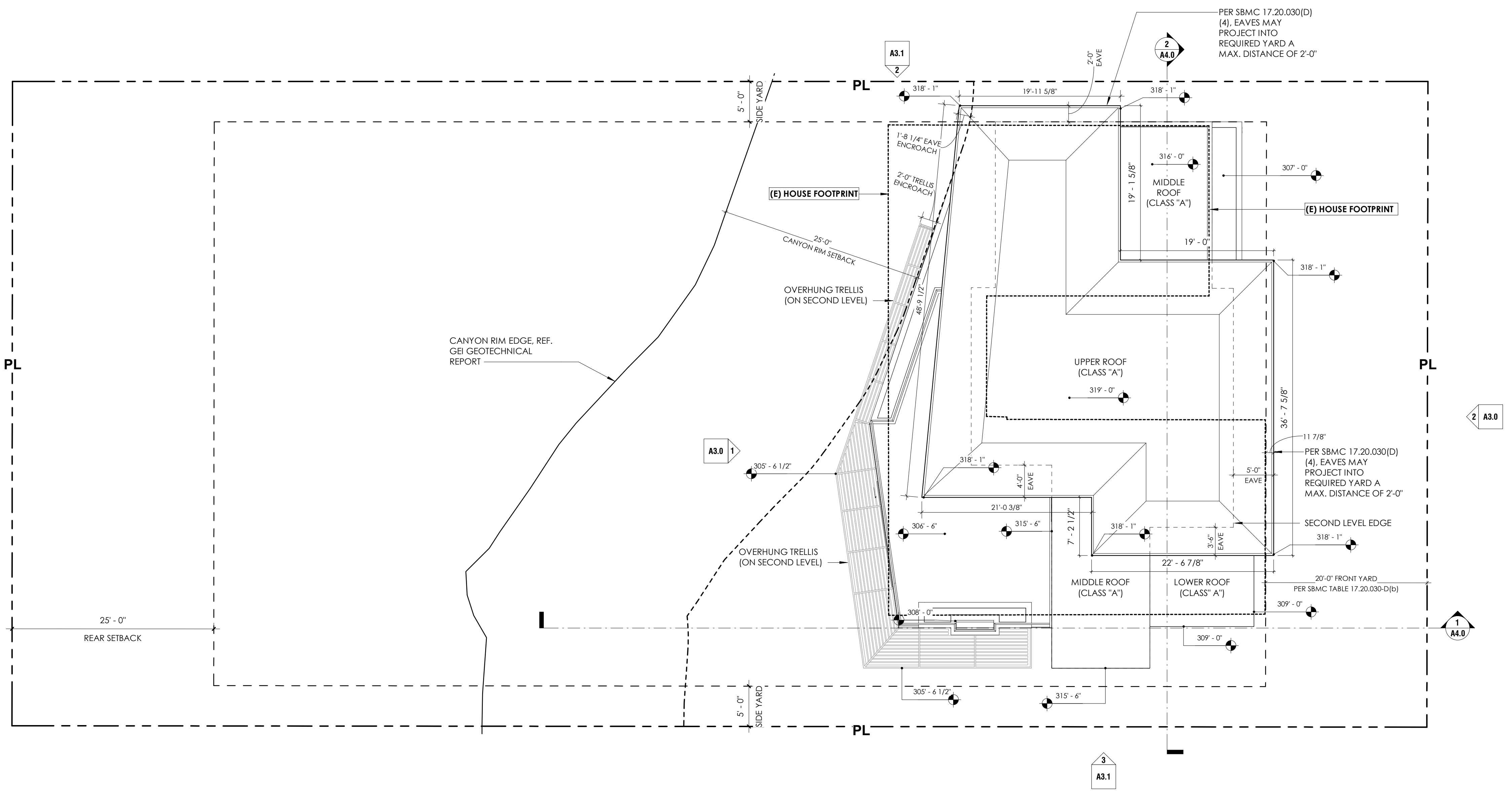
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Issue Date: 1/13/2021 5:30:41 PM  
 Scale: As indicated  
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ROOF PLAN

A2.2

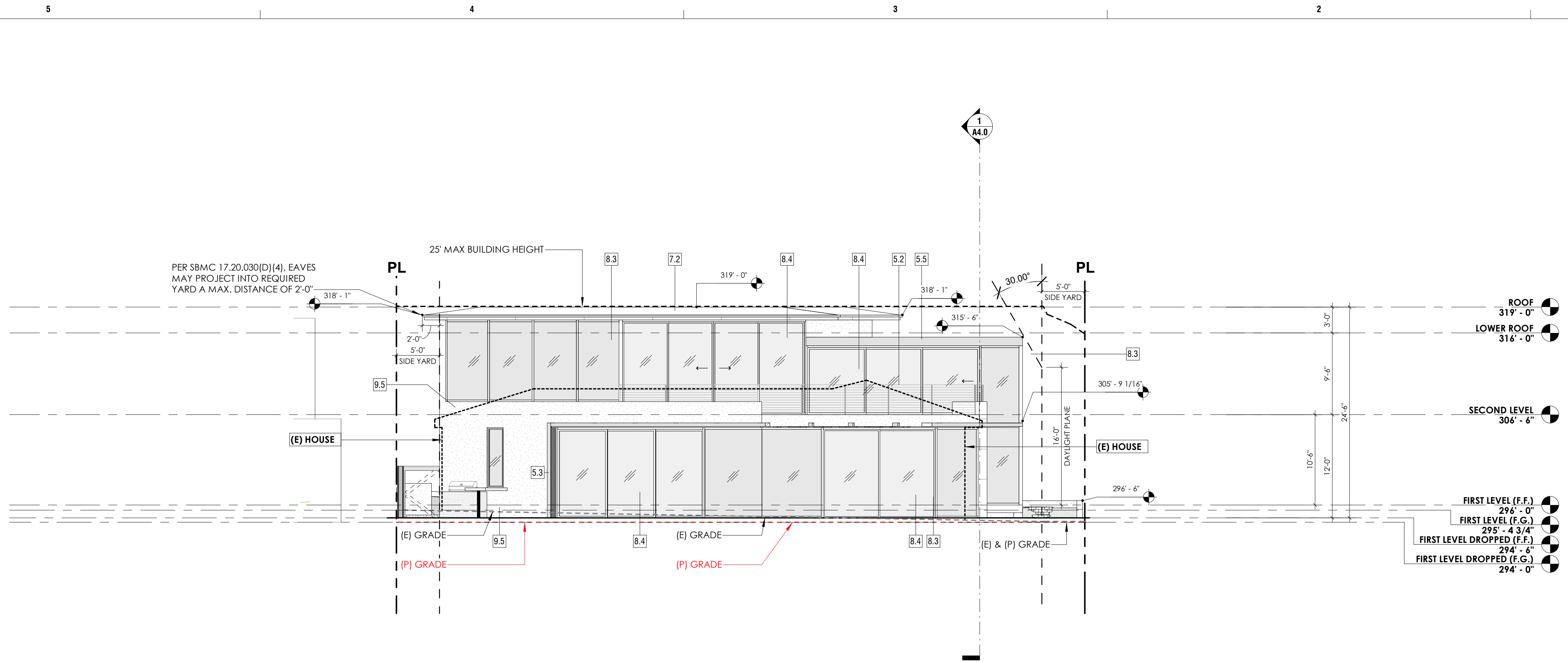


LEGEND

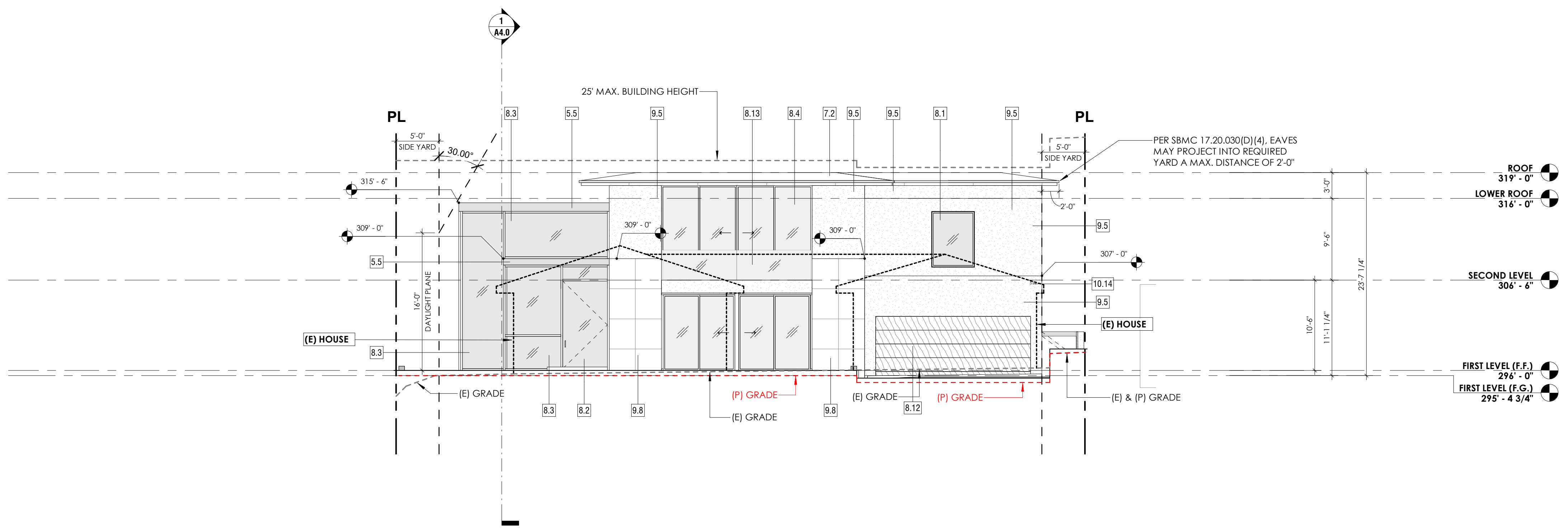
- SECTION MARK (AXX)
- BUILDING ELEVATION MARK (AXX)
- KEYNOTE (X)
- GRID LINE (A)
- PL - PROPERTY LINE
- SETBACK LINE
- DOOR TAG (XX)
- ROOF TAG (X)
- LINE ABOVE / BELOW
- MATCHLINE
- MAIN CONTOUR LINE
- SECONDARY CONTOUR LINE
- LEVEL ELEVATION
- WINDOW TAG (XX)

**ROOF**  
 1/8" = 1'-0" 1





**ELEVATION - NORTH**  
1/8" = 1'-0" 1



**ELEVATION - SOUTH**  
1/8" = 1'-0" 2

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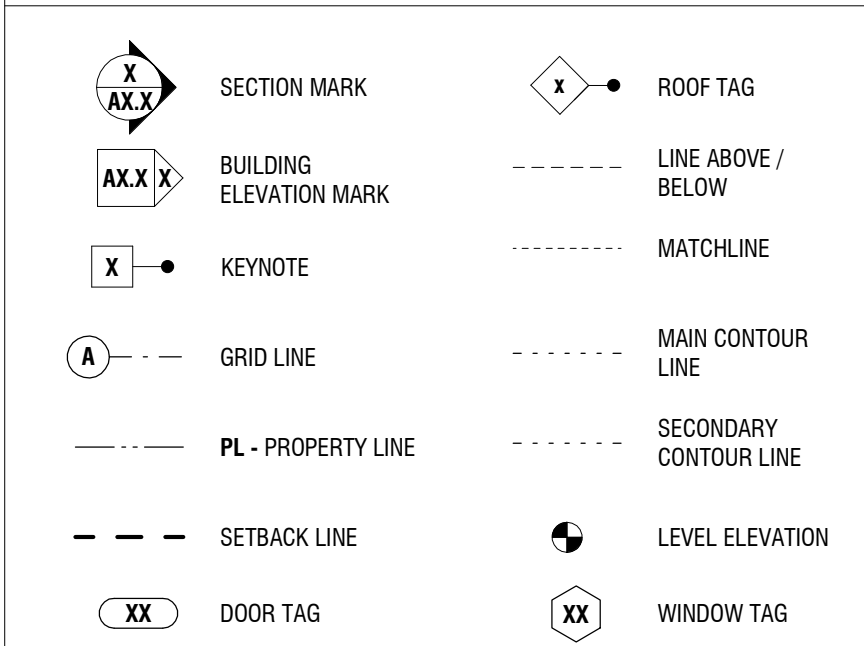
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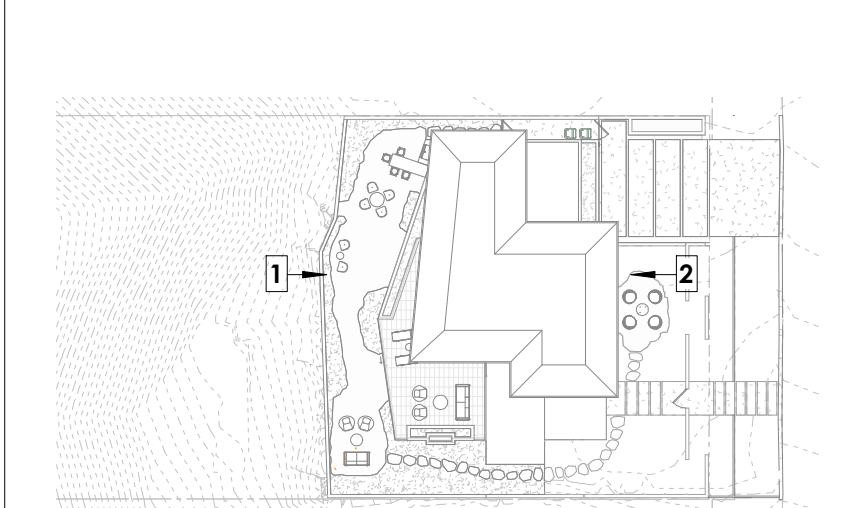
**KEYNOTES**

- 5.2 METAL HANDRAIL/GUARDRAIL SYSTEM
- 5.3 METAL TRELLIS W/COMPOSITE WOOD PANELS
- 5.5 DECORATIVE FORMED METAL - ALUMINUM COVER
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- 8.1 WINDOW SYSTEM, REF. A5.1
- 8.2 DOOR SYSTEM, REF. A5.0
- 8.3 CURTAIN PANEL SYSTEM, REF. A5.2 / A5.2.1 / A5.2.2
- 8.4 SLIDING DOOR SYSTEM, REF. A5.0
- 8.12 GARAGE DOOR
- 8.13 GLASS RAILING
- 9.5 CEMENT PLASTER STUCCO, REF. FINISH SCHEDULE
- 9.8 WOOD VENEER, REF. FINISH SCHEDULE
- 10.14 4" HIGH W/ 1/2" STROKE WIDTH STREET NUMBERS

**LEGEND**



**KEY PLAN**



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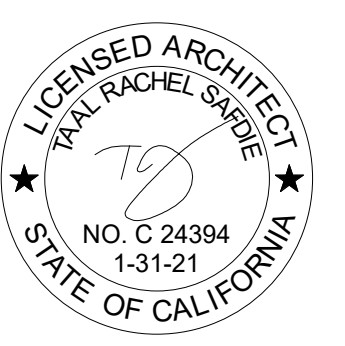
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**REVISIONS**

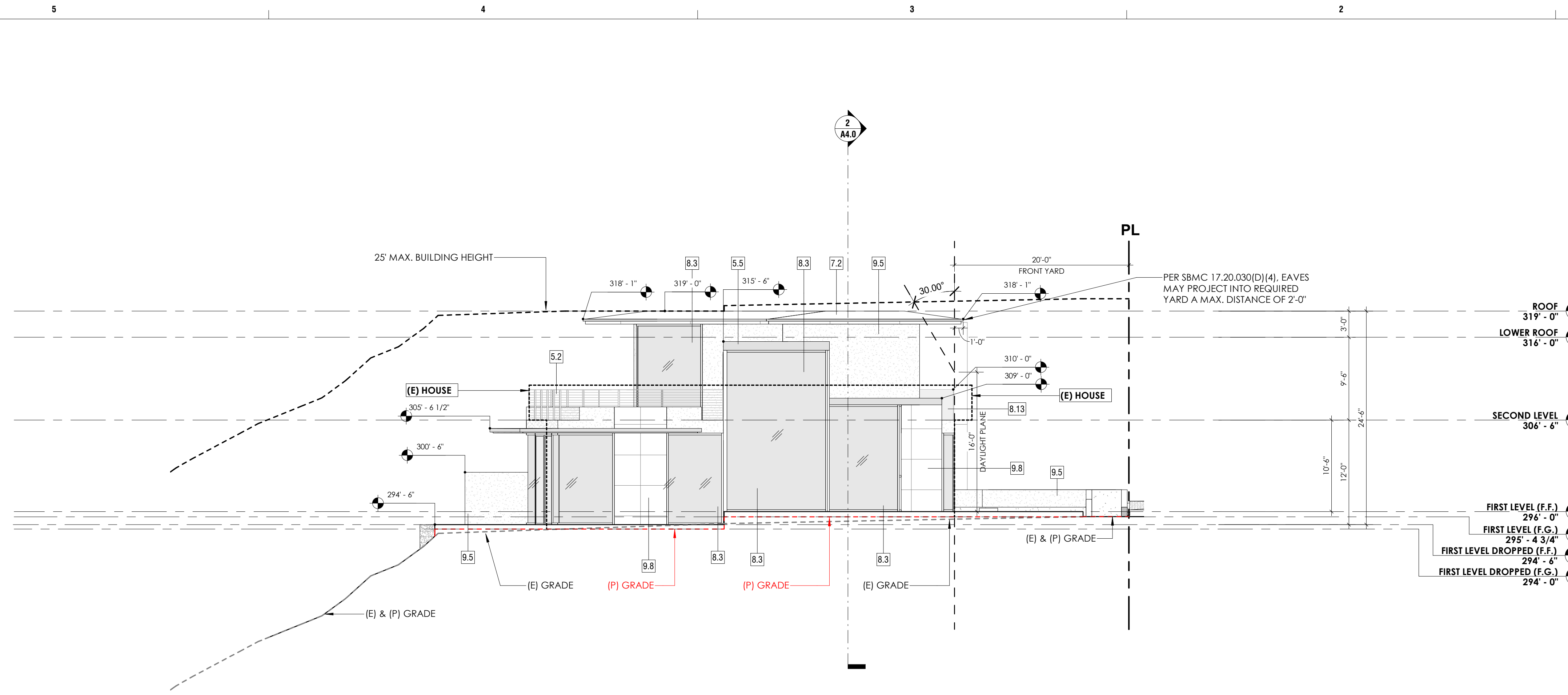
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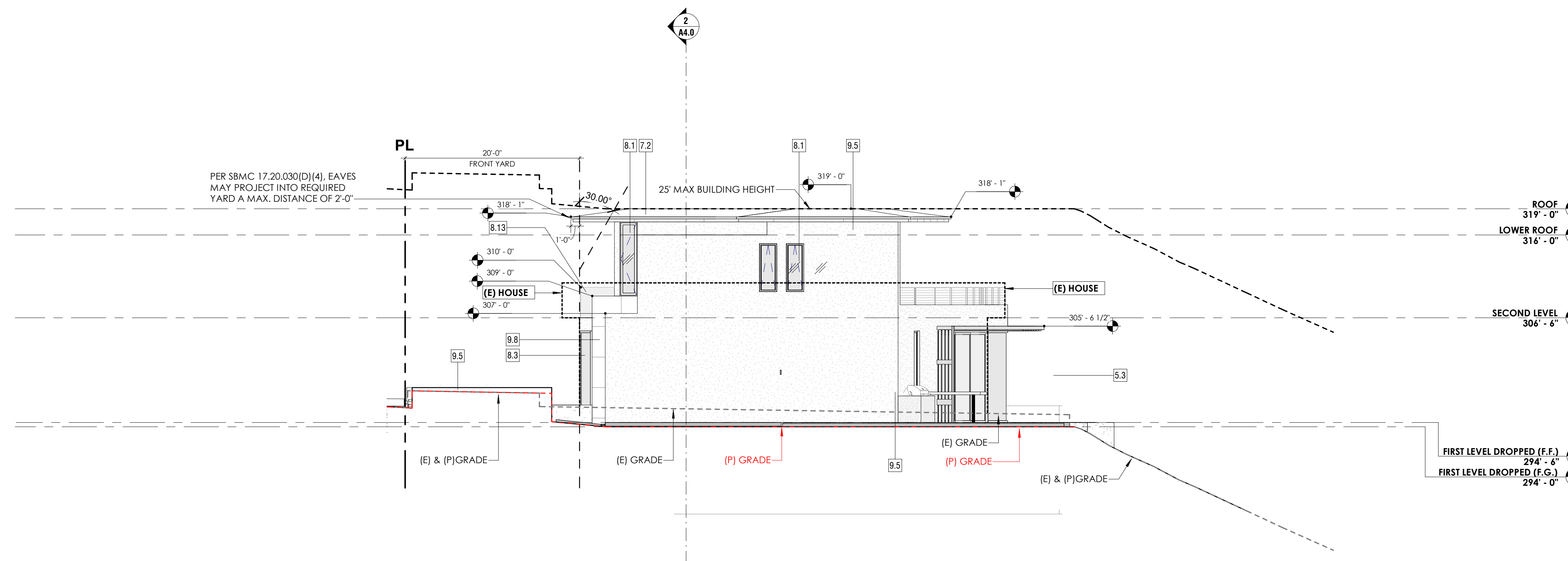
**ELEVATIONS - NORTH / SOUTH**

**A3.0**





**ELEVATION - WEST**  
1/8" = 1'-0" 3



**ELEVATION - EAST**  
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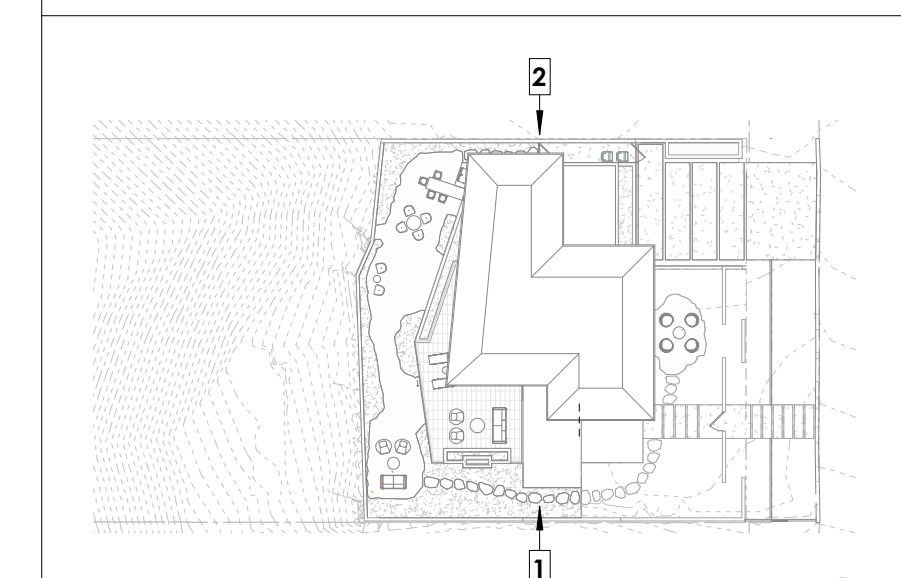
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- 5.2 METAL HANDRAIL/GUARDRAIL SYSTEM
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**LEGEND**

- |                         |                        |
|-------------------------|------------------------|
| SECTION MARK            | ROOF TAG               |
| BUILDING ELEVATION MARK | LINE ABOVE / BELOW     |
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**KEY PLAN**



**EWING RESIDENCE**

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APN: 263-193-04

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MARGIE HARRIS LANDSCAPE ARCHITECTURE  
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**SURVEYOR**  
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(858) 391-8145

**STRUCTURAL ENGINEER**

**MEP**

**TITLE 24**

**CONTRACTOR**

**REVISIONS**

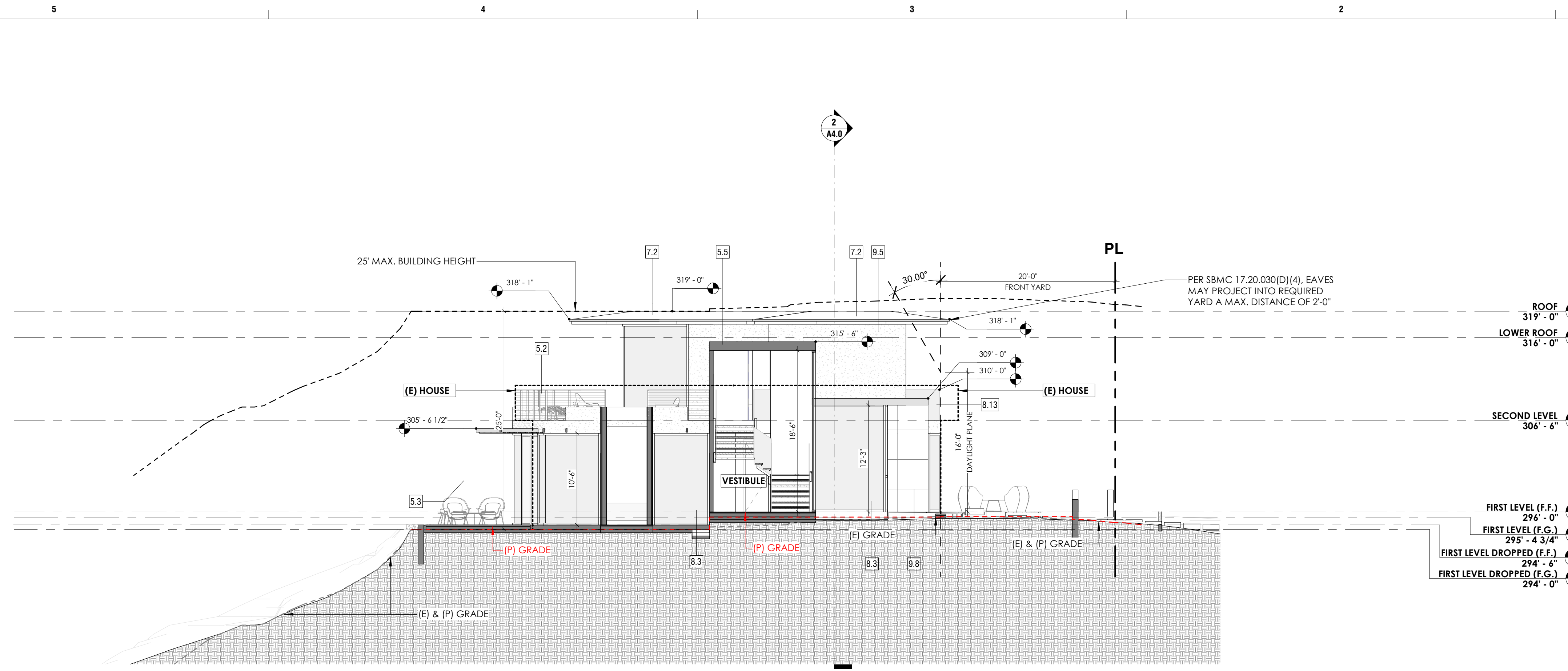
No.	Description	Date
01	Pre-Application Review Submittal	04/11/18
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05	SDP & DRP Resubmittal	09/10/20
06	SDP & DRP Resubmittal	10/10/20
07	City Council Presentation	01/27/21

Issue Date: 1/13/2021 5:30:44 PM  
Scale: As indicated  
SRA Project Number: 1810

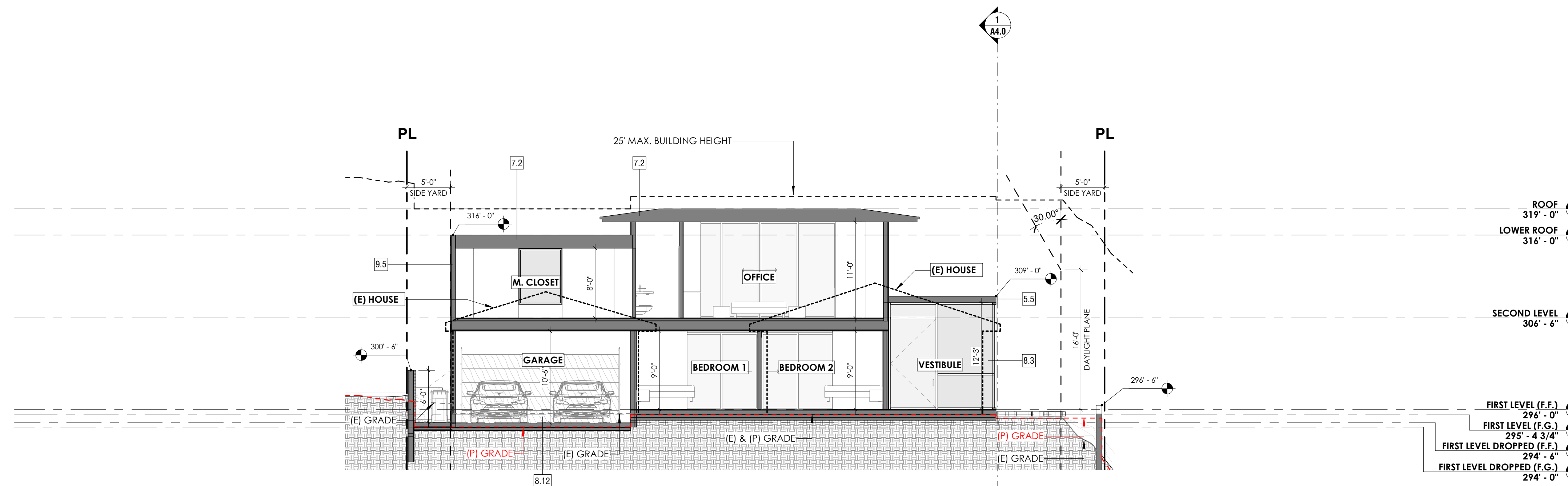
**ELEVATIONS - EAST / WEST**

**A3.1**





SECTION - NORTH / SOUTH 1  
1/8" = 1'-0" 1



SECTION - EAST / WEST 2  
1/8" = 1'-0" 2

GENERAL NOTES

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- DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, U.N.O.
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- ALL EXTERIOR DECKING WALKING SURFACES SHALL COMPLY WITH THE 2016 CBC, CHAPTER 7A, SECTION 709A DECKING.

OVERLAY ZONES

- SCENIC AREA OVERLAY
- HILLSIDE OVERLAY ZONE (PARTIALLY)
- SCALE RESIDENTIAL OVERLAY ZONE
- DARK SKY AREAS

FIRE SAFETY NOTES

- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. REF. CRC R337.5.4 / SDMC 149.0327(e)(1)
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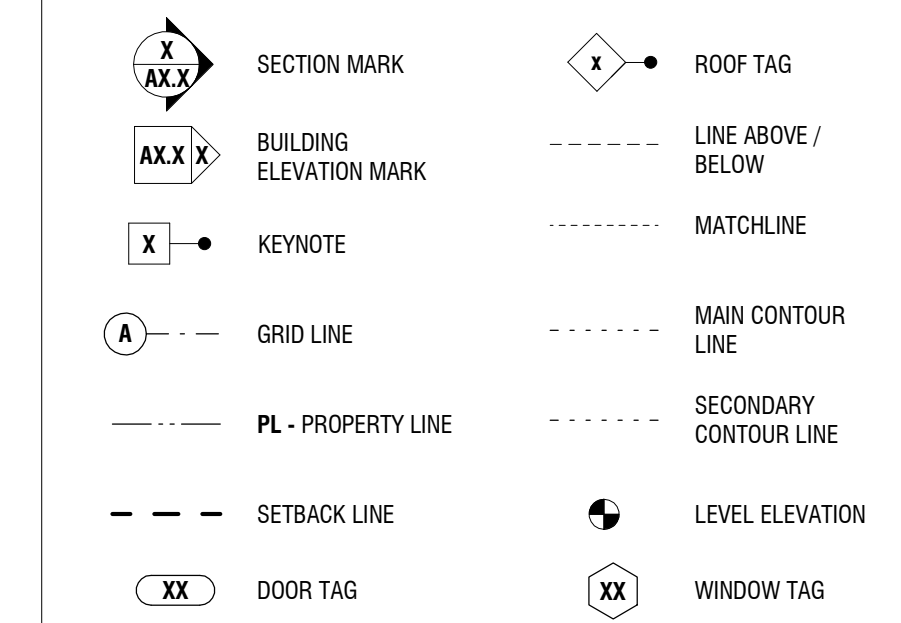
PARKING REQUIREMENTS

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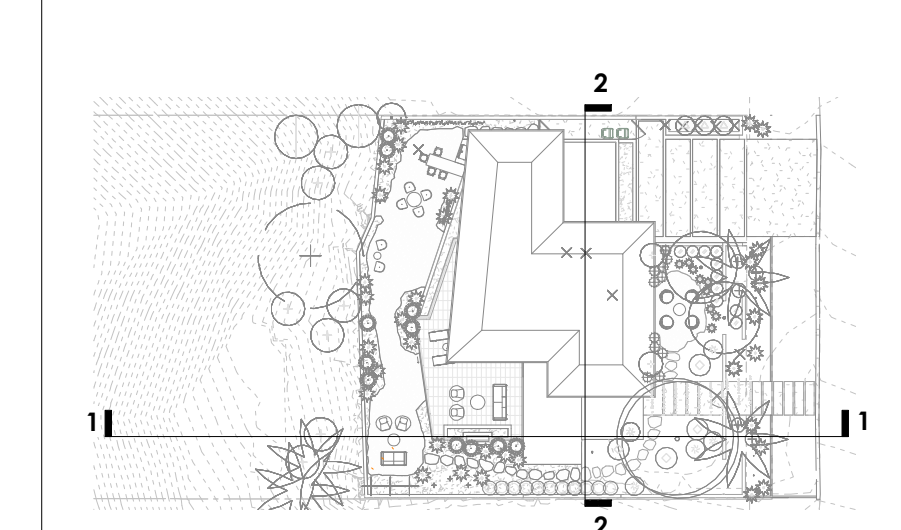
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- DOOR SYSTEM, REF. A5.0
- CURTAIN PANEL SYSTEM, REF. A5.2 / A5.2.1 / A5.2.2
- SLIDING DOOR SYSTEM, REF. A5.0
- GARAGE DOOR
- GLASS RAILING
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- WOOD VENEER, REF. FINISH SCHEDULE
- 4" HIGH W/ 1/2" STROKE WIDTH STREET NUMBERS

LEGEND



KEY PLAN



EWING RESIDENCE

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APN: 263-193-04

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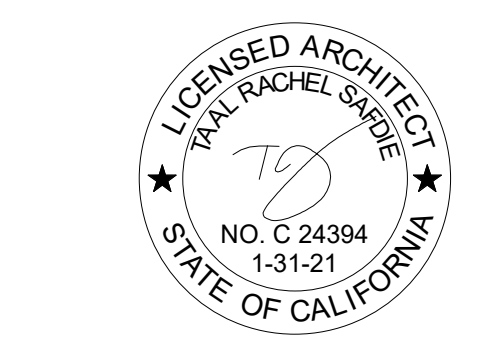
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STRUCTURAL ENGINEER

MEP

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REVISIONS

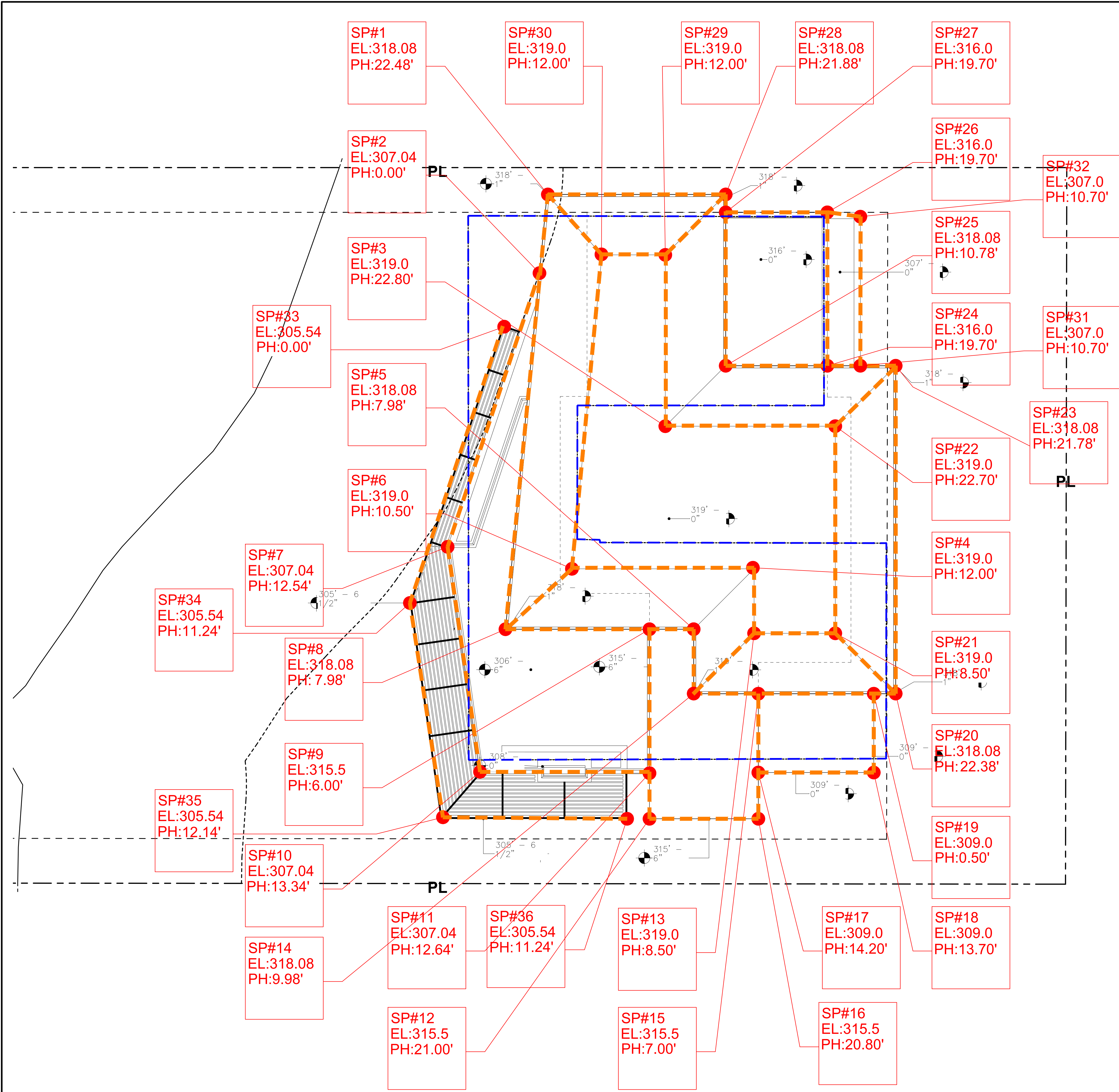
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Issue Date 1/13/2021 5:30:46 PM Scale As indicated  
SRA Project Number 1810

SECTIONS

A4.0





ALL POLE HEIGHTS "PH" ARE ESTIMATED ABOVE EXISTING GRADE/ROOF. ACTUAL POLE HEIGHT TO BE DETERMINED BY SURVEYOR AT TIME OF STAKING AND VERIFIED BY SURVEYOR AT TIME OF STORY POLE INSTALLATION.

**INSTALLATION:**  
 Prior to erecting the story poles, the applicant and/or representative must contact the Community Development Department to discuss the story polling process and procedures, and to review and approve the story pole plot plan prior to construction.

The story poles must be constructed as per an approved and certified story pole plan.

Story poles shall be erected of white PVC pipe in combination with wire or line to show roof lines. A similar white material may be approved by the Community Development Director and shall be requested before the poles are erected. Small pieces of brightly colored cloth or tape should be affixed to the wire or line to facilitate accurate viewing of the outline of the proposed structure. Eaves that extend beyond two feet should be shown with different colored cloth or tape.

Story poles shall be marked at every foot.

Each story pole shall be numbered and shall correspond with the numbering on the approved and certified story pole plot plan. Each number on the story pole must be a minimum size of two (2) inches by three (3) inches, must be placed one (1) foot below the top and four (4) feet above the bottom of the pole, and must remain legible throughout the entire process. The use of black vinyl self-stick numbers is highly recommended.

**CERTIFICATION/INSPECTION**

The accuracy of the structural outline established by the story poles shall be verified by a signed statement of a licensed surveyor or civil engineer on a story pole plot plan.

Prior to the View Assessment Commission's first duly noticed public hearing date, City Staff may make an on-site inspection to verify compliance with the approved story pole plan.

In the event that the required story poles are not erected according to the approved story pole plan, an application may be continued from its scheduled hearing date to a subsequent meeting for that the story poles may be corrected.

STORY POLES INSTALLED ON SITE BY COASTAL BUILDERS.  
 STORY POLES INSTALLED PER LOCATIONS AND HEIGHTS PROVIDED BY SURVEYOR AND CERTIFIED BY SURVEYOR.

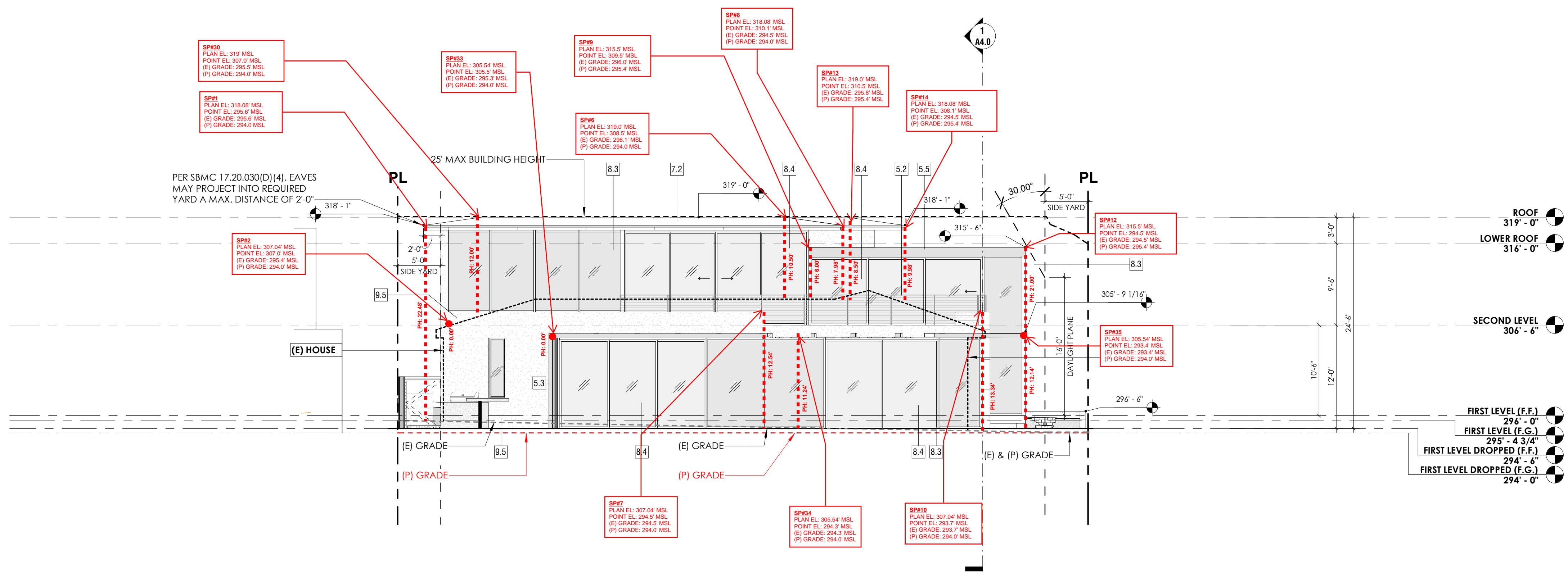
EWING RESIDENCE  
 514 CANYON DR  
 SOLANA BEACH, CA

STORY POLE PLAN

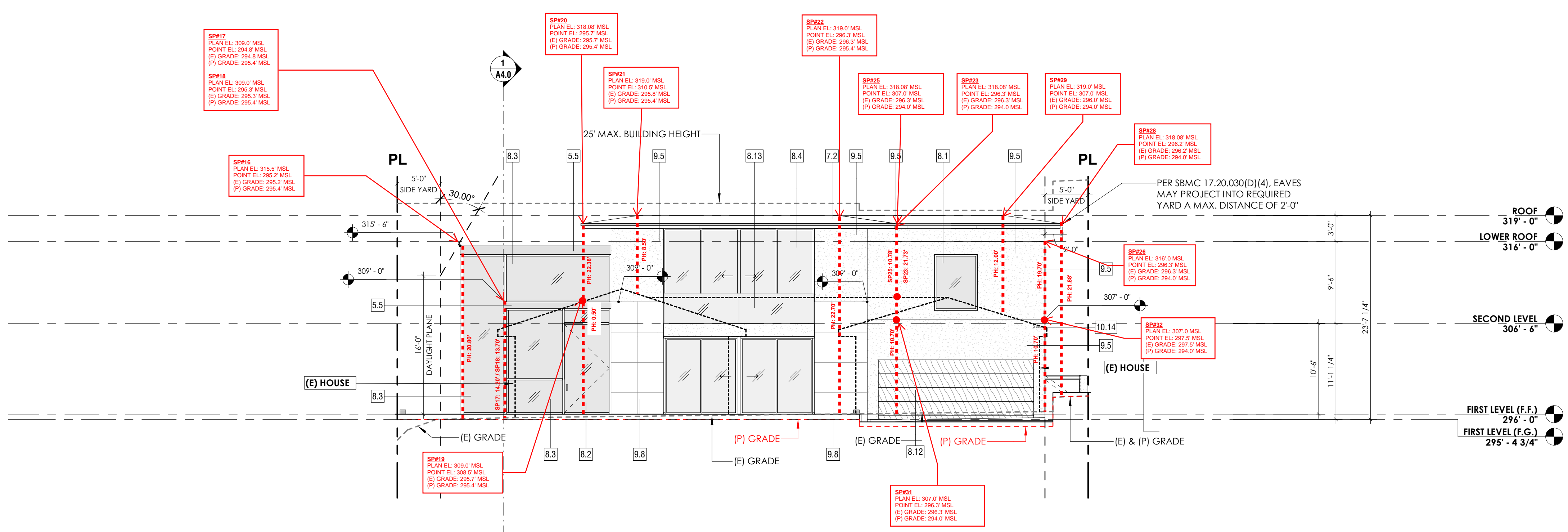
06/09/2020  
 REV. 10/08/2020

A-SP





ELEVATION - NORTH  
1/8" = 1'-0" 1



ELEVATION - SOUTH  
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### FIRE SAFETY NOTES

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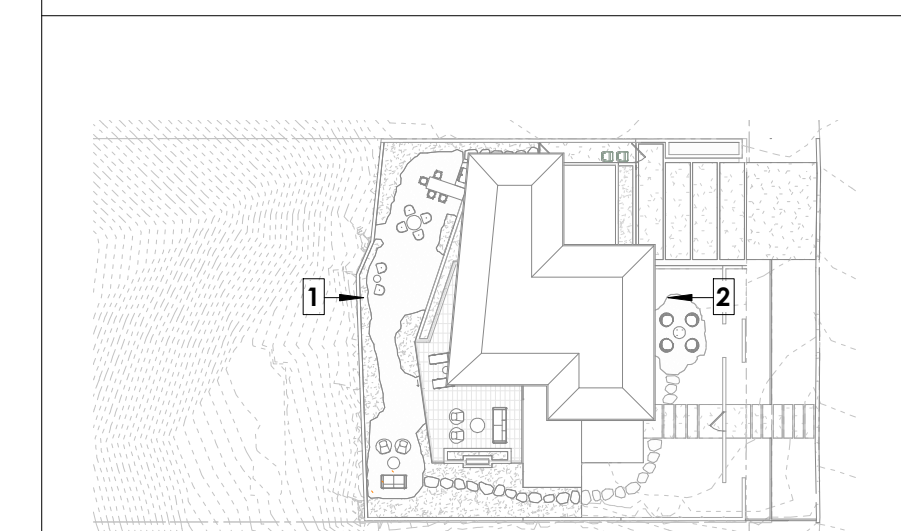
### KEYNOTES

- METAL HANDRAIL/GUARDRAIL SYSTEM
- METAL TRELLIS/W/COMPOSITE WOOD PANELS
- DECORATIVE FORMED METAL - ALUMINUM COVER
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- 4" HIGH W/ 1/2" STROKE WIDTH STREET NUMBERS

### LEGEND

	SECTION MARK		ROOF TAG
	BUILDING ELEVATION MARK		LINE ABOVE / BELOW
	KEYNOTE		MATCHLINE
	GRID LINE		MAIN CONTOUR LINE
	PL - PROPERTY LINE		SECONDARY CONTOUR LINE
	SETBACK LINE		LEVEL ELEVATION
	DOOR TAG		WINDOW TAG

### KEY PLAN



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### STRUCTURAL ENGINEER

MEP

TITLE 24  
CONTRACTOR



### REVISIONS

No.	Description	Date
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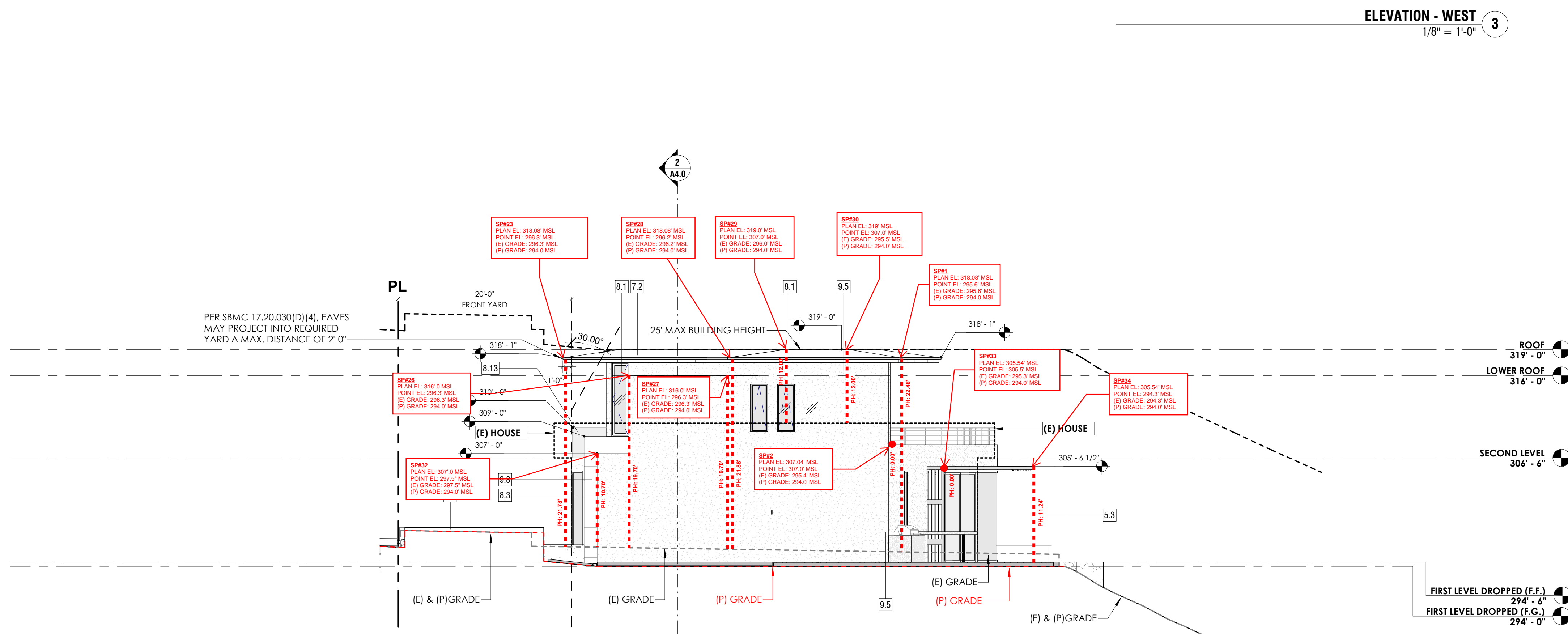
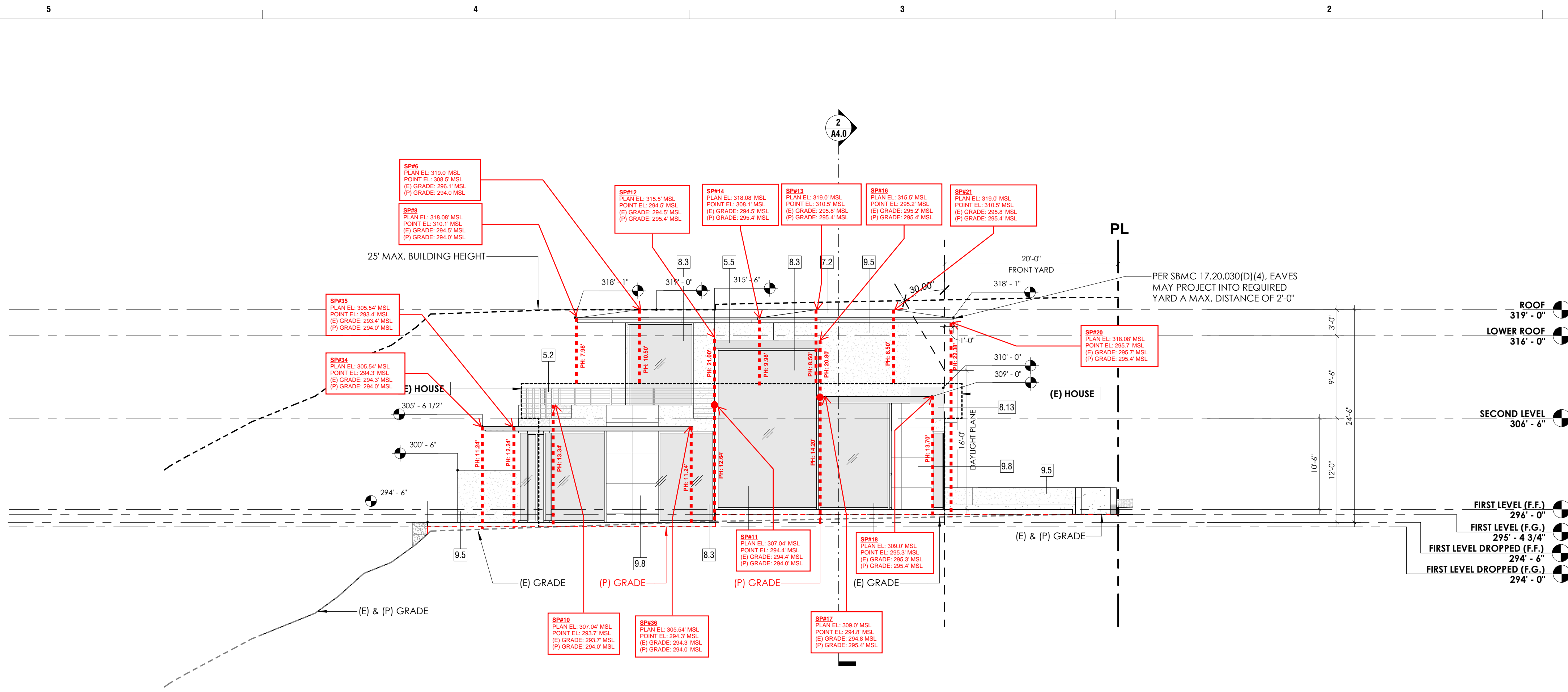
Issue Date 10/14/2020 12:26:25 PM Scale As indicated

SRA Project Number 1810

## STORY POLE ELEVATIONS - NORTH / SOUTH

# A-SP-EL1





**GENERAL NOTES**

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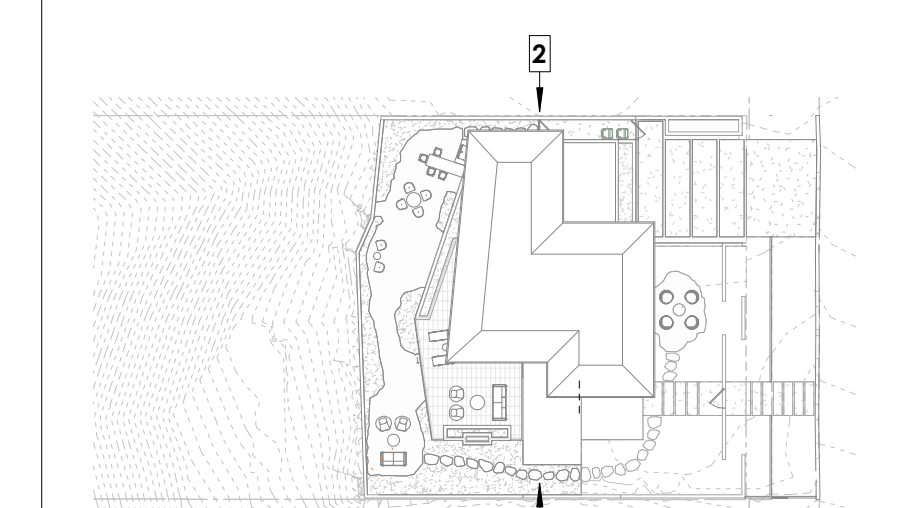
**KEYNOTES**

- 5.2 METAL HANDRAIL/GUARDRAIL SYSTEM
- 5.3 METAL TRELLIS W/COMPOSITE WOOD PANELS
- 5.5 DECORATIVE FORMED METAL - ALUMINUM COVER
- 7.2 CLASS "A" PVC THERMOPLASTIC MEMBRANE ROOFING, ICC ESR 1157 OR EQ.
- 8.1 WINDOW SYSTEM, REF. A5.1
- 8.2 DOOR SYSTEM, REF. A5.0
- 8.3 CURTAIN PANEL SYSTEM, REF. A5.2 / A5.2.1 / A5.2.2
- 8.4 SLIDING DOOR SYSTEM, REF. A5.0
- 8.12 GARAGE DOOR
- 8.13 GLASS RAILING
- 9.5 CEMENT PLASTER STUCCO, REF. FINISH SCHEDULE
- 9.8 WOOD VENEER, REF. FINISH SCHEDULE
- 10.14 4" HIGH W/ 1/2" STROKE WIDTH STREET NUMBERS

**LEGEND**

- |  |                         |  |                        |
|--|-------------------------|--|------------------------|
|  | SECTION MARK            |  | ROOF TAG               |
|  | BUILDING ELEVATION MARK |  | LINE ABOVE/BELOW       |
|  | KEYNOTE                 |  | MATCHLINE              |
|  | GRID LINE               |  | MAIN CONTOUR LINE      |
|  | PL - PROPERTY LINE      |  | SECONDARY CONTOUR LINE |
|  | SETBACK LINE            |  | LEVEL ELEVATION        |
|  | DOOR TAG                |  | WINDOW TAG             |

**KEY PLAN**



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APN: 263-193-04

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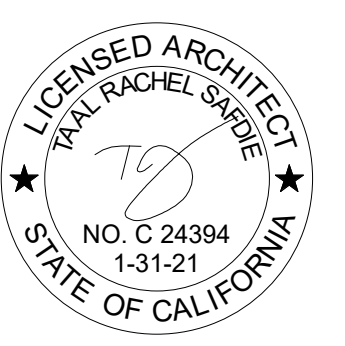
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07	City Council Presentation	01/27/21

Issue Date 10/14/2020 12:26:26 PM Scale As indicated  
SRA Project Number 1810

**STORY POLE ELEVATIONS - EAST / WEST**

**A-SP-EL2**



April 29, 2020

Mr. Gregory Wade  
City of Solana Beach  
635 S. Highway 101  
Solana Beach, CA 92075

**Subject: Biological Resources Assessment For 514 Canyon Drive, City of Solana Beach, San Diego County, California**

Dear Mr. Wade:

This letter report provides the assessment of the biological resources within the developed Property located at 514 Canyon Drive project site (proposed project). The property as well as the surrounding area (houses located on all sides) is completely developed with single family residences and active fuel modifications zones on the slopes. Redevelopment of the existing single-family residence (maintaining the same footprint) and new landscaping are proposed on the approximately 0.32-acre lot.

The purpose of this report is to document the biological resources on the project site, identify potential biological resource impacts resulting from the proposed redevelopment of the single family residence, and recommend measures to avoid, minimize, and/or mitigate significant impacts consistent with federal, state and local rules and regulations, including the California Environmental Quality Act (CEQA) and the City General Plan.

**LOCATION, TOPOGRAPHY, AND LAND USE**

The proposed project site is within the City of Solana Beach, California (Attachment A: Figure 1). The Property is rectangular and is bordered by residential development and the structures associated Fuel Modification Zones (FMZ), Canyon Drive to the south, Holmwood Lane to the north, and Interstate 5 to the east (Figure 1).

The topography of the project site varies from 230 to 295 feet above mean sea level (Coastal Land Solutions, 2018). The northern portion of the property is ungraded, supporting maintained native habitat within a 100 linear foot FMZ. The southern half of the Property is developed with the existing single-family residence and backyard space.

**REGIONAL CONTEXT**

The project is located within the City of Solana Beach and is within the planning area for the North County Multiple Habitat Conservation Program (MHCP) which is a comprehensive conservation planning process that addresses the needs of multiple plant and animal species in northwestern San Diego County. The North County MHCP encompasses the cities of Solana Beach, Carlsbad, Encinitas, Escondido, Oceanside, San Marcos, and

Vista. Its goal is to conserve approximately 19,000 acres of habitat, of which roughly 8,800 acres (46 percent) are already in public ownership and contribute toward the habitat preserve system for the protection of more than 80 rare, threatened, or endangered species.

In order to participate in the program, the participating jurisdictions must implement their portions of the MHCP through citywide “subarea” plans, which describe the specific policies that each city will institute for the MHCP. Participation by a local jurisdiction allows for the authority to issue take authorizations for impacts to sensitive biological resources within the city boundary. Issuance of take authorization is based on successful completion of the MHCP plan, city prepared subarea plans, implementing agreements, and environmental documentation. Local jurisdictions are required to prepare individual subarea plans that comply with all relevant elements of the MHCP and be accompanied by their own environmental compliance documents.

Currently the only jurisdiction to implement a subarea plan is the City of Carlsbad. The City of Solana Beach has not adopted a subarea plan because it does not anticipate the need to issue take authorizations given the level of build-out, small amount of native habitat remaining within the City and low potential to impact sensitive biological resources. Therefore, the City of Solana Beach has not adopted a subarea plan implemented the North County MHCP within the city.

City of Solana Beach approved the Local Coastal Plan (LCP) Amended through February 2019. The LCP/LUP contains key strategies and policies to provide comprehensive citywide land use planning and sustainable development and shoreline protection policies focused on local conditions, goals, and interests. The LCP is a planning document prepared by cities and counties for areas within the coastal zone as required by the California Coastal Act of 1976. The Coastal Act is intended to ensure that the coastal areas of California are utilized and/or developed in a manner responsive to Statewide public objectives.

The City's LCP consists of the adopted Land Use Plan (LUP) and will include a future Local Implementation Plan (LIP) (i.e., the implementing zoning ordinances and maps) which together meet the Coastal Act requirements and implement its provisions and policies within the City. California Coastal Commission (CCC) certification of an LCP, followed by the City's adoption, is required to implement an LCP fully.

## **DATA REVIEW AND FIELD SURVEY**

Prior to performing fieldwork within the project site, a review of existing information (including previous maps, surveys, reports, and plans) and a search of the California Department of Fish and Wildlife's (CDFW) California Natural Diversity Database (CNDDB) and U.S. Fish and Wildlife Service (USFWS) sensitive species database were performed.

Qualified BLUE biologist Michael Jefferson conducted the biological resources pedestrian survey of the project site as well as a 100-foot area surrounding the Property on July 25, 2018. Vegetation communities were assessed and mapped on a color aerial. Animal species observed directly or detected from calls, tracks, scat, nests, or other sign were documented. All plant species observed onsite were also documented.



## RESULTS

The following subsections describe the vegetation/land cover; the wildlife and plant species; and the potential for special-status species to occur within the Property.

The Property does not support any habitat or sensitive species, as identified/mapped in the PEIR published by the City (PEIR, 2014) and is not within one of the City identified *Environmentally Sensitive Habitat Areas* (ESHA, June 2009; Figure 2, attached).

Onsite survey and mapping confirm that no natural/sensitive habitat is located onsite or offsite within canyon. This is because the natural (ungraded) slopes supporting the vegetation within the canyon is all within 100 feet of the encircling residential structures and therefore wholly within a FMZ.

### **Vegetation Communities and Land Cover Types**

A single native vegetation community was identified within the survey limits; Southern Mixed Chaparral (SMX) located within the existing 100-foot-deep FMZ.

This is not considered a sensitive habitat as a result of being within an active FMZ; as shown in the City ESHA map.

The historically developed residential property also supports developed and urban disturbed vegetation consisting of non-native ornamental and non-native annual plant species.

### ***Disturbed Area: Vegetated by Southern Mixed Chaparral (FMZ maintained area)***

Southern mixed chaparral (SMX) is a vegetation community typically dominated by broad-leaved sclerophyllous shrubs or small trees and characteristically occupies protected north-facing and canyon slopes or ravines. The vegetation is usually dense, with little or no understory cover, but may include patches of bare soil. This community typically is found in sites that are moister than those supporting chamise chaparral. Many species in this community are adapted to repeated fires by their ability to stump sprout. Southern mixed chaparral is typically found in the foothills of San Diego County and northern Baja California, Mexico, usually at elevations below 3,000 feet (Holland 1986).

Onsite, this southern mixed chaparral occurs within the existing FMZ located in the northern portion of the site, where the dense vegetation on the north-facing slope is eight to ten feet tall. Because the area is within the pre-existing FMZ and is subject to removal, maintenance and irrigation, the vegetation is considered disturbed/urban developed and is not considered 'sensitive'.

A complete list of observed plant species is attached (Attachment 1). Dominant species within the FMZ include chamise (*Adenostoma fasciculatum*), mission manzanita (*Xylococcus bicolor*), ceanothus (*Ceanothus oliganthus*), and bushrue (*Cneoridium dumosum*). The southern mixed chaparral, where it transitions into the offsite CSS to the east, is dominated by these species but yellow bush penstemon (*Keckiella antirrhinoides*) and more elements of Diegan coastal sage scrub, particularly black sage (*Salvia mellifera*) and California buckwheat (*Eriogonum fasciculatum*).

### **Urban Disturbed/Ornamental**

The mature ornamental landscaping within the Property consists of large ornamental pine (*Pinus* sp.), gum (*Eucalyptus* sp.), ficus trees (*Ficus* spp.), Bougainvillea (*Bougainvillea*), and English ivy (*Hedera helix*). Annual ruderal species including bromes (*Bromus* sp.), wild oats (*Avena* sp.), cheeseweed (*Malva parviflora*), and filaree (*Erodium* sp.) dominated the unpaved areas.

### **Developed**

The developed areas on the site include concrete pads related to the existing residential building, driveway and paved back yard area.

### **Wetlands**

No jurisdictional wetlands or water occur within the proposed project site.

### **General Wildlife**

No sensitive species were observed onsite and due to the lack of appropriate habitat/quality, none are expected to occur. A complete list of observed wildlife species is attached (Attachment 2)

Bird species observed onsite are typical for disturbed and landscaped areas. The mature trees onsite offer cover, foraging, and potential nesting for birds.

The bird species observed include: American crow (*Corvus brachyrhynchos*), Anna's hummingbird (*Calypte anna*) and house finch (*Haemorhous mexicanus*).

The pine, ficus, gum, Brazilian pepper and other trees on-site provide potential nesting habitat for birds.

No mammals were directly observed during the site visit. Many mammal species are nocturnal and can be detected during daytime surveys by observing their sign, such as tracks, scat, or burrows.

No reptiles or amphibians were observed but the site is likely to support western fence lizard (*Sceloporus occidentalis*) and western side-blotched lizard (*Uta stansburiana elegans*).

The weedy native habitat within the northern portion of the Property (all in maintained FMZ) provides burrowing and foraging opportunities for a variety of common small mammal species.

Due to the lack of appropriate native habitat, the site is not expected/likely to support special status mammal species.

### **Special-Status Species**

No special-status plant or wildlife species were observed during the site visit. According to the CNDDDB search, the following six special status species, including one reptile and two plant species, historically occurred within 0.25 mile of the Property (CNDDDB 2018).

- coastal California gnatcatcher (*Polioptila californica californica*): Species of Special Concern in California

and listed as Threatened by the U.S. Fish and Wildlife Service in 1993 (USFWS 1993).

- wart-stemmed ceanothus (*Ceanothus verrucosus*): California Rare Plant Rank: 2B.2 (rare, threatened, or endangered in CA; common elsewhere)
- beach goldenaster (*Heterotheca sessiliflora ssp. sessiliflora*): California Rare Plant Rank: 1B.1 (rare, threatened, or endangered in CA and elsewhere)
- California glossy snake (*Arizona elegans occidentalis*), a CDFW species of special concern, was observed in 1946.
- sea dahlia (*Leptosyne maritima*), a California Rare Plant Rank 2B.2<sup>1</sup>, was observed in 1969.
- sand-loving wallflower (*Erysimum ammophilum*) a California Rare Plant Rank 1B.2<sup>2</sup>, was observed in 1967.

Due to the onsite development and residential development surrounding the Property, and the age of these observations, the most recent of which was nearly 50 years ago, California glossy snake, sea dahlia, and sand-loving wallflower are not likely to occur in the project site.

Coastal California gnatcatcher have been observed in the area, but are not expected to occur onsite due to the lack of appropriate habitat. Wart-stemmed ceanothus, and beach goldenaster were not observed onsite.

Furthermore, no special status-species are likely to occur due to the lack of appropriate conditions and the fact that the Property and all of its' surroundings are developed and/or within an existing FMZ. The completed habitat assessment identified no potential for the occurrence of special status plant or wildlife species. Therefore, no focused surveys for special status plant or wildlife species were conducted and are not recommended to be completed.

## SUMMARY

No potentially significant impacts are proposed to occur as a result of the renovation of the existing house (no footprint change). While native habitat is present onsite, the property is considered developed with the house, yard and FMZ taking up the entire lot. Because the footprint of the renovated house will remain the same, the FMZ will remain the same. Therefore, the renovations/re-development of the existing house and continued maintenance of the onsite vegetated area within the FMZ would not be considered a potentially significant impact.

No change in use or new development is proposed. The proposed renovations to the existing house propose no new potentially significant biological impacts. As a result, relative to biological issues, the renovation of the existing house and backyard is in compliance with the LCP/LUP provisions and policies.

If you have any questions regarding this analysis, please do not hesitate to call at 858.391.8145 or email at

[Mike@BLUEconsulting.com](mailto:Mike@BLUEconsulting.com).

Sincerely,



Michael Jefferson  
Senior Biologist

**Attachments:**

FIGURES

Figure 1 Property Aerial

Figure 2 City PEIR ESHA Map and Project Location

Figure 3 Biological Resources

TABLES

Table 1 – Plants Observed

Table 2 – Wildlife Species Observed

**REFERENCES**

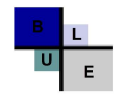
City of Solana Beach. 2013. City of Solana Beach Local Coastal Plan. February 27, 2013. Amended June 11, 2014.

City of Solana Beach. 2014. Draft Program Environmental Impact Report for the Solana Beach General Plan Update, SCH#2013081087. August 19.

California Department of Fish and Wildlife. 2018. California Natural Diversity Database.

City of Solana Beach. Local Coastal Plan (LCP) February 2019 (Amended)

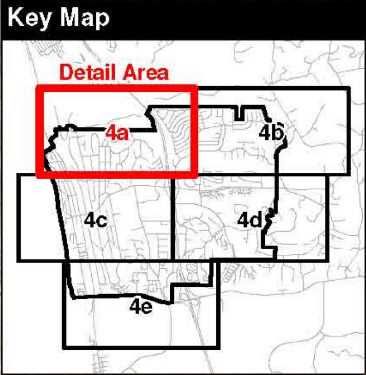




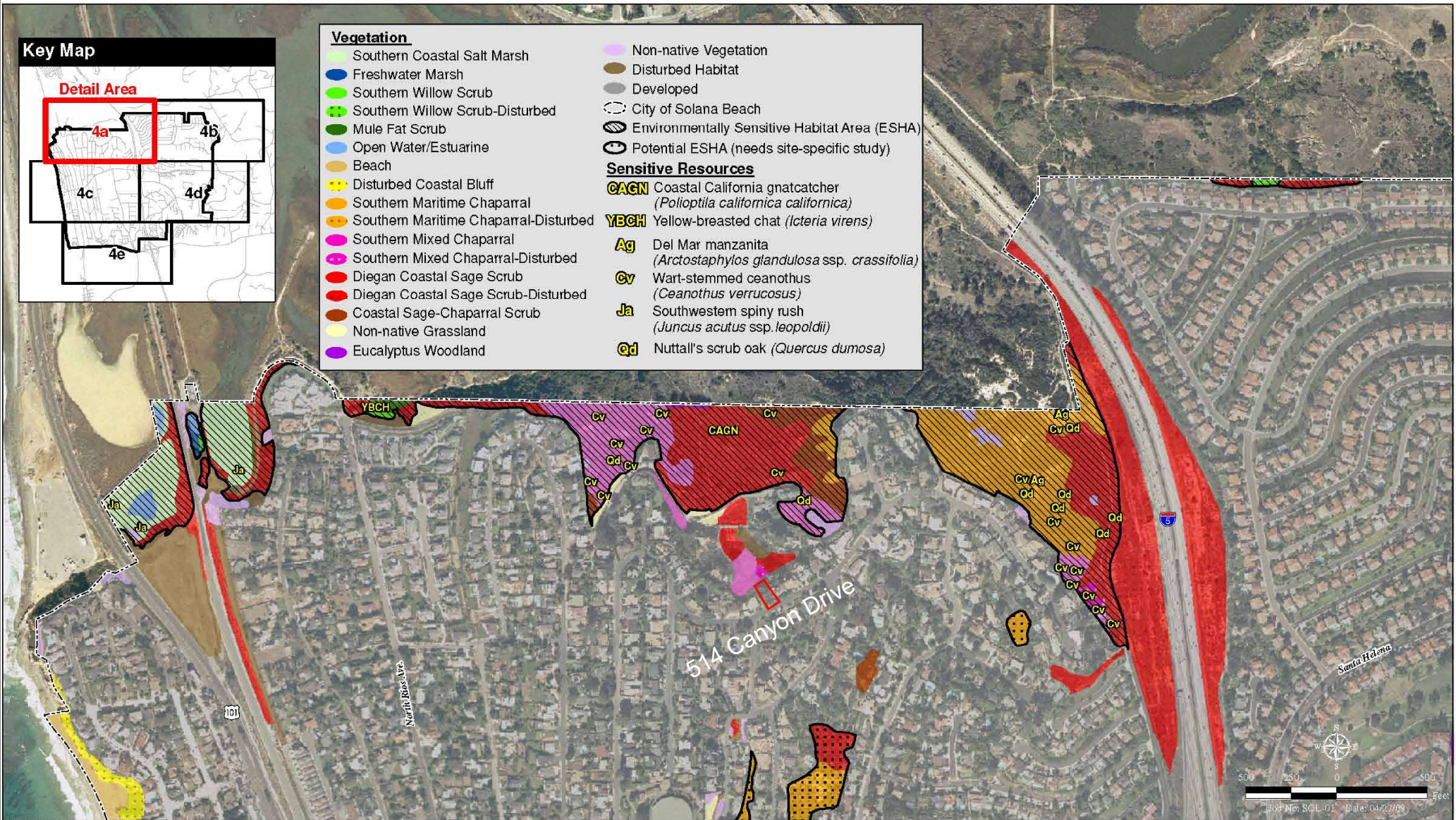
 Property

**FIGURE 1**  
**Property Aerial**





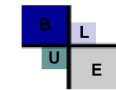
Vegetation	
	Southern Coastal Salt Marsh
	Freshwater Marsh
	Southern Willow Scrub
	Southern Willow Scrub-Disturbed
	Mule Fat Scrub
	Open Water/Estuarine
	Beach
	Disturbed Coastal Bluff
	Southern Maritime Chaparral
	Southern Maritime Chaparral-Disturbed
	Southern Mixed Chaparral
	Southern Mixed Chaparral-Disturbed
	Diegan Coastal Sage Scrub
	Diegan Coastal Sage Scrub-Disturbed
	Coastal Sage-Chaparral Scrub
	Non-native Grassland
	Eucalyptus Woodland
	Non-native Vegetation
	Disturbed Habitat
	Developed
	City of Solana Beach
	Environmentally Sensitive Habitat Area (ESHA)
	Potential ESHA (needs site-specific study)
Sensitive Resources	
	<b>CAGN</b> Coastal California gnatcatcher ( <i>Poliptila californica californica</i> )
	<b>YBCH</b> Yellow-breasted chat ( <i>Icteria virens</i> )
	<b>Ag</b> Del Mar manzanita ( <i>Arctostaphylos glandulosa</i> ssp. <i>crassifolia</i> )
	<b>Cv</b> Wart-stemmed ceanothus ( <i>Ceanothus verrucosus</i> )
	<b>Ja</b> Southwestern spiny rush ( <i>Juncus acutus</i> ssp. <i>leopoldii</i> )
	<b>Qd</b> Nuttall's scrub oak ( <i>Quercus dumosa</i> )



**EXHIBIT 3-6 ENVIRONMENTALLY SENSITIVE HABITAT AREAS**  
 Local Coastal Program Land Use Plan  
 City of Solana Beach, June 2009



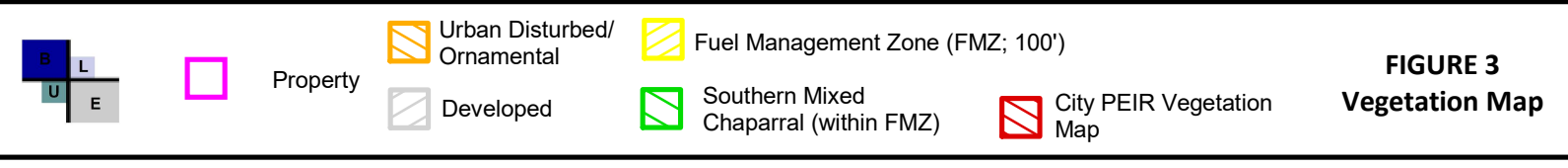
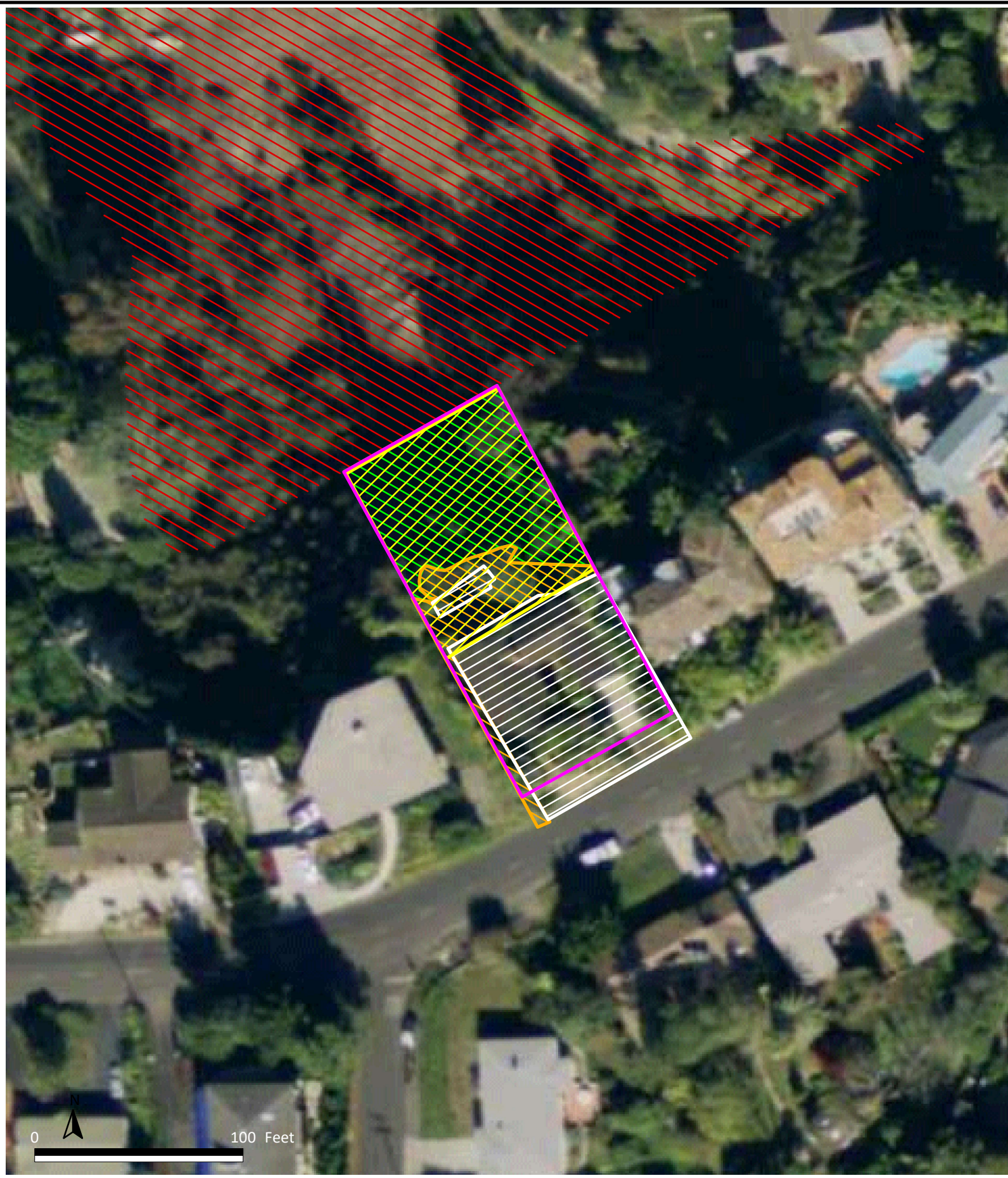
**MELIX**



Property - 514 Canyon Drive

**FIGURE 2**  
 City PERI Map:  
 Land Use Habitat 1





**ATTACHMENT 1  
PLANT SPECIES OBSERVED**

Scientific Name	Common Name	Habitat	Origin
<i>Adenostoma fasciculata</i>	Chamise	DH	I
<i>Amaranthus blitoides</i> S. Wats.	Pigweed, amaranth	DH	I
<i>Avena</i> sp.	Wild oats	DH	N
<i>Brassica nigra</i> (L.) Koch.	Black mustard	DH	I
<i>Bromus hordaceus</i> L.	Smooth brome	DH	I
<i>Bromus madritensis</i> L. ssp. <i>rubens</i> (L.) Husnot	Foxtail chess	DH	I
<i>Ceanothus oliganthus</i>	Ceanothus	DH	N
<i>Centaurea melitensis</i> L.	Tocolote, star-thistle	DH	I
<i>Cneoridium dumosum</i>	Bushrue	DH	N
<i>Encelia californica</i>	California brittlebush	DH	N
<i>Eriogonum fasciculatum</i> Benth. var. <i>fasciculatum</i>	California buckwheat	DH	N
<i>Eriophyllum confertiflorum</i> (DC.) A. Gray var. <i>confertiflorum</i>	Golden-yarrow	DH	N
<i>Erodium cicutarium</i> (L.) L. Her.	White-stemmed filaree	DH	I
<i>Eucalyptus</i> sp.	Eucalyptus sp.	DH	I
<i>Ficus</i> spp.	Ficus	DH	I
<i>Foeniculum vulgare</i> Mill.	Fennel	DH	I
<i>Keckiella antirrhinoides</i>	yellow bush penstemon	DH	N
<i>Malva parviflora</i>	Cheeseweed	DH	N
<i>Medicago polymorpha</i> L.	California bur clover	DH	I
<i>Melilotus alba</i>	White sweet clover	DH	N
<i>Nicotiana glauca</i> Grah.	Tree tobacco	DH	I
<i>Salsola tragus</i> L.	Russian thistle, tumbleweed	DH	I
<i>Salvia melifera</i>	Black sage	DH	N
<i>Schinus terebinthifolius</i> Raddi	Brazilian pepper tree	DH	I
<i>Urtica urens</i> L.	Dwarf nettle	DH	I
<i>Vulpia myuros</i> (L.) var. <i>hirsuta</i> (Hackel.) Asch. & Graebr.	Rattail fescue	DH	I
<i>Xanthium strumarium</i> L.	Cocklebur	DH	N
<i>Xylococcus bicolor</i>	Mission manzanita	DH	N

HABITATS

DH = Developed/Ornamental/Urban Developed FMZ  
(all considered Disturbed Habitat)

OTHER TERMS

N = Native to locality  
I = Introduced species from outside locality



**ATTACHMENT 2  
WILDLIFE SPECIES OBSERVED/DETECTED ONSITE**

Common Name	Scientific Name	Occupied Habitat	Status	Evidence of Occurrence
<u>Invertebrates</u> (Nomenclature from Brown, Real, and Faulkner 1992)				
Cabbage white	<i>Pieris rapae</i>	DH		O
<u>Amphibians</u> (Nomenclature from Collins 1997)				
N/A				
<u>Reptiles</u> (Nomenclature from Collins 1997)				
N/A				
<u>Birds</u> (Nomenclature from American Ornithologists' Union)				
Anna's hummingbird	<i>Calypte anna</i>	all		O
American crow	<i>Corvus brachyrhynchos</i>	all		O
house finch	<i>Haemorhous mexicanus</i>	all		O
<u>Mammals</u> (Nomenclature from Jones et al. 1982)				
N/A				

Habitats

DH – Disturbed Habitat

Evidence of Occurrence

O - Observed

**HELIX Environmental Planning, Inc.**  
7578 El Cajon Boulevard  
La Mesa, CA 91942  
619.462.1515 tel  
619.462.0552 fax  
www.helixepi.com



November 9, 2020

Mr. Corey Andrews  
City of Solana Beach  
635 S. Highway 101  
Solana Beach, CA 92075-2215

**Subject: 3<sup>rd</sup> Review of the Biological Resources Assessment for 514 Canyon Drive**

Dear Mr. Andrews:

This letter provides the results of a 3<sup>rd</sup> third-party review of the Biological Resources Assessment (Report; revised by BLUE Consulting Group, dated April 29, 2020) for the 514 Canyon Drive Project site, located in the City of Solana Beach (City), San Diego County, California. This third-party review was conducted by HELIX Environmental Planning, Inc. (HELIX) and consisted of a review of the updated Report, including Figures and attachments; a field investigation of the subject site was not included as part of the review herein.

Most all previous comments were addressed; however, some of the suggestions were not incorporated. Overall and upon review of the updated Report, HELIX has no further comments. Please contact me at [ThomasL@helixepi.com](mailto:ThomasL@helixepi.com) or 760-525-5888 if you have questions.

Sincerely,

A handwritten signature in black ink, appearing to read "T. Liddicoat", enclosed in a thin black rectangular box.

Thomas Liddicoat  
Biology Project Manager







**POINT 1** - 514 Canyon Drive – Existing Conditions Looking West from Canyon Drive



**POINT 1** - 514 Canyon Drive – Proposed Conditions Looking West from Canyon Drive





**POINT 2** - 514 Canyon Drive – Existing Conditions Looking North from Canyon Drive



**POINT 2** - 514 Canyon Drive – Proposed Conditions Looking North from Canyon Drive





**POINT 3** - 514 Canyon Drive – Existing Conditions Looking Northwest from Canyon Drive



**POINT 3** - 514 Canyon Drive – Proposed Conditions Looking Northwest from Canyon Drive





**POINT 4** - 514 Canyon Drive – Proposed Conditions Looking North from Canyon Drive



**POINT 4** - 514 Canyon Drive – Proposed Conditions Looking North from Canyon Drive



# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** Community Development Department  
**SUBJECT:** **Public Hearing: Request for DRP and SDP to Demolish an Existing Single-Family Residence, Construct a Replacement Two-Story, Single-Family Residence with an Attached Garage, and Perform Associated Site Improvements at 520 North Cedros Avenue (Case #: DRP19-009/SDP19-010 Applicants: John and Heidi Murphy; APN: 263-062-23; Resolution No. 2021-005)**

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## **BACKGROUND:**

The Applicants, John and Heidi Murphy, are requesting City Council approval of a Development Review Permit (DRP) and Structure Development Permit (SDP) to demolish a single-family residence, construct a replacement two-story, single-family residence including a two-car garage, and perform associated site improvements at 520 North Cedros Avenue. The 10,920 square-foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ).

The project proposes a main floor living area of 2,712 square feet, a 537 square-foot garage, a second floor living area of 759 square feet, and 209 square feet of exterior covered areas that count toward the gross floor area. The project includes grading in the amount of 180 cubic yards of cut, 10 cubic yards of fill, and 170 cubic yards of export. The tallest point of the proposed residence would be 24.90 feet above the existing and proposed grade and the highest point of the structure would not exceed 97.42 feet above Mean Sea Level (MSL). The project requires a DRP for 1) an aggregate grading quantity in excess of 100 cubic yards, and 2) a structure that exceeds 60 percent of the maximum allowable floor area. The project requires a SDP because the proposed development exceeds 16 feet in height above existing grade.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2021-005 (Attachment 1).

CITY COUNCIL ACTION:

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**DISCUSSION:**

The square-shaped lot includes 102 feet of frontage along the east side of North Cedros Avenue, and after a dedication required by the Engineering Department, a depth of approximately 98 feet. The existing lot topography is generally flat with a gradual two-foot increase from street level to the rear property line. An approximately two-foot high retaining wall exists along the rear (east) property line. The lot is currently developed with a one-story single-family residence located in the northwest corner of the buildable area, two (2) detached accessory structures located in the rear yard, and a circular driveway.

The proposed project includes demolition of all existing improvements, construction of a replacement two-story, single-family residence utilizing the majority of the buildable area for the first floor and the second story centered over the western side of the buildable area and construction of associated site and yard improvements including: a replacement (single) driveway located on the northern half of the property; new privacy fencing above low retaining walls along the eastern portions of the north and south (side) property lines and a replacement low retaining wall with privacy fencing along the eastern (rear) property line; a pool and spa in the rear yard; and hardscape, drainage, and landscape throughout the site. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the Solana Beach Municipal Code (SBMC) applicable zoning regulations with the Applicants' proposed design.

<b>Table 1</b>			
<b>LOT INFORMATION</b>			
<b>Property Address:</b>	520 N. Cedros Ave.	<b>Zoning Designation:</b>	MR (5-7 du/ac)
<b>Lot Size (Net):</b>	10,920 ft <sup>2</sup>	<b># of Units Allowed:</b>	1 Dwelling Unit, 1 ADU
<b>Max. Allowable Floor area:</b>	3,861 ft <sup>2</sup>	<b># of Units Requested:</b>	1 Dwelling Unit
<b>Proposed Floor area:</b>	3,817 ft <sup>2</sup>	<b>Setbacks:</b>	<b>Required</b> <b>Proposed</b>
<b>Below Max. Floor area by:</b>	44 ft <sup>2</sup>	Front (W)	20'      20'-4"
<b>Max. Allowable Height:</b>	25 ft.	Interior Side (N)	10'      10'-9"
<b>Max. Proposed Height:</b>	24.90 ft.	Interior Side (S)	10'      10'-2"
<b>Highest Point/Ridge:</b>	97.42 MSL	Rear (E)	25'      27'-6"
<b>PROPOSED PROJECT INFORMATION</b>			
<b>Proposed Floor Area Breakdown:</b>		<b>Requested Permits:</b>	
First Floor Living Area	2,712 ft <sup>2</sup>	<b>DRP:</b> A DRP is required for: 1) grading in excess of 100 cubic yards (aggregate); 2) a structure that exceeds 60% of the maximum allowable floor area; and	
Second Floor Living Area	759 ft <sup>2</sup>		
Covered Exterior Area	209 ft <sup>2</sup>	<b>SDP:</b> A SDP is required for a new structure that exceeds 16 feet in height from the existing grade.	
Garage	537 ft <sup>2</sup>		
Subtotal	4,217 ft <sup>2</sup>		
Off-Street Parking Exemption	- 400 ft <sup>2</sup>		
<b>Total Proposed Floor Area</b>	<b>3,817 ft<sup>2</sup></b>		
<b>Proposed Grading: 390 yd<sup>3</sup> cut, 70 yd<sup>3</sup> of fill and 320 yd<sup>3</sup> of export, 11 yd<sup>3</sup> cut for footings</b>			
<b>Proposed Parking:</b> 2-Car Garage		<b>Existing Development:</b>	
<b>Proposed Fences and Walls:</b> Yes		Single-Family Residence	
<b>Proposed Accessory Dwelling Unit:</b> No			
<b>Proposed Accessory Structure:</b> No			

Staff has prepared draft findings for approval of the project in the attached Resolution 2021-005 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP and SDP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2021-005.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required for the following reasons: 1) grading in excess of 100 cubic yards (aggregate); and 2) a structure that exceeds 60% of the maximum allowable floor area.

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2021-005 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

#### Relationship with Adjacent Land Uses:

The property is located within the MR Zone. The three properties to the north and one property to the south along the east side of North Cedros Avenue are also located within the MR Zone. The east side of North Cedros Avenue, south of the subject property, then transitions to the Light Commercial (LC) Zone. The property immediately west of the site as well as the other properties north of East Cliff Street along the west side of North Cedros Avenue are located in the Medium-High Residential (MHR) Zone. The property is west of the properties located along Seabright Lane in the Low-Medium Residential (LMR) Zone. The surrounding neighborhood consists of a mix of properties that are one- and two-story, single-family residences on the east side of North Cedros Avenue and Seabright Lane, the Cedros Seaside development of two-story row homes on the west side of North Cedros, and two-story commercial buildings on the east side of North Cedros Avenue south of the property. The project site is currently developed with a one-story, single-family residence.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single-family residences developed at a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further later in this report. As a condition of project approval, the Applicants would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

#### Building and Structure Placement:

The Applicants propose to demolish the existing residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated improvements including grading, hardscaping, landscaping, and construction of a pool, spa, fences, and walls.

The existing circular driveway would be replaced with a single curb cut driveway accessing the proposed two-car garage on the northern side of the property. Pedestrian

access to the property would be provided by a walkway from the street to the main entry through the center of the property.

The proposed residence would utilize the majority of the buildable area on site and adhere to the required 20-foot front, 25-foot rear, and 10-foot interior side yard setbacks. The front yard setback is reduced from 25 feet to 20 feet because the dedication of the existing five-foot road easement and an additional three-foot dedication would result in a lot depth less than 100 feet.

The 2,712 square-foot first floor would include an open concept kitchen, living, and dining room, pantries, an entry foyer, an office/guest room, powder room, laundry/mudroom, owner's suite, and a two-car garage. The living and dining areas would open to a covered patio with an outdoor fireplace. The 167 square-foot front entry patio would be covered and enclosed on three sides and included in the calculation of floor area. The 759 square-foot second floor would be located in the center of the western (front) half of the buildable area and include two bedroom suites, a bonus room, and decks on the west and east sides. The 42 square-foot second-floor deck on the west side would be covered and enclosed on three sides and included in the calculation of floor area.

There would be a pool, spa, and outdoor fireplace located on the east (rear) side of the residence as well as landscape and hardscape areas throughout the property.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The project includes a two-car garage, therefore, the project is afforded a 400 square-foot exemption, and the total proposed floor area would be 3,817 square feet, which is 44 square feet below the maximum allowable floor area for the 10,920 square-foot lot. The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
<u>0.175 for 6,001 to 15,000 ft<sup>2</sup></u>	<u>861 ft<sup>2</sup></u>
Total Allowable Floor area:	3,861 ft <sup>2</sup>

The proposed project, as designed, meets the minimum required setbacks, is below the maximum allowable floor area for the property, and meets the required off-street parking.

#### Neighborhood Comparison:

Staff compared the proposed project to 29 other properties within the surrounding area. This area includes properties along North Cedros Avenue and Seabright Lane, as shown on the following map:





<b>Table 2</b>						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft <sup>2</sup>	Max. Allowable ft <sup>2</sup>	Zone
1	506 Seabright Ln	10,600	3,516		3,805	LMR
2	514 Seabright Ln	10,500	3,452		3,788	LMR
3	526 Seabright Ln	10,800	1,444		3,840	LMR
4	552 Seabright Ln	10,500	1,321		3,788	LMR
5	602 Seabright Ln	11,100	1,666		3,893	LMR
6	614 Seabright Ln	10,900	1,358		3,858	LMR
7	611 Seabright Ln	10,200	2,477		3,735	LMR
8	603 Seabright Ln	10,400	1,260		3,770	LMR
9	535 Seabright Ln	10,900	3,247		3,858	LMR
10	525 Seabright Ln	8,200	3,203		3,385	LMR
11	515 Seabright Ln	10,300	2,556		3,753	LMR
12	505 Seabright Ln	10,600	984		3,805	LMR
13	607 N Cedros Ave	9,115	3,320	3,320	3,545	MR
14	536 N Cedros Ave	9,392*	2,542		3,594	MR
15	534 N Cedros Ave	13,240*	2,745		4,267	MR
<b>16</b>	<b>520 N Cedros Ave</b>	<b>10,920</b>	<b>1,244</b>	<b>3,471</b>	<b>3,781</b>	<b>MR</b>
17	508 N Cedros Ave	10,460*	1,170		3,781	MR
18	601 N Cedros Ave	15,608	1,282		11,706	MR
19	589 N Cedros Ave	2,700*	2,292		2,025	MHR
20	557 N Cedros Ave	3,000*	2,667		2,250	MHR
21	535 N Cedros Ave	3,000*	2,292		2,250	MHR
22	533 N Cedros Ave	3,000*	2,292		2,250	MHR
23	529 N Cedros Ave	3,000*	2,667		2,250	MHR
24	525 N Cedros Ave	3,000*	2,292		2,250	MHR
25	517 N Cedros Ave	3,000*	2,142		2,250	MHR
26	515 N Cedros Ave	3,000*	2,292		2,250	MHR
27	513 N Cedros Ave	3,000*	2,142		2,250	MHR
28	511 N Cedros Ave	3,000*	2,292		2,250	MHR
29	505 N Cedros Ave	3,000*	2,292		2,250	MHR
30	503 N Cedros Ave	3,000*	2,054		2,250	MHR

\*Estimated. Lot size information was not available from the County Assessor.

#### Fences, Walls and Retaining Walls:

Within the front yard setback area, SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls, and retaining walls located within the rear and interior side yards are

allowed to be up to 6 feet in height with an additional 24 inches that is 50% open to light and air.

Retaining walls are proposed along the eastern (rear) half of the north and south side property lines as well as a replacement retaining wall along the east (rear) property line. The walls would range from approximately 0-3 feet in height. Perimeter privacy and pool safety fencing would be constructed above the retaining walls. Additional perimeter fencing and gates are proposed to secure the rear yard. The proposed fencing and combination fence and walls, as designed, are in compliance with the maximum height for fences and walls, as measured from the existing grade.

#### Landscape:

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform inspections during the construction phase of the project. A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

#### Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) requires two (2) off-street parking spaces for a single-family residence. The Applicants propose to remove the existing circular driveway and install a replacement standard driveway accessing the two-car garage located at the northwest corner of the property. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will accommodate the two required off-street parking spaces, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

#### Grading:

The project includes grading in the amount 180 cubic yards of cut, 10 cubic yards of fill and 170 cubic yards of export. Excavation is proposed to expand the existing building pad at relatively the same elevation as the existing residence and create a flat yard area. Low retaining walls are proposed around the eastern half of the property to support the higher grade elevations on adjacent properties. Consistent with the existing topography, the adjacent properties would range between being at the same approximate grade level at the street to approximately three feet higher to the east (rear).

#### Lighting:

A condition of project approval requires that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

#### Usable Open Space:

The project consists of the construction of a replacement two-story, single-family residence with a garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of project approval, the Applicants will be required to pay the applicable Park Development Fee.

#### Structure Development Permit Compliance:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicants were required to complete the SDP process. The Applicants had story poles erected onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on November 9, 2020, which showed the highest story pole certified at 97.42 MSL and 24.90 feet above the pre-existing and proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on December 14, 2020. No applications for View Assessment were received by the City. Therefore, if the Council is able to make the required findings to approve the DRP, the SDP would be approved administratively.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.90 feet above the proposed grade and the highest point of the structure will not exceed 97.42 feet above the Mean Sea Level (MSL).

#### Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on January 14, 2021. As of the date of preparation of this Staff Report, Staff has not received any official correspondence on the project from the community.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Staff has prepared draft findings for approval of the project in the attached Resolution 2021-005 for Council's consideration based upon the information in this report. Conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval.



Should the Council determine that the findings can be made to approve the project; the SDP will be approved concurrently with the DRP. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

**CEQA COMPLIANCE STATEMENT:**

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include one single-family residence or second dwelling unit in a residential zone. In urbanized areas, up to three-single-family residences may be constructed or converted under this exemption.

**FISCAL IMPACT:** N/A

**WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation adopting the attached Resolution 2021-005.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and SDP.
- Deny the project if all required findings for the DRP cannot be made.


**DEPARTMENT RECOMMENDATION:**

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2021-005 conditionally approving a DRP and SDP to demolish an existing single-family residence, construct a replacement two-story, single-family residence with a two-car garage, and perform associated site improvements at 520 North Cedros Avenue, Solana Beach.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution 2021-005
2. Project Plans

**RESOLUTION NO. 2021-005**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND STRUCTURE DEVELOPMENT PERMIT TO DEMOLISH A SINGLE-FAMILY RESIDENCE AND CONSTRUCT A REPLACEMENT TWO-STORY, SINGLE-FAMILY RESIDENCE WITH A TWO-CAR GARAGE, AND PERFORM ASSOCIATED IMPROVEMENTS AT 520 NORTH CEDROS AVENUE, SOLANA BEACH**

**APPLICANTS: JOHN AND HEIDI MURPHY  
APPLICATION: DRP20-009/SDP20-010**

**WHEREAS**, John and Heidi Murphy (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) and Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

**WHEREAS**, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

**WHEREAS**, at the Public Hearing on January 27, 2021, the City Council received and considered evidence concerning the proposed application; and

**WHEREAS**, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15303 of the State CEQA Guidelines; and

**WHEREAS**, this decision is based upon the evidence presented at the Public Hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

**NOW THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and SDP to demolish an existing single-family residence, construct a replacement two-story, 3,817 square foot single-family residence with a two-car garage, and perform associated site improvements at 520 North Cedros Avenue, is conditionally approved based upon the following Findings and subject to the following Conditions:

**III. FINDINGS**

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for a maximum of five to seven dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the Medium Residential (MR) Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks), maximum allowable floor area, maximum building height, and require off-street parking.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The property is located within the MR Zone. The three properties to the north and one property to the south along the east side of North Cedros Avenue are also located within the MR Zone. The east side of North Cedros Avenue, south of the subject property, then transitions to the Light Commercial (LC) Zone. The property immediately west of the site as well as the other properties north of East Cliff Street along the west side of North Cedros Avenue are located in the Medium-High Residential (MHR) Zone. The property is west of the properties located along Seabright Lane in the Low-Medium Residential (LMR) Zone. The surrounding



neighborhood consists of a mix of properties that are custom one- and two-story, single-family residences on the east side of North Cedros Avenue and Seabright Lane, the Cedros Seaside development of two-story row homes on the west side of North Cedros, and two-story commercial buildings on the east side of North Cedros Avenue south of the property. The project site is currently developed with a one-story, single-family residence.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single-family residences developed at a maximum density of five to seven dwelling units per acre. The proposed development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The project has been evaluated, and is found to be in conformance with, the regulations of the SROZ. As a condition of project approval, the Applicants are required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building or Grading Permits.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicants propose to demolish the existing residence, construct a replacement two-story, single-family residence with an attached two-car garage, and perform associated improvements including grading, hardscaping, landscaping, and construction of a pool, spa, fences, and walls.

The existing circular driveway would be replaced with a single curb cut driveway accessing the proposed two-car garage on the northern side of the property. Pedestrian access to the property would be provided by a walkway from the street to the main entry through the center of the property.

The proposed residence would utilize the majority of the buildable area on site and adhere to the required 20-foot front, 25-foot rear, and 10-foot interior side setbacks. The front yard setback is reduced from 25 feet to 20 feet because the dedication of the existing five-foot road easement and additional three-foot dedication would result in a lot depth less than 100 feet.

The 2,712 square-foot first floor would include an open concept kitchen, living, and dining room, pantries, an entry foyer, an office/guest room, powder room, laundry/mudroom, owner's suite, and a two-car garage. The living and dining areas would open to a covered patio with an outdoor fireplace. The 167 square-foot front entry patio would be covered and enclosed on three sides and included in the calculation of floor area. The 759 square-foot second floor would be located in the center of the western (front) half of the buildable area and include two bedroom suites, a bonus room, and decks on the west and east sides. The 42 square-foot second-floor deck on the west side would be covered and enclosed on three sides and included in the calculation of floor area.

There would be a pool, spa, and outdoor fireplace located on the east (rear) side of the residence as well as landscape and hardscape areas throughout the property.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The project includes a two-car garage, therefore, the project is afforded a 400 square-foot exemption, and the total proposed floor area would be 3,817 square feet, which is 44 square feet below the maximum allowable floor area for the 10,920 square-foot lot. The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft <sup>2</sup>	3,000 ft <sup>2</sup>
0.175 for 6,001 to 15,000 ft <sup>2</sup>	861 ft <sup>2</sup>
Total Allowable Floor area:	3,861 ft <sup>2</sup>

The project, as designed, meets the minimum required setbacks, is below the maximum allowable floor area for the property, and meets the required off-street parking.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees*

*and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is subject to the current water efficient landscaping regulations of SBMC Chapter 17.56. A Landscape Documentation Package is required for new development projects with an aggregate landscape equal to or greater than 500 square feet requiring a building permit, plan check or development review. The Applicants provided a conceptual landscape plan that has been reviewed by the City's third-party landscape architect, who has recommended approval. The Applicants will be required to submit detailed construction landscape drawings that will be reviewed by the City's third-party landscape architect for conformance with the conceptual plan. In addition, the City's third-party landscape architect will perform a final inspection during the construction phase of the project.

A separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants will remove the existing circular driveway and install a replacement standard driveway accessing the two-car garage located at the northwest corner of the property. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will accommodate the two required off-street parking spaces, therefore, 400 square feet of garage area is exempt from the project's floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and*

*adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project includes grading in the amount 180 cubic yards of cut, 10 cubic yards of fill and 170 cubic yards of export. Excavation is proposed to expand the existing building pad at relatively the same elevation as the existing residence and create a flat yard area. Low retaining walls are proposed around eastern half of the property to support the higher grade elevations on adjacent properties. Consistent with the existing topography, the adjacent properties would range between being at the same approximate grade level at the street to approximately three feet higher to the east (rear).

- f. Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

All new exterior lighting fixtures will comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a replacement two-story, single-family residence with a two-car garage on a developed residential lot; therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. The Applicants are required to pay the applicable Park Development Fee.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Structure Development Permit, are being processed concurrently with the Development Review Permit.



- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicants are required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the pre-existing grade; therefore, the project must comply with all of the View Assessment requirements of SBMC Chapter 17.63 and the Applicants were required to complete the SDP process. The Applicants had story poles erected onsite. A final Story Pole Height Certification was issued by a licensed land surveyor on November 9, 2020, which showed the highest story pole certified at 97.42 MSL and 24.90 feet above the pre-existing and proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site, which established a deadline to file for View Assessment on December 14, 2020. No applications for View Assessment were received by the City.

A height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the tallest point of the proposed residence will not exceed 24.90 feet above the proposed grade and the highest point of the structure will not exceed 97.42 feet above the Mean Sea Level (MSL).

#### IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

- A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on January 27, 2021, and located in the project file with a submittal date of January 11, 2021.
- III. Prior to requesting a framing inspection, the Applicants shall submit a height certificate prepared by a licensed land surveyor prior to the framing inspection certifying that the tallest point of the proposed

residence will not exceed 24.90 feet above the proposed grade and the highest point of the structure will not exceed 97.42 feet above the Mean Sea Level (MSL) in conformance with the plans as approved by the City Council on January 27, 2021.

- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
  - V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
  - VI. The Applicants shall provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 prior to Grading Permit issuance, which will be reviewed and inspected by the City's third party landscape professional.
  - VII. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
  - VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
  - IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
  - X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- B. Fire Department Conditions:
- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20

feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.

- II. GRADE: The gradient for a fire apparatus access roadway shall not exceed 20.0%. Grades exceeding 15.0% (incline or decline) shall not be permitted without mitigation. Minimal mitigation shall be a surface of Portland cement concrete, with a deep broom finish perpendicular to the entire direction of travel. Additional mitigation measures may be required where deemed appropriate. The angle of departure and angle of approach of a fire access roadway shall not exceed seven degrees (12 percent).
- III. GATES: All gates or other structures or devices, which could obstruct fire access roadways or otherwise hinder emergency operations, are prohibited unless they meet standards approved by the Fire Department. An approved emergency key-operated switch and/or an approved emergency traffic control-activating strobe light sensor shall be installed per Solana Beach Fire Department standards.
- IV. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- V. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- VI. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire

Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.

- VII. CLASS “A” ROOF: All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department.
- VIII. SOLAR PHOTOVOLTAIC INSTALLATIONS (Solar Panels): Solar Photovoltaic systems shall be installed per the California Fire Code and Solana Beach Fire Department requirements.

C. Engineering Department Conditions:

- I. The Applicants are required to provide the following improvements to the satisfaction of the City Engineer prior to the occupancy of the proposed project:

Frontage Improvements:

- a. Construction of a 9” X 9” X 12” low profile mountable concrete curb along North Cedros Avenue with transitions to the existing improvements on both sides.
  - b. Construction of Approximately 10 feet wide Stabilized, Compacted Decomposed Granite graded at 2% towards the curb for walking and parking purposes.
  - c. Construction of concrete walkway.
  - d. Construction of concrete spillways.
  - e. Construction of San Diego Regional Standard Drawings (SDRSD) driveway approach.
  - f. Construction of the proposed water lateral.
- II. The Applicants are required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the above improvements being done in the public Right-Of-Way.
  - III. The Applicants shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit/Final Inspection of the Building Permit. Please provide a scaled drawing that clearly shows the “encroachments” in the right-of-way. The latest Title Report of the property is also required. The EMRA shall be recorded against this property for all improvements in the Public Right-Of-Way including but not limited to:



- a. Concrete spillways
  - b. Concrete steps
  - c. Stabilized, Compacted Decomposed Granite graded at 2 percent
  - d. 9" X 9" X 12" low profile mountable concrete curb
- IV. A 3-foot width of property frontage along North Cedros Avenue shall be dedicated to the City of Solana Beach as Public Right-Of-Way. The Applicants shall provide the Plat and Legal Description prepared by a Registered Civil Engineer. The document shall be recorded with the County of San Diego prior to Final Inspection of the Building Permit.
- V. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- VI. Construction fencing shall be located on the subject property unless the Applicants have obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- VII. The Applicants shall obtain a Grading Permit in accordance with Chapter 15.40 of the Solana Beach Municipal Code. Conditions prior to the issuance of a grading permit shall include, but not be limited to, the following:
- a. The Applicants shall obtain a grading plan prepared by a Registered Civil Engineer and approved by the City Engineer. On-site grading design and construction shall be in accordance with Chapter 15.40 of the Solana Beach Municipal Code.
  - b. The Applicants shall obtain a Soils Report prepared by a Registered Soils Engineer and approved by the City Engineer. All necessary measures shall be taken and implemented to assure slope stability, erosion control and soil integrity. The grading plan shall incorporate all recommendations contained in the soils report.
  - c. The Applicants shall provide a Drainage Report prepared by a Registered Civil Engineer. This report shall address the design for detention basin and corresponding outflow system to ensure the rate of runoff for the proposed development is at or below that of pre-existing condition. All recommendations of this report shall be incorporated into the Preliminary Grading Plan. A detention basin easement(s) shall be recorded for maintenance of the detention basins by the property owner(s) in perpetuity, prior to Final Inspection of the Building Permit.

- d. The Applicants shall show all retaining walls and drainage structures. Retaining walls shown on the grading plan shall conform to the San Diego Regional Standards or be designed by a licensed civil engineer. Engineering calculations for all designed walls with a surcharge and nonstandard walls shall be submitted at grading plan check. Retaining walls may not exceed the allowable height within the property line setback as determined by the City of Solana Beach Municipal Code. Contact the Community Development department for further information.
- e. The Applicants are responsible to protect the adjacent properties during construction. If any grading, construction activity, access or potential construction-related impacts are anticipated beyond the property lines, as determined by the City Engineer, the Applicants shall obtain a letter of permission from the adjoining property owners. All required letters of permission shall be submitted to the City Engineer prior to the issuance of the grading permit.
- f. The Applicants shall pay a grading plan check fee in accordance with the current Engineering Fee Schedule at initial grading plan submittal. Inspection fees shall be paid prior to issuance of the grading permit.
- g. The Applicants shall obtain and submit grading security in a form prescribed by the City Engineer.
- h. The Applicants shall obtain haul permit for import / export of soil. The Applicants shall transport all excavated material to a legal disposal site.
- i. The Applicants shall submit certification from the Engineer of Record and the Soils Engineer that all public or private drainage facilities and finished grades are functioning and are installed in accordance with the approved plans. This shall be accomplished by the Engineer of Record incorporating as-built conditions on the Mylar grading plans and obtaining signatures of the Engineer of Record and the Soils Engineer certifying the as-built conditions.
- j. An Erosion Prevention and Sediment Control Plan shall be prepared by the Applicants. Best management practices shall be developed and implemented to manage storm water and non-storm water discharges from the site at all times during excavation and grading activities. Erosion prevention shall be emphasized as the most important measure for keeping sediment on site during excavation and grading activities. Sediment controls shall be used

as a supplement to erosion prevention for keeping sediment on site.

- k. The Applicants shall show all proposed on-site private drainage facilities intended to discharge water run-off. Elements of this design shall include a hydrologic and hydraulic analysis verifying the adequacy of the facilities and identify any easements or structures required to properly convey the drainage. The construction of drainage structures shall comply with the standards set forth by the San Diego Regional Standard Drawings.
- l. Post Construction Best Management Practices meeting City and RWQCB Order No. R9-2013-001 requirements shall be implemented in the drainage design.
- m. Prior to obtaining a building permit, submit a building pad certification statement from a soils engineer and an engineer or land surveyor licensed in Land Surveying per SBMC 15.40.230E.
- n. No increased cross lot drainage shall be allowed.
- o. The Applicants shall prepare a City of Solana Beach Storm Water Checklist for Determination of Project Category to address potential water quality impacts to ensure that pollutants and runoff from this development are reduced to the maximum extent practicable.

#### I. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

#### II. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

#### III. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages,

judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

**PASSED AND ADOPTED** at a regular meeting of the City Council of the City of Solana Beach, California, held on the 27<sup>th</sup> day of January, 2021, by the following vote:

AYES: Councilmembers –

NOES: Councilmembers –

ABSENT: Councilmembers –

ABSTAIN: Councilmembers –

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LESA HEEBNER, MAYOR

APPROVED AS TO FORM:

ATTEST:

---

JOHANNA N. CANLAS, City Attorney

---

ANGELA IVEY, City Clerk







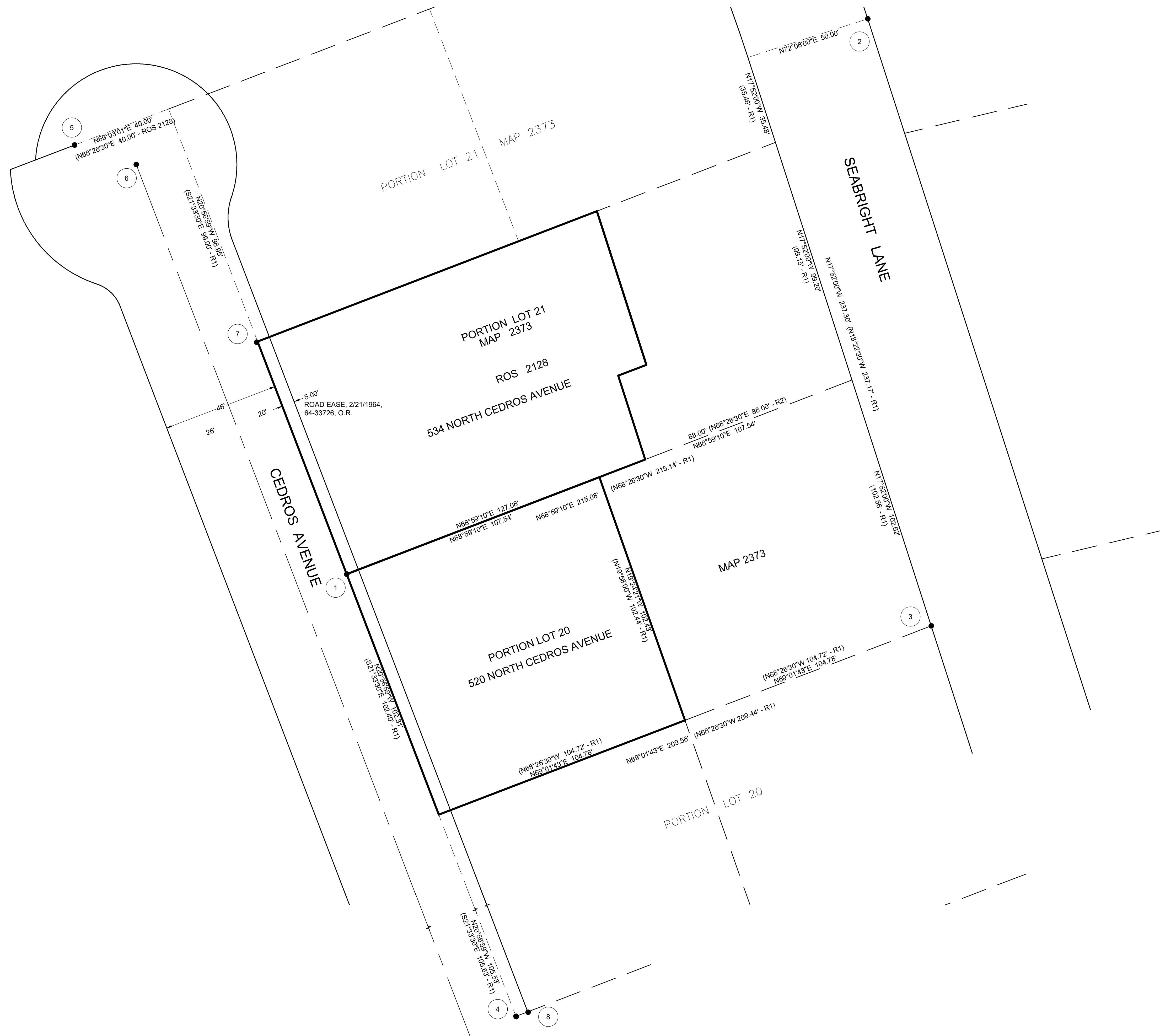








# TOPOGRAPHIC SURVEY MAP -- 520 NORTH CEDROS



**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON (DATE).

**PRELIMINARY**  
 GARY D. MELLOM, PLS 8537

11/2/2018  
 DATE



**SHEET INDEX**

SHEET 1 OF 2 - PROCEDURE OF SURVEY  
 SHEET 2 OF 2 - TOPOGRAPHIC SURVEY/EASEMENTS OF RECORD

**PROJECT INFORMATION**

CLIENT: JOHN MURPHY  
 ADDRESS: 520 NORTH CEDROS AVE. SOLANA BEACH, CA., 92075  
 APN: 263-062-23

**ABBREVIATED LEGAL DESCRIPTION**

A PORTION OF LOT 20 OF SEABRIGHT ACRES, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2373, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 10, 1946.

MORE FULLY DESCRIBED IN GRANT DEED RECORDED AUGUST 16, 2018 AS DOCUMENT NO. 2018-0338193, O.R.

**REFERENCES**

R1 -- INDICATES RECORD DATA PER RECORD OF SURVEY 2128

**FOUND MONUMENTS**

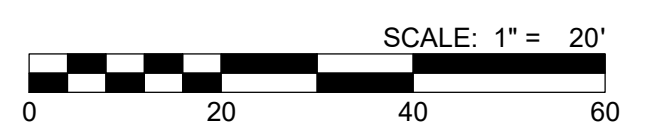
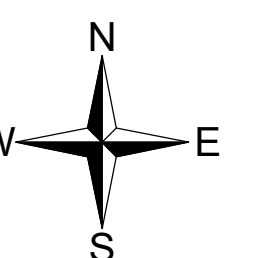
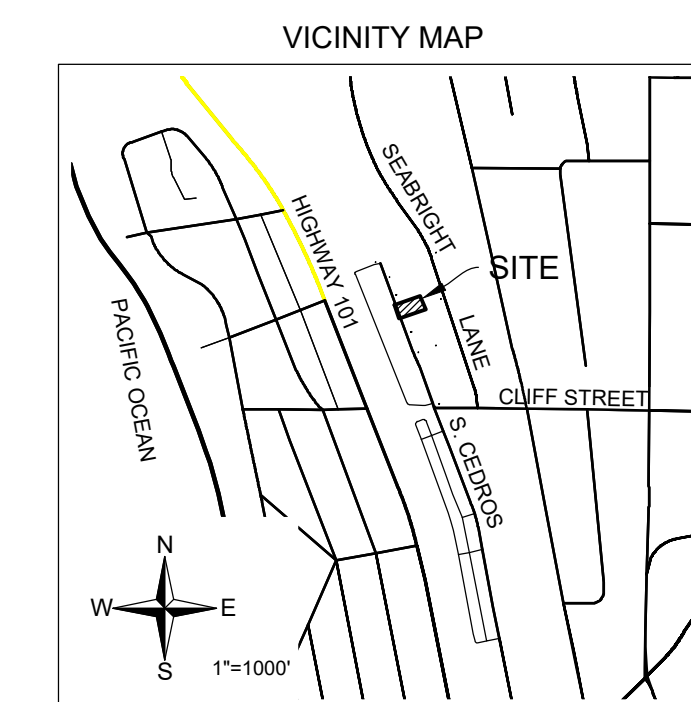
- ① FD. 1" IRON PIPE & DISC "LS 4847 JAEGER" PER MAP 2373, SEE ROS 19583
- ② FD. 1.5" IRON PIPE & CONCRETE CORE PER ROS 20844, ACCEPTED PER MAP 2373
- ③ FD. 3/4" IRON PIPE & CONCRETE CORE, N.R., ACCEPTED, SEE ROS 2128
- ④ FD. 3/4" IRON PIPE & DISC "LS 1162", N.R., ACCEPTED
- ⑤ FD 2"IP "LS 5335" PER MAP 14727
- ⑥ FD M-10 MON "LS 5335" PER MAP 14727
- ⑦ FD 3/4"IP, OPEN, RUSTED, DISTURBED BY LANDSCAPE ACTIVITY, NOT USED, (S58°30'W 0.47' FROM CORNER)
- ⑧ FD 1/2" REBAR, N.R., NOT USED

**SURVEY NOTES**

1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. BASIS OF BEARING FOR THIS SURVEY IS THE CCS 83, ZONE 6, EPOCH 1991.35, GRID BEARING BETWEEN STATION "SOLB-1" AND "SOLB-2", (BOTH HAVING A CALIFORNIA COORDINATE VALUE OF FIRST ORDER OR BETTER), AS SAID STATION ARE PUBLISHED IN THE CITY OF SOLANA BEACH GEODETIC CONTROL NETWORK SURVEY, ROS 18971, I.E. N 57°17'53" E.
3. THE PROJECT BENCHMARK IS THE CITY OF SOLANA BEACH SURVEY CONTROL STATION 2001 NAMED "SOLB-1", 2.5" BRASS DISC PER ROS 18971, ELEV: 71.45, NAVD 88 DATUM.
4. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
5. NO TITLE COMMITMENT PROVIDED AT TIME OF SURVEY. EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.

**LEGEND**

- FOUND MONUMENT AS INDICATED
- ( ) RECORD BOUNDARY DATA AS INDICATED
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- - - ADJOINING PROPERTY LINE
- - - TIE LINE / REFERENCE LINE
- - - EASEMENT LINE



**PASCO LARET SUITER**  
 & ASSOCIATES  
 PH. 858.259.8212 | PLSAENGINEERING.COM



# TOPOGRAPHIC SURVEY MAP -- 520 NORTH CEDROS



- LEGEND**
- x — x — FENCE
  - ▬ WALL
  - ▬ BUILDING OUTLINE
  - ▬ BUILDING OVERHANG
  - ▬ INDEX CONTOUR LINE
  - ▬ INTERMEDIATE CONTOUR LINE
  - ×60.4 SPOT ELEVATION
  - ▬ CONCRETE
  - ▬ ASPHALT
  - W METER - WATER
  - E METER - ELECTRIC
  - G METER - GAS
  - U UTILITY BOX
  - FH FIRE HYDRANT
  - VALVE - WATER
  - VALVE - IRRIGATION
  - ⊕ CLEANOUT
  - ⊕ MH - SANITARY
  - ⊕ MH - DRAINAGE
  - ⊕ DRAIN INLET
  - ⊕ MAILBOX
  - ⊕ TREE - DECIDUOUS
  - ⊕ TREE - PALM
  - ⊕ TREE - CONIFEROUS
  - ~ VEGETATION
  - FF FINISH FLOOR
  - RF ROOF

SCALE: 1" = 10'

**PASCO LARET SUITER**  
& ASSOCIATES  
PH. 858.259.8212 | PLSAENGINEERING.COM

**GENERAL NOTES**

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREIN FOR PUBLIC ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIALS SHALL BE LEGALLY OBTAINED.
- A SEPARATE PERMIT FROM THE CITY ENGINEER WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
- ALL SLOPES OVER THREE (3) FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:  
UNDERGROUND S.A. (800)-227-2600
- THE SOILS REPORTS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOLANA BEACH PRIOR TO ISSUANCE OF A GRADING PERMIT.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE CITY ENGINEER'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIAL'S APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m. EACH DAY, MONDAY THROUGH FRIDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR HOLIDAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL FACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE, AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS: CUT 2:1 FILL 2:1 XXXXX  
CUT: XXX CY FILL: XXX CY EXPORT: XXX CY  
(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR OFFSITE IMPORT OR EXPORT AREAS.)  
\*\* THE QUANTITIES ESTIMATED ABOVE ARE FOR PERMIT PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION BIDS. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
- SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL GRADING SHOWN ON THIS PLAN SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. SHOULD IT BE ANTICIPATED THAT A PORTION OF THIS PROJECT BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF SOLANA BEACH 858.720.2470 24 HOURS BEFORE GRADING OPERATIONS BEGIN.
- FINISHED GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1, OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES GRADED BETWEEN OCTOBER 1 AND APRIL 1, PRIOR TO ANY PLANTING, ALL LANDSCAPING SHALL BE APPROVED BY THE PLANNING DEPARTMENT AT THE DEVELOPMENT REVIEW STAGE, OR BY SEPARATE LANDSCAPE PLAN.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL 72 HOURS PRIOR TO THE BEGINNING OF WORK.
- UPON FINAL COMPLETION OF THE WORK UNDER THE GRADING PERMIT, BUT PRIOR TO FINAL GRADING APPROVAL AND/OR FINAL RELEASE OF SECURITY, AN AS-GRADED CERTIFICATE SHALL BE PROVIDED STATING THE GRADING UNDER PERMIT NO. SBGR-216 HAS BEEN PERFORMED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS SHOWN ON THE ATTACHED AS-GRADED PLAN. THIS STATEMENT SHALL BE FOLLOWED BY THE DATE AND SIGNATURE OF THE CIVIL ENGINEER WHO CERTIFIES SUCH A GRADING OPERATION.
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.

**EROSION CONTROL NOTES**

- STORM WATER AND NON-STORM WATER DISCHARGE CONTROL: BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER AND NON-STORM WATER DISCHARGES FROM THE SITE AT ALL TIMES DURING EXCAVATION AND GRADING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL: EROSION PREVENTION SHALL BE EMPHASIZED AS THE MOST IMPORTANT MEASURE FOR KEEPING SEDIMENT ON SITE DURING EXCAVATION AND GRADING ACTIVITIES. SEDIMENT CONTROLS SHALL BE USED AS A SUPPLEMENT TO EROSION PREVENTION FOR KEEPING SEDIMENT ON SITE.
- EROSION CONTROL ON SLOPES SHALL BE MITIGATED BY INSTALLING LANDSCAPING AS PER APPROVED LANDSCAPE PLANS AS REQUIRED BY THE DEVELOPMENT REVIEW CONDITIONS, OR BY TEMPORARY EROSION CONTROL CONFORMING TO THE FOLLOWING:  
NON-IRRIGATED HYDROSEED MIX WITH A FIBER MATRIX APPLIED AT 4,000 LB/ACRE.  
SEED SPECIES: ATRIPLEX GLAUCA, PLANTAGE INSULARIS, ENCELIS FARINOSA, LOTUS SCOPARIUS, EXCHSCHOLTZIA CALIF.  
LBS/ACRE: 20, 50, 8, 6, 7, 91  
% PURITY/ACRE: 70% PLUS, SCARIFIED 50% PLUS
- THE TOPS OF ALL SLOPES TALLER THAN 5' SHALL BE DIKED OR TRENCHED TO PREVENT WATER FLOWING OVER CRESTS OF SLOPES.
- CATCH BASINS, DESILTING BASINS, AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- SAND BAG CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER APPROVED BMP'S SHALL BE PLACED IN UNPAVED AREAS WITH GRADIENTS IN EXCESS OF 2%, AS WELL AS AT OR NEAR EVERY POINT WHERE CONCENTRATED FLOW LEAVE THE SITE.
- SAND BAGS SHALL BE PLACED ON THE UPSTREAM SIDE OF ALL DRAINAGE INLETS TO MINIMIZE SILT BUILDUP IN THE INLETS AND PIPES.
- THE CONTRACTOR SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE OFFICE OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL SWEEP ROADWAYS AND ENTRANCES TO AND FROM THE SITE ON A REGULAR BASIS TO KEEP THEM FREE OF SOIL ACCUMULATION AND AT ALL OTHER TIMES DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL WATER SITE ON A CONTINUOUS BASIS TO MINIMIZE AIR BORNE DUST CREATED FROM GRADING AND HAULING OPERATIONS OR EXCESSIVE WIND CONDITIONS, AND AT ALL TIMES DIRECTED BY THE CITY ENGINEER.
- IN THE EVENT SILT DOES ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM, REMOVAL OF THE SILT FROM THE SYSTEM WILL BE DONE AT THE DEVELOPER'S EXPENSE.

# PRELIMINARY GRADING PLAN

## 520 NORTH CEDROS

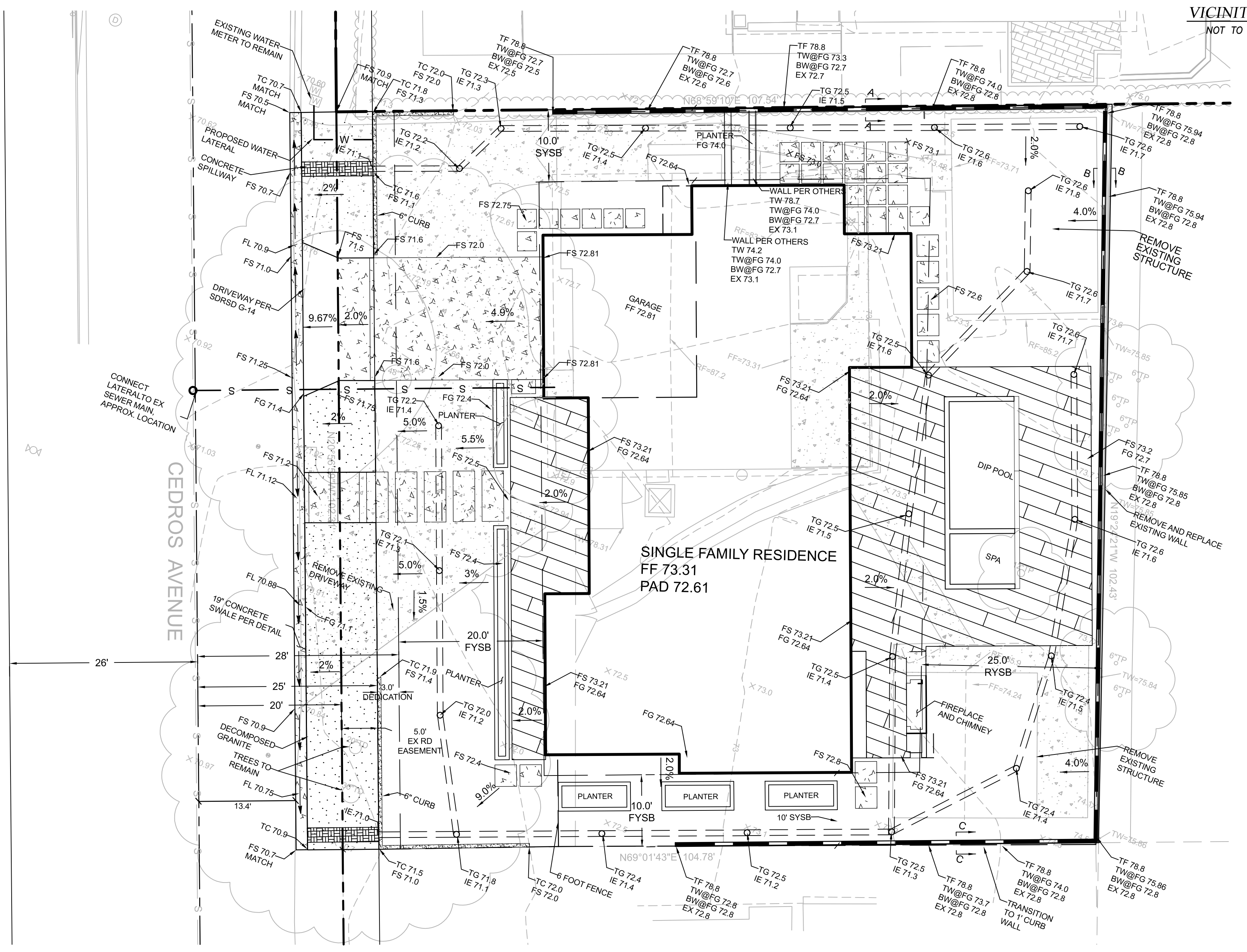
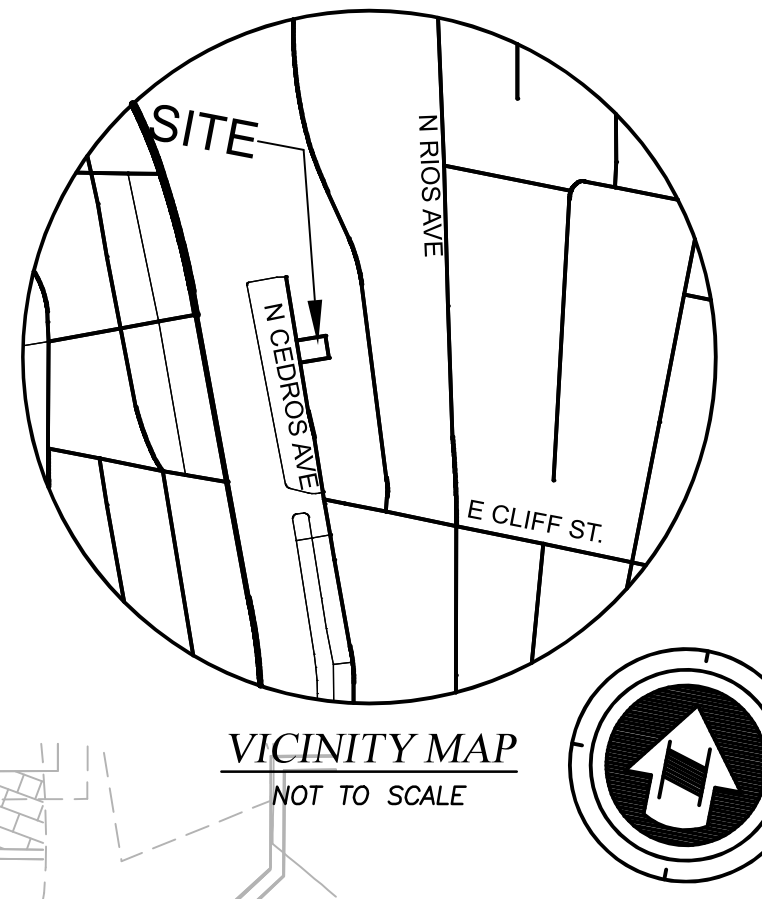
**EARTHWORK QUANTITIES :**

CUT: 180 CY  
FILL: 10 CY  
EXPORT: 170 CY

**IMPERVIOUS AREAS**

EXISTING PEROVIOUS AREA: 5,980 SF  
EXISTING IMPEROVIOUS AREA: 4,885 SF  
PROPOSED PEROVIOUS AREA: 6,981 SF  
PROPOSED IMPEROVIOUS: 3,884 SF  
DECREASE IN IMPEROVIOUS AREA: 1,001 SF

\* EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND REPRESENT COMPACTED (IN PLACE) VOLUMES ONLY. THESE VALUES ARE CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO OBSERVED SHRINKAGE AND/OR SWELL FACTORS.



**LEGAL DESCRIPTION**

A PORTION OF LOT 20 OF SEABRIGHT ACRES, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2737, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, DECEMBER 10, 1946.

A.P.N.: 263-062-23  
SITE ADDRESS: 520 NORTH CEDROS AVE, SOLANA BEACH, CA 92075  
OWNER/PERMITTEE: JOHN AND KEIDI MURPHY, 534 NORTH CEDROS AVE, SOLANA BEACH, CA 92075

**TOPOGRAPHIC SURVEY :**

PASCO LARET SUITER & ASSOCIATES (858)-259-8212

**WORK TO BE DONE**

- THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE LATEST EDITIONS OF:
- STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE REGIONAL SUPPLEMENTAL AMENDMENTS.
  - CALIFORNIA DEPARTMENT OF TRANSPORTATION "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES"
  - STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

**STANDARD DRAWINGS**

- SAN DIEGO REGIONAL STANDARD DRAWINGS
- STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS

**LEGEND**

ITEM DESCRIPTION	SYMBOL
PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
PROPOSED SETBACKS	---
PROPOSED CONTOUR LINE	---
EXISTING CONTOUR LINE	---

**OWNER'S CERTIFICATE**

I, JOHN MURPHY, AS OWNER/DEVELOPER OF THE PROPERTY DESCRIBED HEREIN ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION WITH MY FULL CONSENT. I FULLY UNDERSTAND AND ACCEPT THE TERMS AND CONDITIONS CONTAINED HEREIN AND AS ATTACHED BY REFERENCE ON THIS GRADING PLAN.

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS. IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE CITY ENGINEER DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

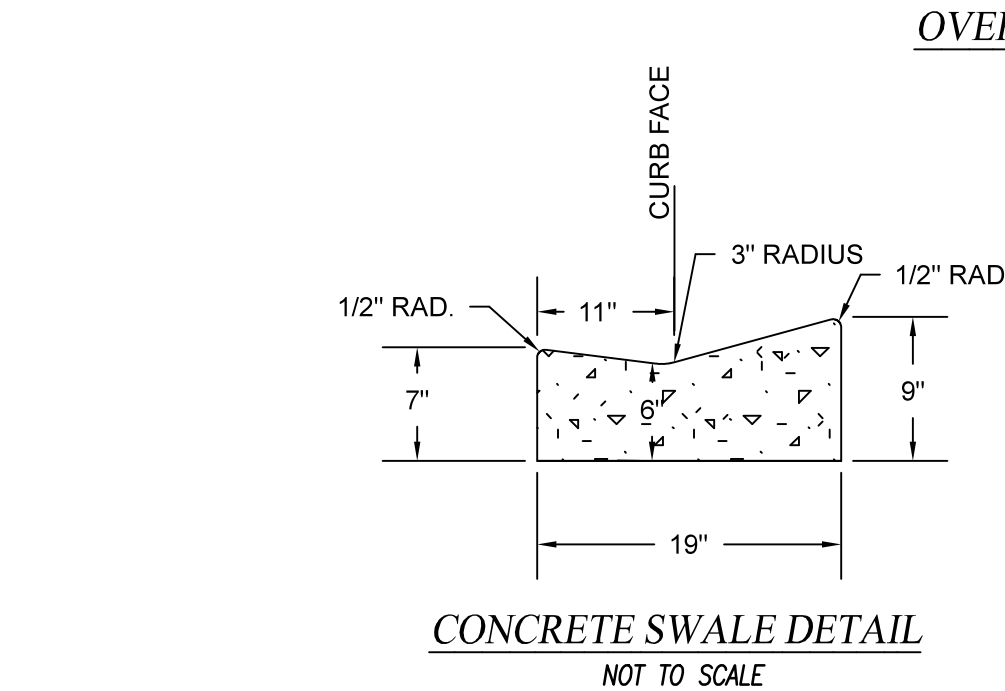
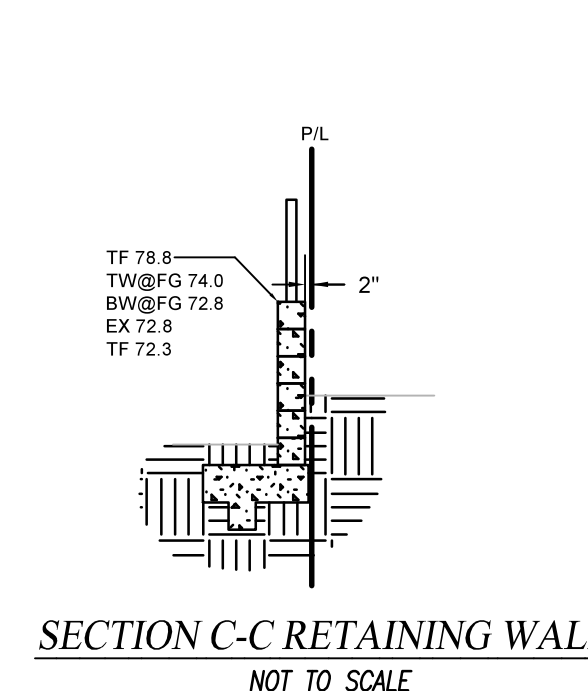
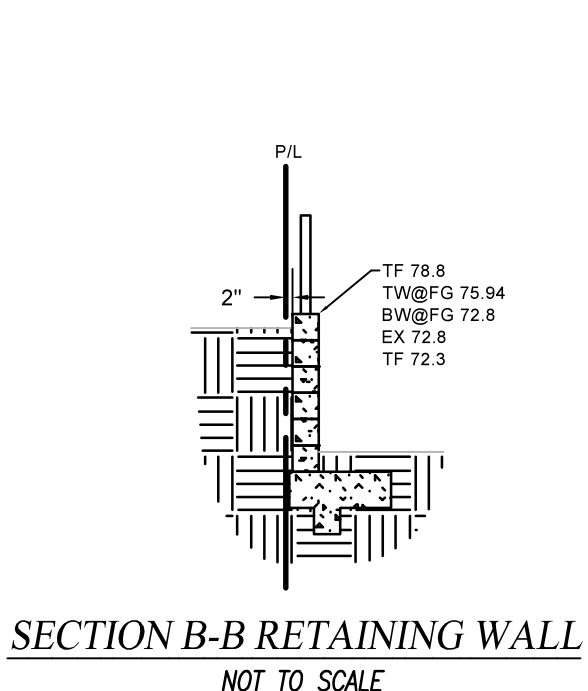
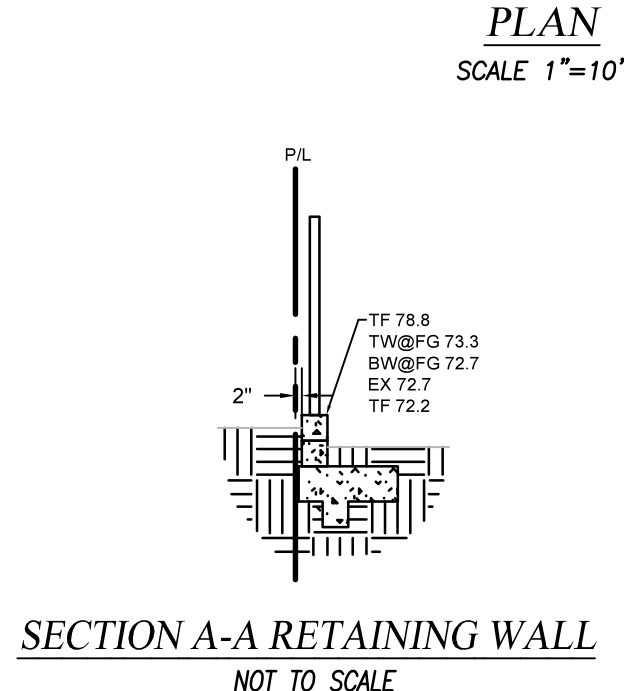
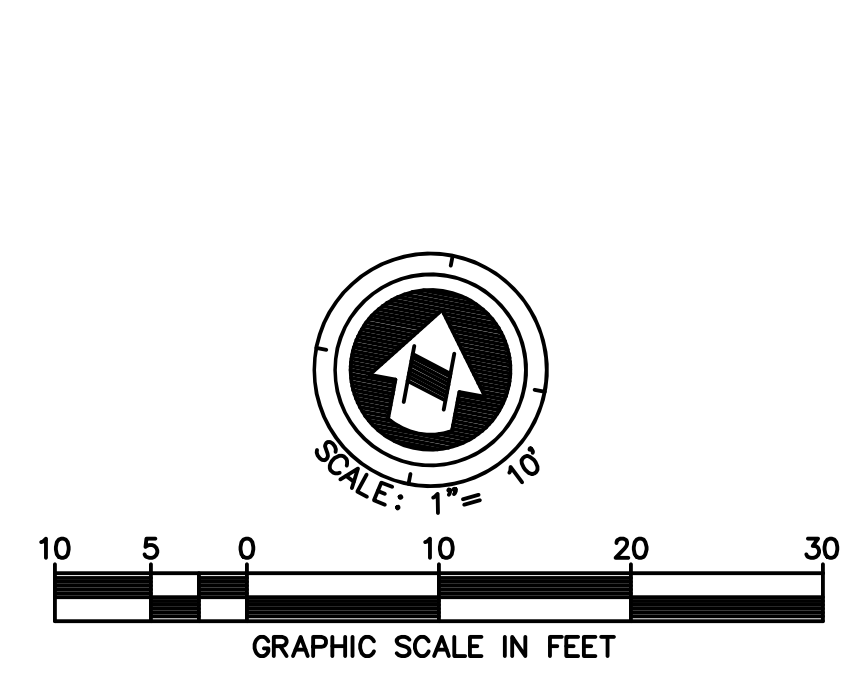
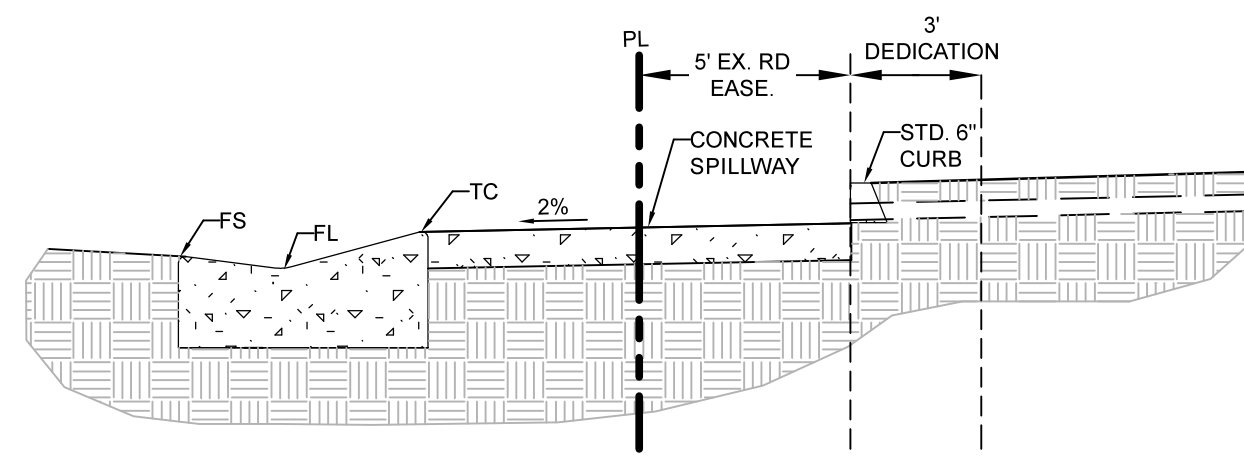
JOHN MURPHY  
520 NORTH CEDROS AVE.  
SOLANA BEACH, CA 92075  
DATE: \_\_\_\_\_

**DECLARATION OF RESPONSIBLE CHARGE**

I, BRIAN M. ARDOLINO, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS AND THE CITY OF SOLANA BEACH RESOLUTION NO. 2007-170.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SOLANA BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF RESPONSIBILITIES FOR PROJECT DESIGN.

By: *Brian Ardolino* 11-1-19  
BRIAN ARDOLINO  
RCE No. 71651 EXP 12/31/2021  
PASCO LARET SUITER & ASSOCIATES



**PASCO LARET SUITER & ASSOCIATES**  
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING  
399 North Highway 101, Ste A, Solana Beach, CA 92075  
ph 858.259.8212 | fx 858.259.4812 | plsengineering.com

SANTA FE IRRIGATION DISTRICT	ENGINEER OF WORK	CITY APPROVED CHANGES	APPD	DATE	RECOMMENDED FOR APPROVAL	APPROVED FOR CONSTRUCTION	BENCH MARK	CITY OF SOLANA BEACH	DRAWING NO.
Drawn By: JTB	By: Brian Ardolino Date: 11/4/19				By: Review Engineer	By: City Engineer R.C.E.	SURVEY CONTROL STATION 2001 "SOLB-1", 2.5" BRASS DISC PER ROS 18971	PRELIMINARY GRADING PLAN FOR: <b>520 NORTH CEDROS AVE</b>	
District Representative Date:	Name: BRIAN ARDOLINO R.C.E. 71651 Exp: 12/31/21				Date:	Date: Exp:	ELEV: 71.45'	COASTAL COMMISSION PERMIT NO. _____	SHEET 1 OF 1



PLUMBING NOTES

TABLE 4.303.2 FIXTURE FLOW RATES
FIXTURE TYPE MAXIMUM FLOW RATE AT ≥ 20 % REDUCTION
SHOWERHEADS 1.8 gpm @ 80 psi
LAVATORY FAUCETS, RESIDENTIAL 1.2 gpm @ 60 psi (2)
KITCHEN FAUCETS 1.8 gpm @ 60 psi
GRAVITY TANK WATER CLOSETS 1.28 gallons/flush (1)
FLUSHOMETER TANK WATER CLOSETS 1.28 gallons/flush (1)
FLUSHOMETER VALVE WATER CLOSETS 1.28 gallons/flush (1)
ELECTROMECHANICAL HYDRAULIC WATER CLOSETS 1.28 gallons/flush (1)

FIRE NOTES

- 1. ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE SHOWN ON REFLECTED CEILING PLANS
2. SMOKE DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACK-UP. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.
3. SMOKE DETECTORS SHALL BE INSTALLED IN ALL ROOMS USED FOR SLEEPING PURPOSES, ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH STORY WITHIN A DWELLING UNIT.
4. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED SPRINKLER PLANS. A MINIMUM 1" WATER METER SHALL BE INSTALLED UNLESS DEEMED UNNECESSARY BASED ON DEMAND AND AVAILABLE WATER PRESSURE.
5. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.
6. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY NEW PIPING SHALL BE TESTED.
7. WHEN ONE OR MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.
8. APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC RIGHT OF WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SECTION 505.1 AMENDMENT.

GREEN BUILDING CODE REQUIREMENTS

- 1. NOTES ON THE SITE PLAN THAT THE SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPARTMENT. CGC 4.106.3.
2. A MIN. OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1.
3. RECYCLING. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2
4. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.1.
5. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. PER CGC 4.504.1.
6. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2.
7. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. PER CGC 4.506.1.
8. IF PROVIDED, WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED COVERS OR LOUVERS WHICH CLOSE WHEN THE FAN IS OFF. THE COVERS OR LOUVERS SHALL HAVE MINIMUM R4.2 INSULATION. CGC 5.507.1.
9. HEATING AND AC SHALL BE SIZED AND SELECTED BY ACCA MANUAL J OR ASHRAE HANDBOOK OR EQUIVALENT. THE DUCT SIZING SHALL BE SIZED IN ACCORDANCE WITH ONE OF THE ACCA METHODS LISTED IN CGC SECTION 4.507.2.
10. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL TO BE FILED WITH THE APPROVED PLANS. CGC 102.3.
11. PROVIDE CALCULATIONS PREPARED BY A LICENSED ENGINEER THAT WILL SHOW WATER CONSUMPTION REDUCTION OF 20% BELOW THE BASELINE WATER CONSUMPTION LISTED IN TABLE 4.303.1. IN LIEU OF PROVIDING THE CALCULATIONS, IMPRINT ON THE PLANS THE ATTACHED TABLE 4.303.2 LISTING FIXTURES THAT MEET THE 20% REDUCTION. CGC 4.303.1.
12. WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL THE HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME, PER CGC 4.303.2.
13. LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 4.304.1.
14. INTERIOR MOISTURE CONTROL. NOTE ON THE PLANS THAT THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3
15. STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION. NOTE ON THE PLANS: PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2.
16. GRADING AND PAVING. NOTE ON THE PLANS THAT SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). CGC 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.
17. ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) IS REQUIRED IN NEW ONE AND TWO FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. A MINIMUM SIZE 1" CONDUIT ORIGINATING FROM A PANEL OR SERVICE HAVING A SPARE 40 AMPERE 240 VOLT CAPACTY TERMINATING IN A BOX LOCATED IN CLOSE PROXIMITY TO THE LOCATION OF THE FUTURE EV CHARGER. CGC 4.106.4.
18. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE, OR OTHER APPROVED METHOD. CGC SECTION 4.106.2
19. LANDSCAPE IRRIGATION WATER SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. CGC SECTION 4.304.1
20. THE GAS FIREPLACE(S) SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. WOODSTOVE OR PELLET STOVES MUST BE US EPA PHASE II APPLIANCES. CGC SECTION 4.503.1
21. INTERIOR MOISTURE CONTROL: CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. CGC SECTION 4.505.1.
22. INDOOR AIR QUALITY: BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CGC 4.506.1
23. GRADING AND PAVING. SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.) CGC SECTION 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.

MECHANICAL NOTES

- 1. BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM) TO BE DUCTED TO THE EXTERIOR.
2. RESIDENTIAL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR RATED AND SHALL BE CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50 AND 80% HUMIDITY. CALGREEN 4.506.1. EXCEPTION: CONTROL BY A HUMIDISTAT IS NOT REQUIRED IF THE BATHROOM EXHAUST FAN IS ALSO THE DWELLING WHOLE HOUSE VENTILATION. REFER TO REFLECTED CEILING PLAN. KITCHENS REQUIRE EXHAUST FANS WITH A MINIMUM 100 CFM DUCTED TO THE EXTERIOR. DETAIL COMPLIANCE BY INCLUDING A COMPLYING EXHAUST FAN OR A DUCTED RANGE HOOD TO THE EXTERIOR.
3. MECHANICAL WHOLE HOUSE VENTILATION MUST BE PROVIDED. IDENTIFY THE FAN PROVIDING THE WHOLE HOUSE VENTILATION (COMPLETE WITH CFM AND SONE RATING) ON THE FLOOR PLANS. FOR ADDITIONS 1,000 SQUARE FEET OR LESS, WHOLE HOUSE VENTILATION IS NOT REQUIRED. FOR ADDITIONS OVER 1,000 SQUARE FEET, THE WHOLE HOUSE VENTILATION CFM SHALL BE BASED UPON THE ENTIRE (EXISTING AND ADDITION) SQUARE FOOTAGE, NOT JUST THE ADDITION.
A) ALL FANS INSTALLED TO MEET ALL OF THE PRECEDING VENTILATION REQUIREMENTS MUST BE SPECIFIED AT A NOISE RATING OF A MAXIMUM 1 'SONE (CONTINUOUS USE) OR 3 'SONE' (INTERMITTENT)
4. MECHANICAL SYSTEM SIZING FROM ASHRAE, SMACNA, OR ACCA. SEE ES 150.0(H) 1 FOR INFORMATION.
5. INSTALLED AIR CONDITIONER AND HEAT PUMP OUTDOOR CONDENSING UNITS SHALL HAVE A CLEARANCE OF AT LEAST (5) FEET FROM THE OUTLET OF ANY DRYER EXHAUST DUCT TERMINATION.
6. INSTALLED AIR CONDITIONER AND HEAT PUMP OUTDOOR CONDENSING UNITS SHALL HAVE A CLEARANCE OF AT LEAST (5) FEET FROM THE OUTLET OF ANY DRYER EXHAUST DUCT TERMINATION.
7. "SOLAR READY" ENERGY CODE MANDATORY REQUIREMENTS ARE NECESSARY FOR THE FOLLOWING BUILDING TYPES: SFR SUBDIVISION OF TEN OR MORE, ALL MULTIFAMILY BUILDINGS, HOTEL/MOTELS, AND NON-RESIDENTIAL OCCUPANCIES OF THREE OR LESS STORIES. NOTE: SPECIFIC REQUIREMENTS AND EXCEPTIONS ARE DETAILED IN ES 110.10.
8. INCLUDE THE FOLLOWING "SOLAR READY" REQUIREMENTS ON THE PLANS: SOLAR ZONE (AREA AND LOCATION/ADDITIONALLY, SEE CRC R331 OR CBC 3111) AND THE POTENTIAL INVERTER AND METERING EQUIPMENT LOCATIONS, THE FUTURE PATHWAYS AVAILABLE BETWEEN THE SOLAR ZONE AND EQUIPMENT AND A MINIMUM 200 AMPERE ELECTRICAL SERVICE SIZE. ES 10.10.
ADDITIONS (MANDATORY)
10. ADDITIONS MUST COMPLY WITH THE MANDATORY REQUIREMENTS OF ES 110.0 - 110.9 AND THE RESIDENTIAL REQUIREMENTS OF 150.0(A)-150.0(G). EXCEPTIONS: ADDITIONS 1,000 SQ. /FT OR LESS DO NOT HAVE TO COMPLY WITH THE WHOLE HOUSE VENTILATION OR THE WHOLE HOUSE FAN. ADDITIONS 300 SQ/FT OR LESS DO NOT NEED TO COMPLY WITH THE ROOF SOLAR REFLECTANCE AND THERMAL EMITTANCE SPECIFICATIONS OF 150.1(C)11
ADDITIONS UNDER 300 SQUARE FEET AND ALTERNATIONS (SUCH AS WATER HEATER OR WINDOW REPLACEMENT) THAT DO NOT REQUIRE HERS REGISTRATION DO NOT REQUIRE ENERGY DOCUMENTATION. ENERGY DESIGN COMPLIANCE IS REQUIRED HOWEVER. ES 10-103(A)1 C
ALTERATIONS
11. FENESTRATION ALTERATIONS MUST MEET ALL REQUIREMENTS OF ES 150.1(C) AND TABLE 150.1-A EXCEPT:
12. 75 SQ. /FT. SQUARE FEET MAY BE ADDED AND NOT BE REQUIRED TO MEET THE TOTAL FENESTRATION OR WEST FACING FENESTRATION MAXIMUM AREAS.
13. REPLACEMENT OF EXISTING FENESTRATION UP TO 75 SQ. /FT. ONLY NEEDS TO MEET THE UFACOR OF .40 AND SHGC OF .35 SPECIFICATIONS, NOT THE TABLE 150.1-A SPECIFICATION VALUES. "REPLACEMENT" WINDOWS ARE WINDOWS REPLACED IN THE SAME WALL WITH THE SAME TOTAL FENESTRATION AREA PER WALL AS THE EXISTING.
14. WHEN REPLACING OR MODIFYING THE MECHANICAL SYSTEM: IF MORE THAN 40' OF NEW DUCTWORK IS INSTALLED IN UNCONDITIONED SPACE, HERS INSPECTION IS REQUIRED FOR BOTH EXISTING AND NEW DUCT SEALING.
REPLACEMENT OF MECHANICAL EQUIPMENT (AIR HANDLER, CONDENSING UNIT OF AN AIR CONDITIONER OR HEAT PUMP, COOLING OR HEATING COIL, OR THE FURNACE HEAT EXCHANGER) REQUIRES HERS INSPECTION.
NOTE: THE CF1R-ALT-HVAC FORM MAY BE SUBMITTED AT THE FINAL INSPECTION, IT IS NOT REQUIRED AT INITIAL PLAN SUBMITTAL.

ENERGY CONSERVATION NOTES

- 1. DESIGN REQUIREMENTS FOR GAS WATER HEATERS INSTALLED TO SERVE INDIVIDUAL DWELLING UNITS: ES 150.0(N)
A. GAS PIPING SIZING BASED UPON A MINIMUM INPUT OF 200,000 BTU/HR.
B. A CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS FOR GRAVITY DRAINAGE.
C. THE "B" VENT INSTALLED IN A STRAIGHT POSITION FROM THE ROOM CONTAINING THE WATER HEATER TO THE ROOF TERMINATION. (FOR FUTURE POSSIBLE SLEEVING FOR HIGH EFFICIENCY HEATER VENTING.)
D. A 120 VOLT RECEPTACLE ACCESSIBLE TO THE HEATER INSTALLED WITHIN 3'.
2. ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION) CPC 609.11 & ES 150.0(J)
A. ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, THE COLD-WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES 150.0(J)
3. INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. ES 110.3
ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, AND THE COLD WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES 150.0(J)
4. FOR RECIRCULATING WATER DISTRIBUTION SYSTEMS SERVING INDIVIDUAL DWELLING UNITS ONLY DEMAND RECIRCULATING SYSTEMS WITH MANUAL CONTROL PUMPS AS SPECIFIED IN THE REFERENCE APPENDIX RA4.4 SHALL BE USED.
5. BELOW GRADE HOT WATER PIPING IS REQUIRED TO BE INSTALLED IN A WATERPROOF AND NONCRUSHABLE SLEEVE OR CASING THAT ALLOWS FOR REPLACEMENT OF BOTH THE PIPING AND INSULATION.

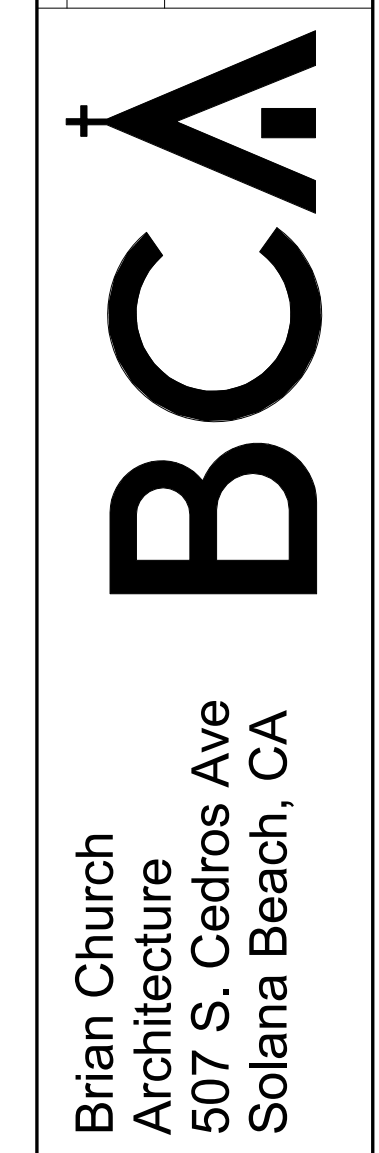
GENERAL NOTES

- 1. OWNER TO OBTAIN PERMIT AT LEAST 48 HOURS PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY. FAILURE TO DO SO WILL RESULT IN A STOP WORK ORDER AND DOUBLE PERMIT FEES. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO KNOW WHERE HIS OR HER PROPERTY LINES ARE LOCATED.
2. ADDRESS NUMBERS SHALL BE PLACED IN A LOCATION THAT WILL ALLOW THEM TO BE CLEARLY VISIBLE FROM THE STREET FRONTING THE STRUCTURE. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL BE NO LESS IN HEIGHT THAN FOUR (4) INCHES FOR ONE AND TWO FAMILY DWELLINGS. WHERE STRUCTURES ARE LOCATED OFF A ROADWAY ON LONG EASEMENTS/DRIVEWAYS, A MONUMENT MARKER SHALL BE PLACED AT THE ENTRANCE WHERE THE EASEMENT/DRIVEWAY INTERSECTS THE MAIN ROADWAY. PERMANENT FIRE DEPARTMENT STANDARDS SHALL BE AFFIXED TO THIS MARKER PER CFC 10301 (A)/ AMENDMENT.
3. CONSTRUCTION EQUIPMENT SHALL ONLY OPERATE ON MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 7:00 AM 6:00 PM AND ON SATURDAYS BETWEEN THE HOURS OF 9:00 AM AND 6:00 PM AND NOT ON HOLIDAYS AS REFERENCED IN THE DEL MAR MUNICIPAL CODE.
4. SURFACE WATER IS TO DRAIN AWAY FROM THE BUILDING. THE GRADE SHALL FALL A MIN. OF 5% WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES). ALL NEW EXTERIOR LIGHTING FIXTURES SHALL BE IN CONFORMANCE WITH THE CITY-WIDE LIGHTING REGULATIONS OF THE ZONING ORDINANCE (SBMC 71.60.060). ALL LIGHT FIXTURES WILL BE SHIELDED SO THAT NO LIGHT OR GLARE IS TRANSMITTED OR REFLECTED IN SUCH CONCENTRATED QUANTITIES OR INTENSITIES AS TO BE DETRIMENTAL TO THE SURROUNDING AREA. SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATION THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. KITCHENS AND BATHROOMS SHALL HAVE FLUORESCENT GENERAL LIGHTING OF A MINIMUM 40 LUMENS PER WATT.
5. FIREPLACES WITH GAS LOG LIGHTERS ARE REQUIRED TO HAVE THE FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION AND FIREPLACES WITH LPG LOG LIGHTERS ARE TO HAVE NO "PIT" OR "SUMP" CONFIGURATIONS". FIRE STOPS SHALL BE INCLUDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL; AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILINGS AND COVE CEILINGS; IN CONCEALED SPACES BETWEEN STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND INLINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED; IN OPENINGS AROUND PIPES, VENTS, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD PASSAGE FOR FIRE AT CEILING AND FLOOR LEVEL, WITH NON-COMBUSTIBLE MATERIALS.
6. GAS VENTS AND NON-COMBUSTIBLE PIPING IN WALLS, PASSING THROUGH THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT-STOPPED AT EACH FLOOR OR CEILING.
7. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING. THE GRADE SHALL FALL A MINIMUM 5% OR 6" WITHIN THE FIRST 10 FEET(2% FOR IMPERVIOUS SURFACES).
8. THE CONTROL VALVES IN BATHTUBS, WHIRLPOOL BATHTUBS, SHOWERS AND TUB-SHOWER COMBINATIONS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
9. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF CHIMNEYS FOR FACTORY-BUILT FIREPLACES, EXCEPT WHERE SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
10. FOR STONE VENEER, 3/8" PLYWOOD USED UNLESS OTHERWISE NOTED.
11. INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. ES 110.3
12. ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION). CPC 609.11 & ES 150.0(J). ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, AND THE COLD WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES 150.0(J)

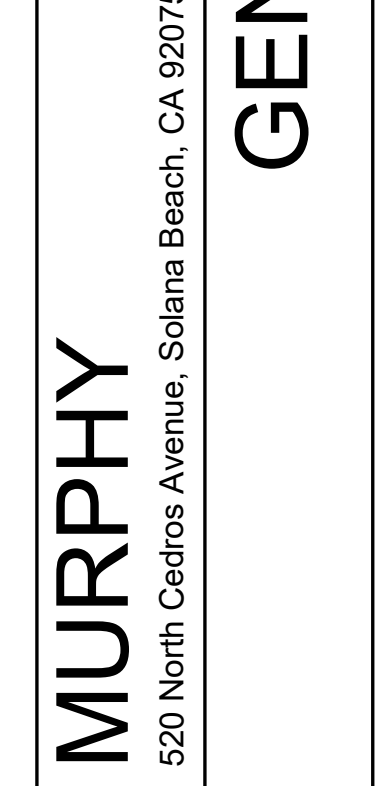
ELECTRICAL NOTES

- RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH CEC ARTICLE 210.52.
1. ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION (GFCI):
A. BATHROOMS
B. LAUNDRY AREAS
C. GARAGES AND OTHER BELOW-GRADE LEVEL STORAGE OR WORK AREAS
D. OUTDOORS
E. CRAWL SPACES, AT OR BELOW-GRADE LEVEL
F. KITCHENS WHERE RECEPTACLES SERVE THE COUNTERTOP SURFACE
G. SINKS WHERE RECEPTACLES ARE LOCATED WITHIN 6 FT OF OUTSIDE EDGE OF SINK
2. PER CEC ARTICLE 210.11(C)3, BATHROOM CIRCUITING SHALL EITHER BE :
A. A 20-AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR
B. AT LEAST ONE 20-AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
3. PER CEC ARTICLE 210 & 406, THE FOLLOWING SPECIFICATIONS APPLY TO ELECTRICAL DEVICES INSTALLED IN RESIDENTIAL DWELLINGS:
A. TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN CEC ARTICLE 210.52
B. WEATHER-RESISTANT TYPE FOR ALL DAMP OR WET LOCATIONS
C. ARC-FAULT PROTECTION FOR ALL OUTLETS LOCATED IN ROOMS DESCRIBED IN NEC 210.8(A) SUCH AS KITCHENS, LAUNDRY AREAS, FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.
D. GFCI-PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC 210.8 SUCH AS ALL LAUNDRY AREAS, ALL KITCHEN OUTLETS, INCLUDING FOR KITCHEN DISHWASHERS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.
4. THE HEIGHT OF ALL RECEPTACLES AT COUNTER, SHELVES, ETC. SHALL BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-IN. ALL OTHER INDICATED OUTLET LOCATIONS TO BE +18" AFF, U.O.N. OR UNLESS THE OUTLET IS LOCATION IS EXISTING TO REMAIN.
5. IF REQUIRED TO MEET CURRENT CODE, THE CONTRACTOR SHALL ADD ADDITIONAL CONVENIENCE OUTLETS SPACED PER CODE TO SUPPLEMENT EXISTING OUTLETS.

SUBMITTALS / REVISIONS
# Date Revision/Submittal



MURPHY
520 North Cedros Avenue, Solana Beach, CA 92075



SCALE: 1/4" = 1'-0"
DATE: 1/4/21
SHEET: A0

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GENERAL NOTES
NOT FOR CONSTRUCTION



SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal

**BCA**

Brian Church  
Architecture  
507 S. Cedros Ave  
Solana Beach, CA

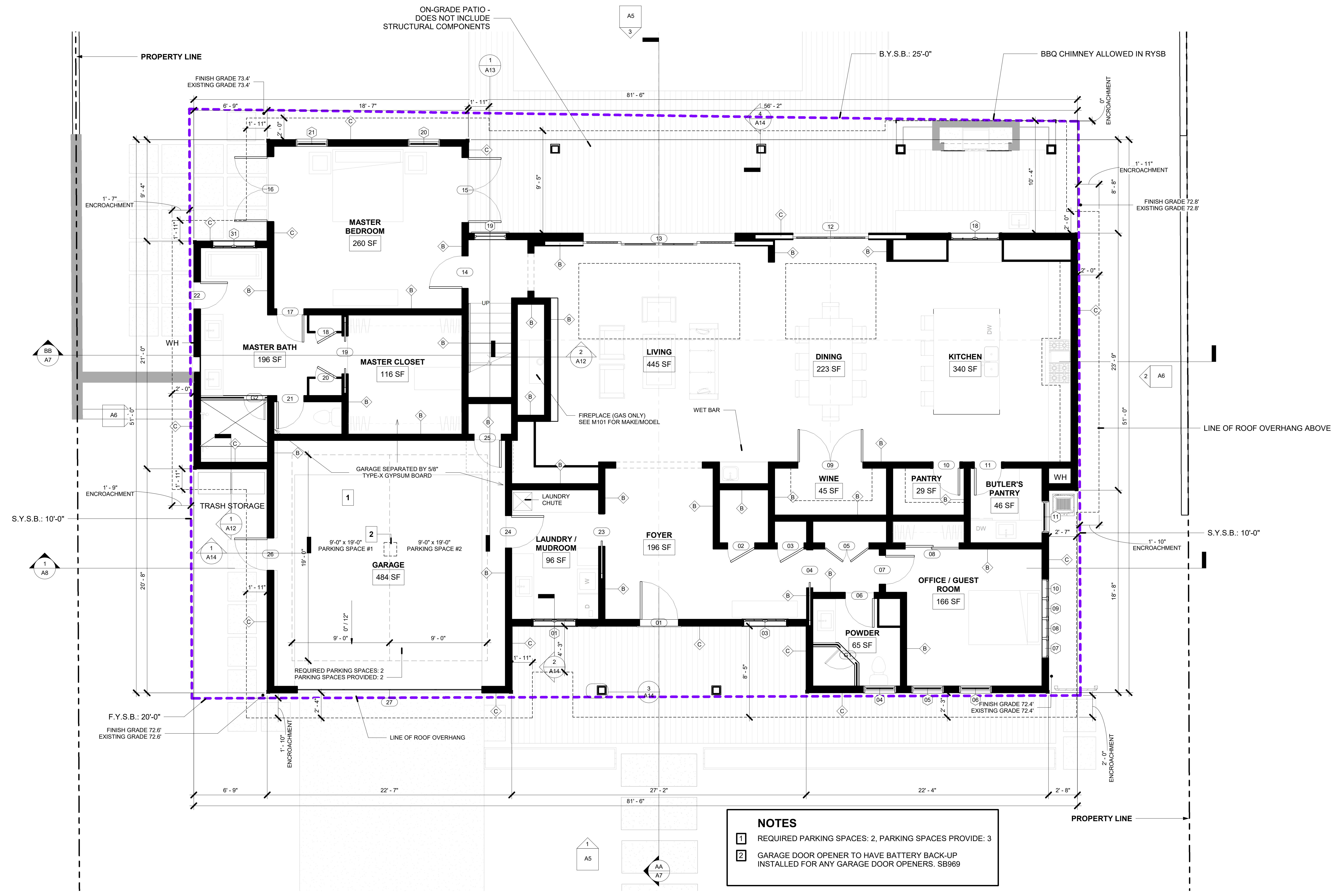
**MURPHY**  
520 North Cedros Avenue, Solana Beach, CA 92075



SCALE: 1/4" = 1'-0"  
DATE: 1/4/21  
SHEET

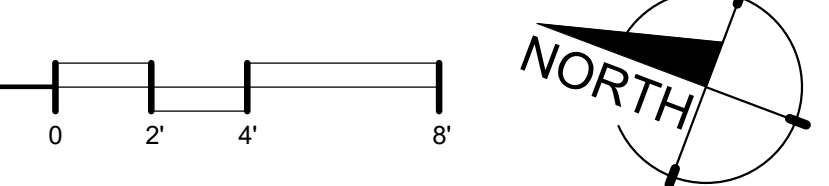
**A1**

**FIRST FLOOR PLAN**  
**NOT FOR CONSTRUCTION**



- NOTES**
- 1 REQUIRED PARKING SPACES: 2, PARKING SPACES PROVIDE: 3
  - 2 GARAGE DOOR OPENER TO HAVE BATTERY BACK-UP INSTALLED FOR ANY GARAGE DOOR OPENERS. SB969

**FIRST FLOOR PLAN**  
1/4" = 1'-0"





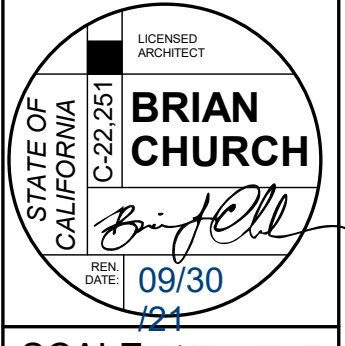
**GENERAL NOTES**

- BALCONIES AND DECKS SHALL BE DESIGNED FOR 60 PSF LIVE LOAD.
- ENCLOSED FRAMING IN WOOD EXTERIOR BALCONIES AND DECKS SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. SECTION R317.1.6. SEE DETAIL.

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 Brian Church  
 Architecture  
 507 S. Cedros Ave  
 Solana Beach, CA

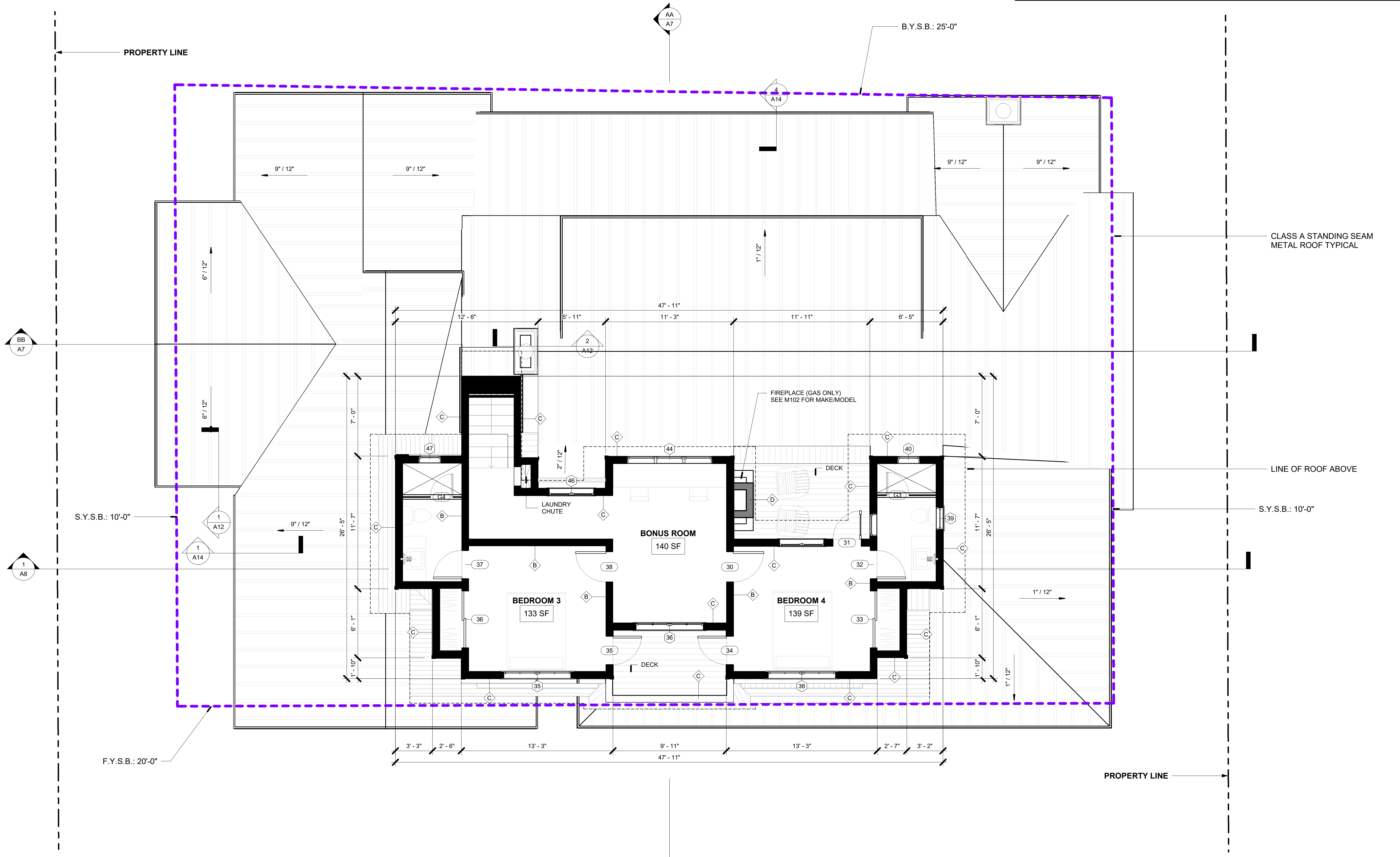
**MURPHY**  
 520 North Cedros Avenue, Solana Beach, CA 92075



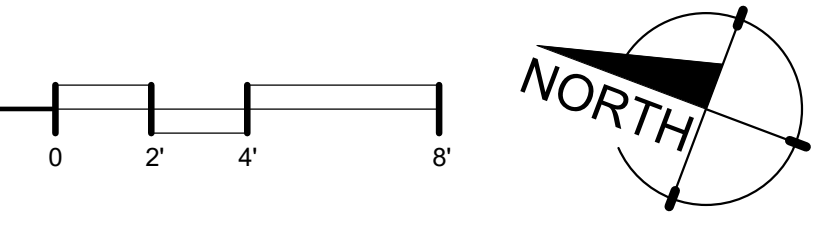
SCALE: 1/4" = 1'-0"  
 DATE: 1/4/21  
 SHEET

**A2**

**SECOND FLOOR PLAN**  
**NOT FOR CONSTRUCTION**



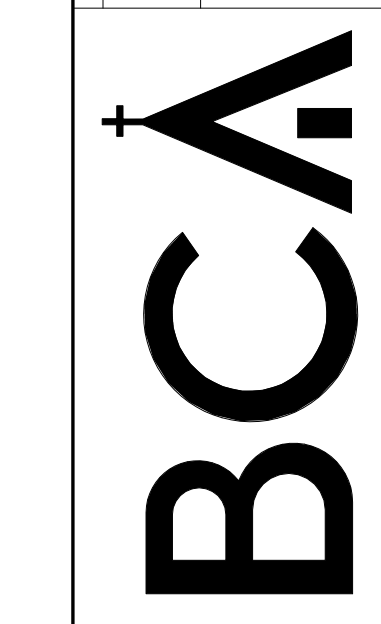
**SECOND FLOOR PLAN**  
 1/4" = 1'-0"





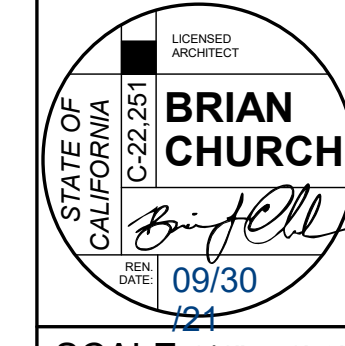


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Brian Church  
 Architecture  
 507 S. Cedros Ave  
 Solana Beach, CA

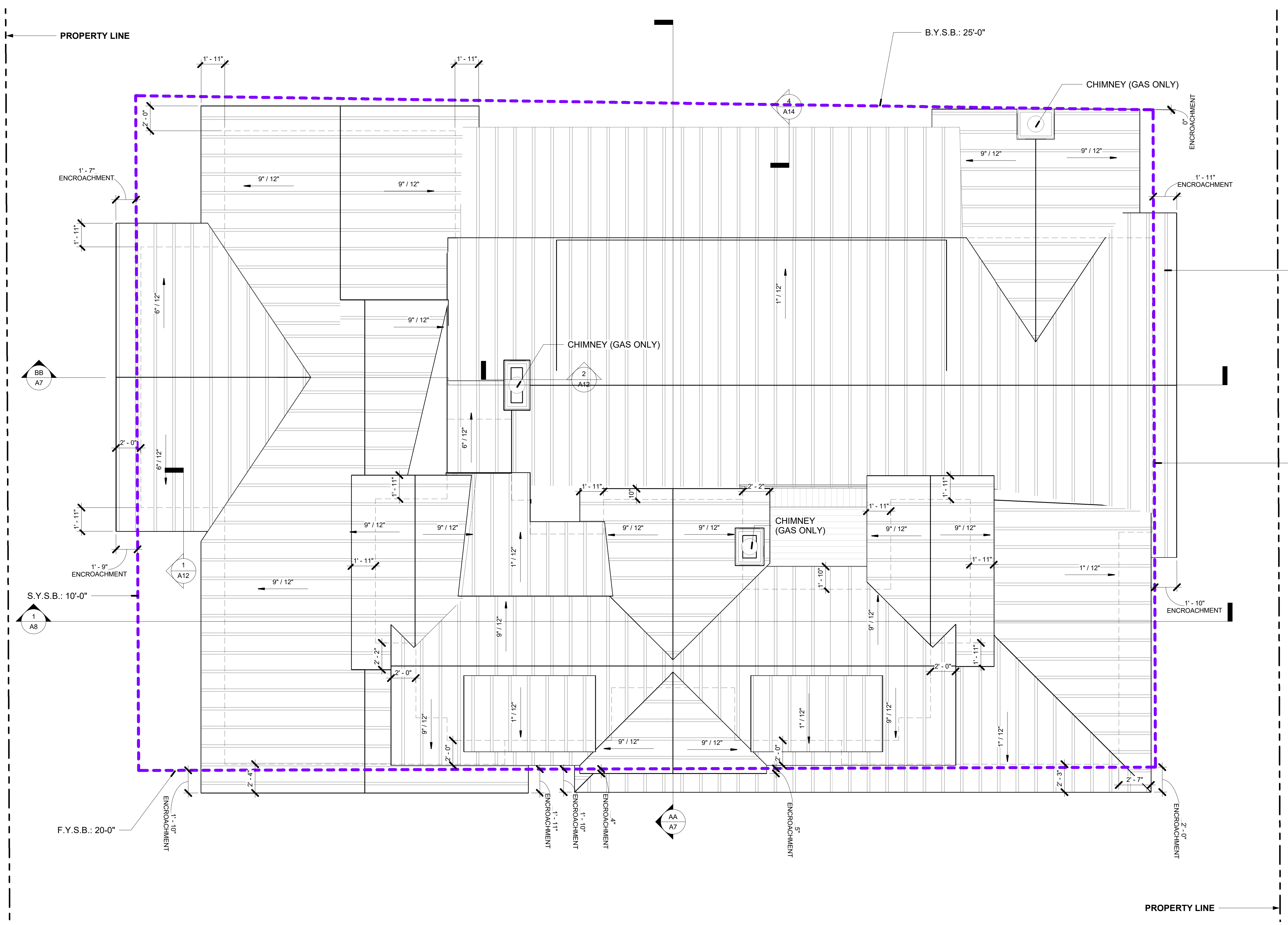
**MURPHY**  
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**A4**

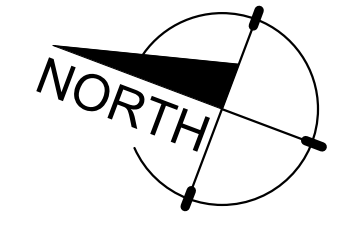
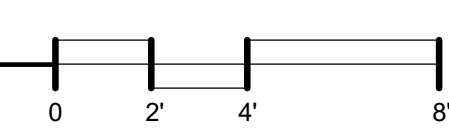
**NOT FOR CONSTRUCTION**



CLASS "A" STANDING SEAM  
 ZINCALUME METAL ROOF, NU-RAY  
 METAL NRM-1000 ZINCALUME PLUS,  
 VERSASHIELD UNDERLAYMENT, TYP.

# ROOF PLAN

1/4" = 1'-0"



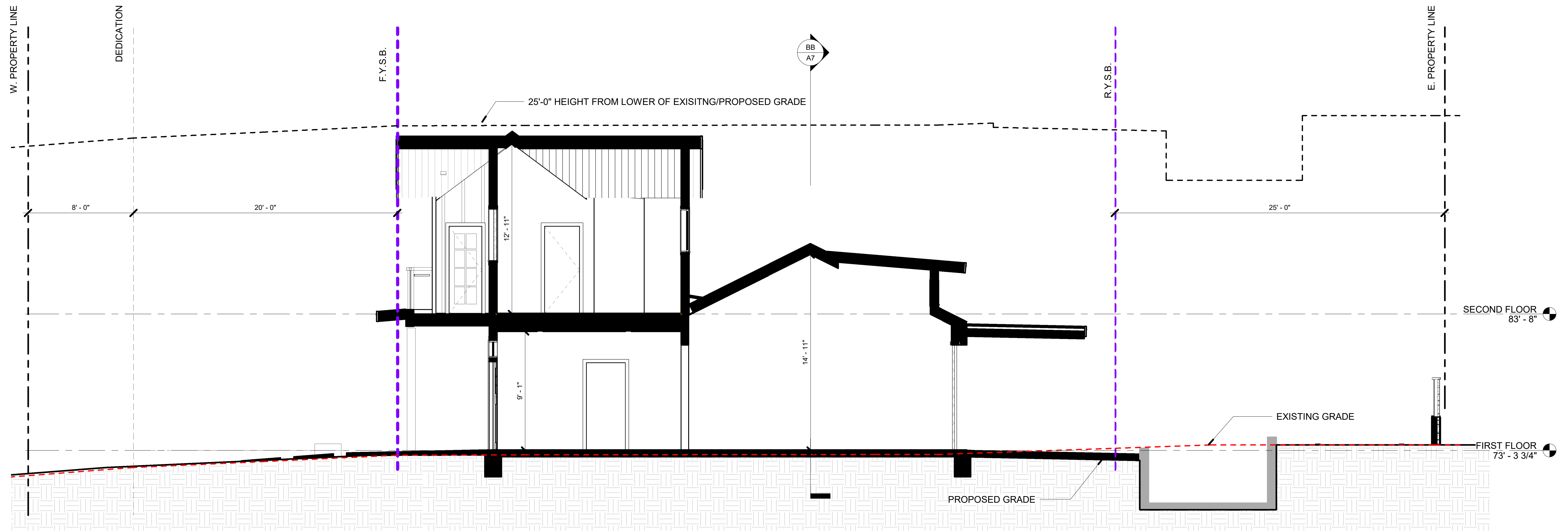
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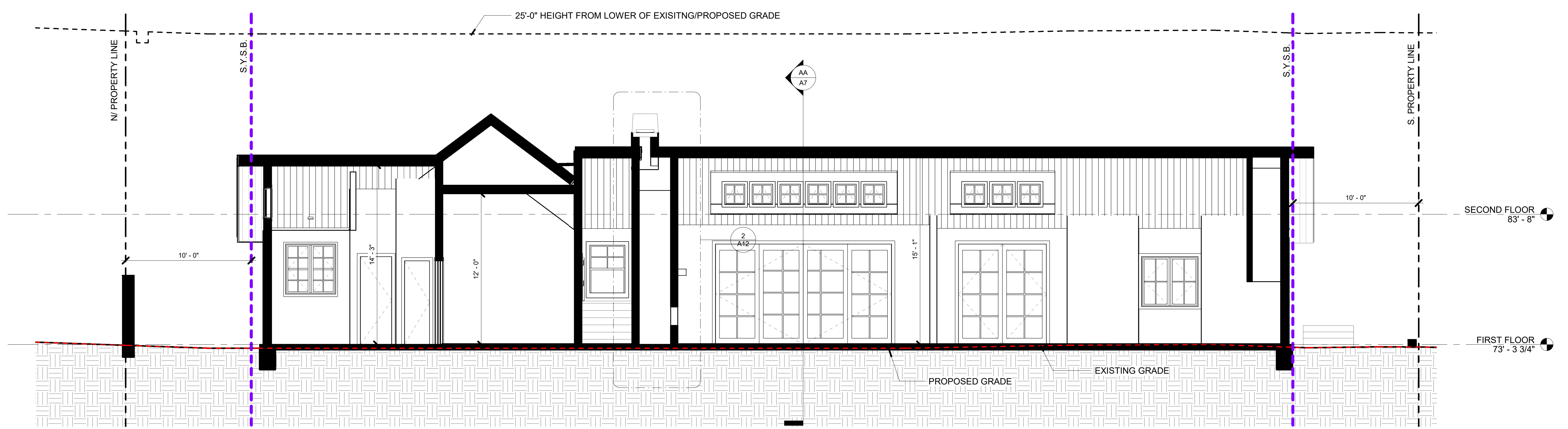






**SECTION AA**

1/4" = 1'-0"



**SECTION BB**

1/4" = 1'-0"

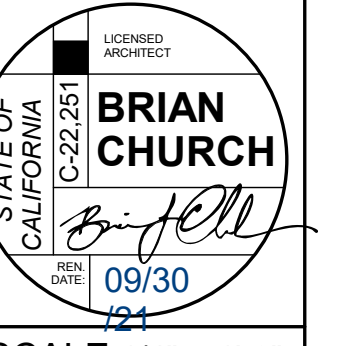
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**BCA**

Brian Church  
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 507 S. Cedros Ave  
 Solana Beach, CA

**MURPHY**  
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SCALE: 1/4" = 1'-0"  
 DATE: 1/4/21  
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**A7**

**BUILDING SECTIONS**  
**NOT FOR CONSTRUCTION**



# SECTION CC

1/4" = 1'-0"

1/4/2021 4:18:50 PM

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#	Date	Revision/Submittal

# BCA

Brian Church  
 Architecture  
 507 S. Cedros Ave  
 Solana Beach, CA

**MURPHY**  
 520 North Cedros Avenue, Solana Beach, CA 92075



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**A8**

**BUILDING SECTIONS**  
**NOT FOR CONSTRUCTION**



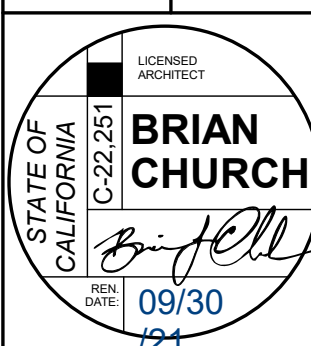
SUBMITTALS / REVISIONS		
#	Date	Revision/Submital

1/4/2021 4:22:52 PM

# BCA

Brian Church  
 Architecture  
 507 S. Cedros Ave  
 Solana Beach, CA

**MURPHY**  
 520 North Cedros Avenue, Solana Beach, CA 92075



SCALE: 1/8" = 1'-0"

DATE: 1/4/21

SHEET

**D1**

## DEMOLITION PLAN

**NOT FOR CONSTRUCTION**

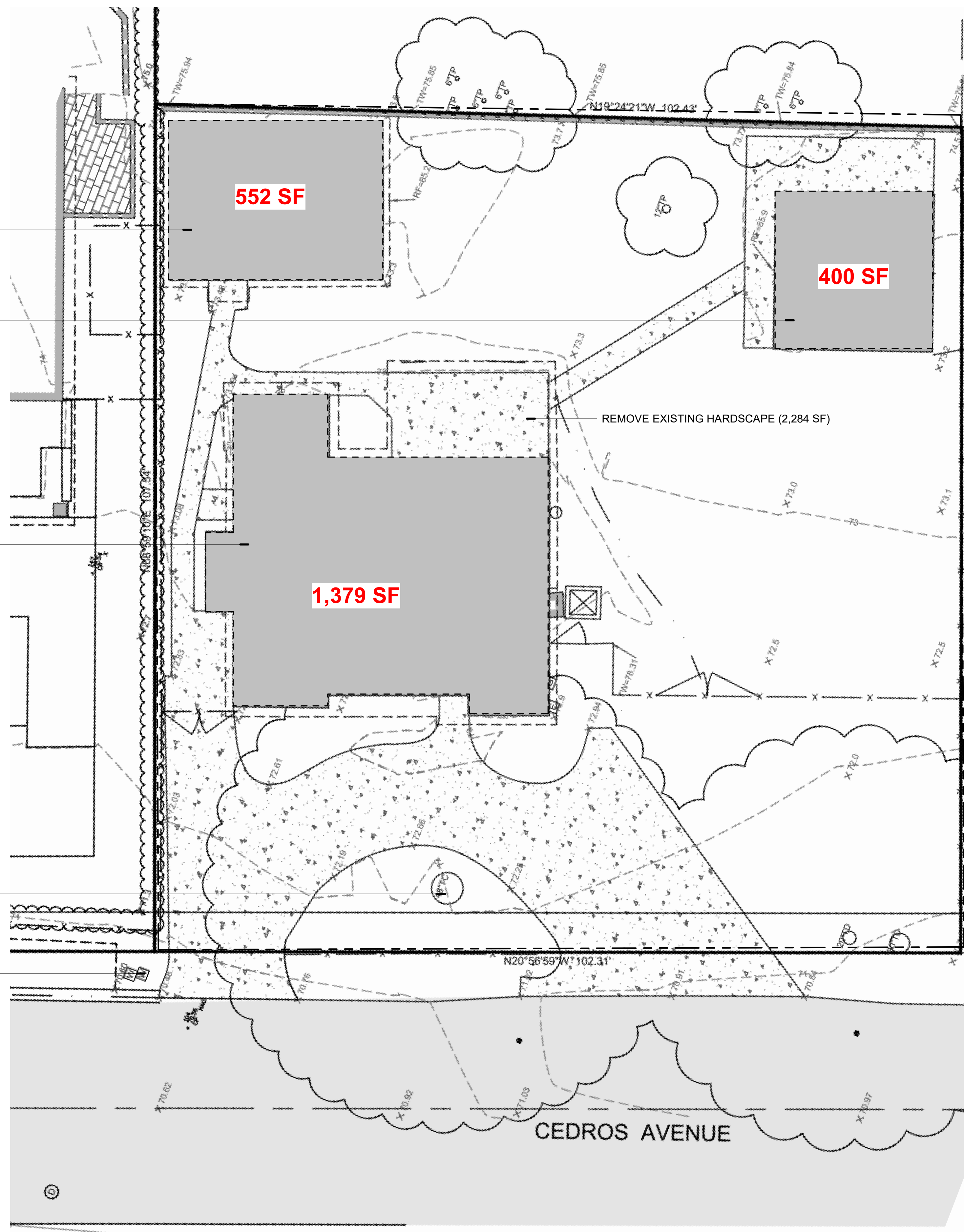
EXISTING GUEST HOUSE TO BE DEMOLISHED

EXISTING GARAGE TO BE DEMOLISHED

EXISTING HOUSE TO BE DEMOLISHED

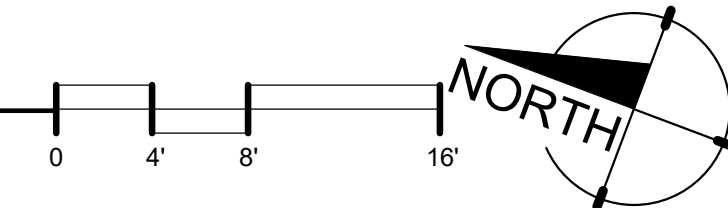
(E) TREE TO BE REMOVED

RELOCATE WATER METER



## DEMOLITION PLAN

1/8" = 1'-0"









### LANDSCAPE NOTES

- AT THE TIME OF COMPLETION OF THE INSTALLATION, A CERTIFICATION OF COMPLETION, USING THE CITY'S FORM AND SIGNED BY THE LICENSED PROFESSIONAL WHO PREPARED THE LANDSCAPE PLANS, WILL BE REQUIRED.
- THE FOLLOWING ITEMS SHALL BE COMPLETED PRIOR TO THE CITY'S INSPECTION:
  - ALL LANDSCAPE WORK HAS BEEN INSTALLED AND COMPLETED PER THE PLANS APPROVED BY THE CITY OF SOLANA BEACH.
  - A HYDRO-ZONE DIAGRAM SHALL BE PROVIDED ADJACENT TO THE IRRIGATION CONTROLLERS.
  - THE PERSON OPERATING THE SYSTEM SHALL RECEIVE ALL REQUIRED MAINTENANCE AND IRRIGATION PLANS.
  - ALL REQUIRED SOIL AMENDMENTS SHALL BE INCORPORATED AND VERIFIED BY THE LICENSED PROFESSIONAL.
  - THE FOLLOWING SHALL BE SUBMITTED WITH THE CERTIFICATION OF COMPLETION FORM:
    - A COPY OF THE AGRONOMIC SOILS REPORT.
    - A MAINTENANCE SCHEDULE FOR PLANTING AND IRRIGATION.
    - A REVISED IRRIGATION SCHEDULE THAT DELINEATES IRRIGATION TIMES AND WATER USAGE CONSISTENT WITH THE APPROVED PLAN'S ESTIMATED TOTAL WATER USE (ETWU) AND WITH THE CURRENT SANTA FE IRRIGATION DISTRICT REQUIREMENTS.

### WATER USAGE

$$ETWU = (ET_0) \left( 0.62 \left( \frac{PF \times HA}{IE} + SLA \right) \right)$$

ETWU = Estimated Total Water Use per year (gallons)  
 ET<sub>0</sub> = Reference Evapotranspiration (inches)  
 PF = Plant Factor from WUCOLS  
 HA = Hydrozone Area [high, medium, and low water use areas] (square feet)  
 SLA = Special Landscape Area (square feet)  
 0.62 = Conversion Factor  
 IE = Irrigation Efficiency (minimum 0.81 or 0.75)

**NOTES**

- ET<sub>0</sub> FOR AREAS WEST OF THE I-5 IS 41
- IRRIGATION FOR SUBGRADE IRRIGATION = .81
- ETAF = .55 (RESIDENTIAL)

### WATER ALLOWANCE

#### MAWA (MAXIMUM APPLIED WATER ALLOWANCE)

$$MAWA = (ET_0)(0.62)[(ETAF \times LA) + ((1-ETAF) \times SLA)]$$

$$MAWA = (41)(.62) [(.55 \times 3,784) + ((1-.55 \times 0)]$$

$$MAWA = 52,904 \text{ gallons/year}$$

### WATER USAGE COMPLIANCE

$$ETWU < MAWA$$

$$(47,276) < (52,904) = \text{COMPLIANT}$$

### HYDROZONE LEGEND

HYDRO ZONE 1		LOW WATER USE (LW = 0.3) DRIP / MICRO SPRAY (IE = 0.81)
HYDRO ZONE 2		MODERATE WATER USE (MW = 0.6) DRIP / BUBBLER (IE = 0.81)
HYDRO ZONE 3		LOW WATER USE (LW = 0.3) DRIP / MICRO SPRAY (IE = 0.81)
HYDRO ZONE 4		LOW WATER USE (LW = 0.3) DRIP / MICRO SPRAY (IE = 0.81)
HYDRO ZONE 5		LOW WATER USE (LW = 0.3) DRIP / MICRO SPRAY (IE = 0.81)
HYDRO ZONE 6		MODERATE WATER USE (MW = 0.6) DRIP / BUBBLER (IE = 0.81)
HYDRO ZONE 8		LOW WATER USE (LW = 0.3) DRIP / MICRO SPRAY (IE = 0.81)
HYDRO ZONE 9		MODERATE WATER USE (MW = 0.6) DRIP / MICRO SPRAY (IE = 0.81)
ZONE 11		POOL/SPA (HW = 1.0) PUMP (IE = 1.0)

### STATEMENT/SIGNATURE

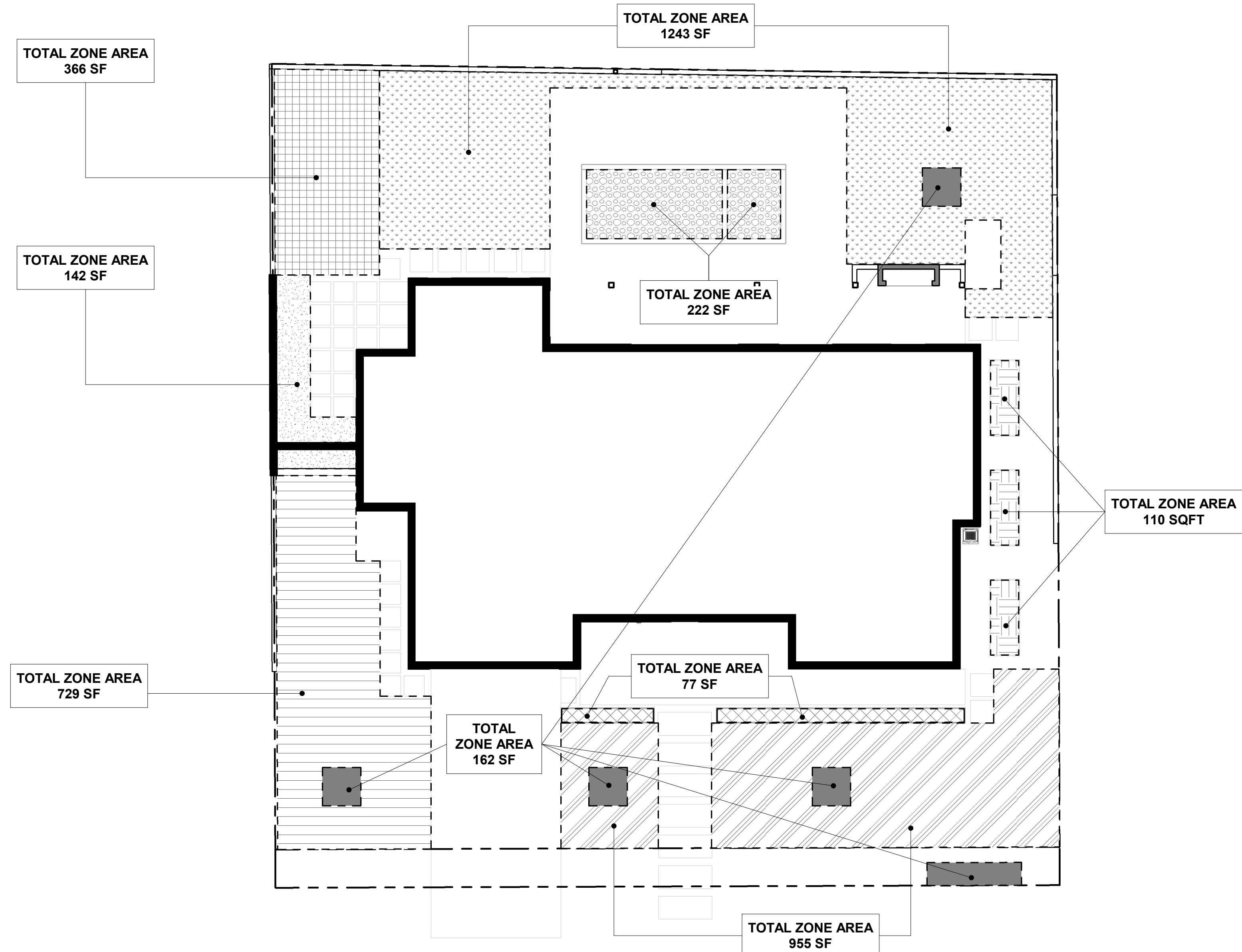
I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY'S WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE AN EFFICIENT USE OF WATER.

BRIAN CHURCH, AIA

### CITY OF DEL MAR ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

	LINE	HYDRO-ZONE NUMBER USE AS MANY TABLES AS NECESSARY TO SHOW ALL HYDRO-ZONES								
		1	2	3	4	5	6	7	8	9
EVAPOTRANSPIRATION RATE (ET <sub>0</sub> ) SEE "A" BELOW	1	USE 41 (WEST OF I-5)								
CONVERSION FACTOR - .62	2	0.62								
(LINE 1 X LINE 2)	3	25.42								
PLANT FACTOR (PF) SEE "B" BELOW	4	0.3	0.6	0.3	0.3	0.3	0.6	0.3	0.6	1.0
HYDRO-ZONE AREA (HA) - IN SQUARE FEET	5	955	162	729	77	142	366	1243	110	222
(LINE 4 X LINE 5)	6	286.5	97.2	218.7	23.1	42.6	219.6	372.9	33.0	222.0
IRRIGATION EFFICIENCY (IE)	7	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	1.00
(LINE 6 / LINE 7)	8	353.7	120.0	270.0	28.5	52.6	271.1	460.4	40.7	222.0
SUM OF LINE 8 BOXES (+ SLA)	9	1,859.8								
LINE 3 X LINE 9 ESTIMATED TOTAL WATER USE - ETWU (GALLONS PER YEAR) TOTAL SHALL NOT EXCEED MAWA	10	47,276								

TOTAL LANDSCAPE AREA = 3,784 SF

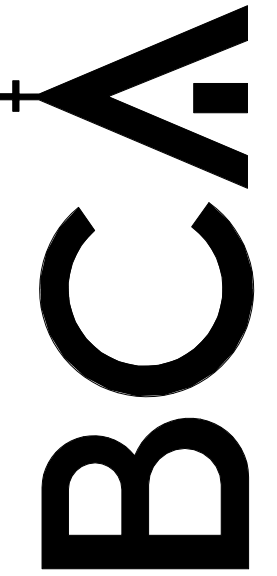


## HYDROZONE PLAN

1" = 10'-0"

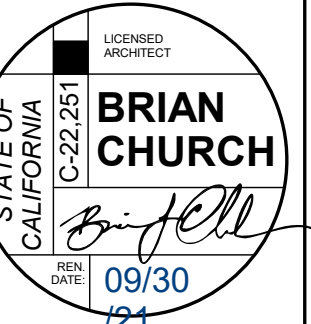
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 520 North Cedros Avenue, Solana Beach, CA 92075



SCALEs indicated  
 DATE: 1/4/21  
 SHEET

L1

## WATER CONSERVATION PLAN

NOT FOR CONSTRUCTION

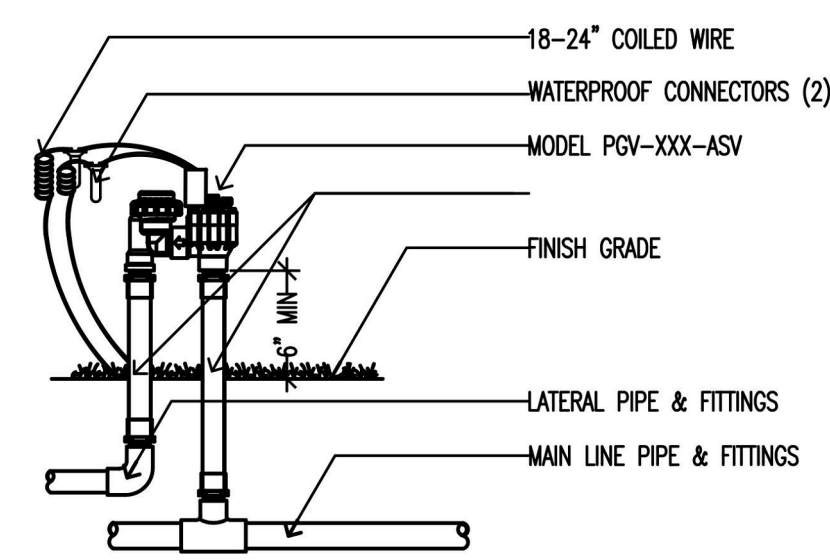




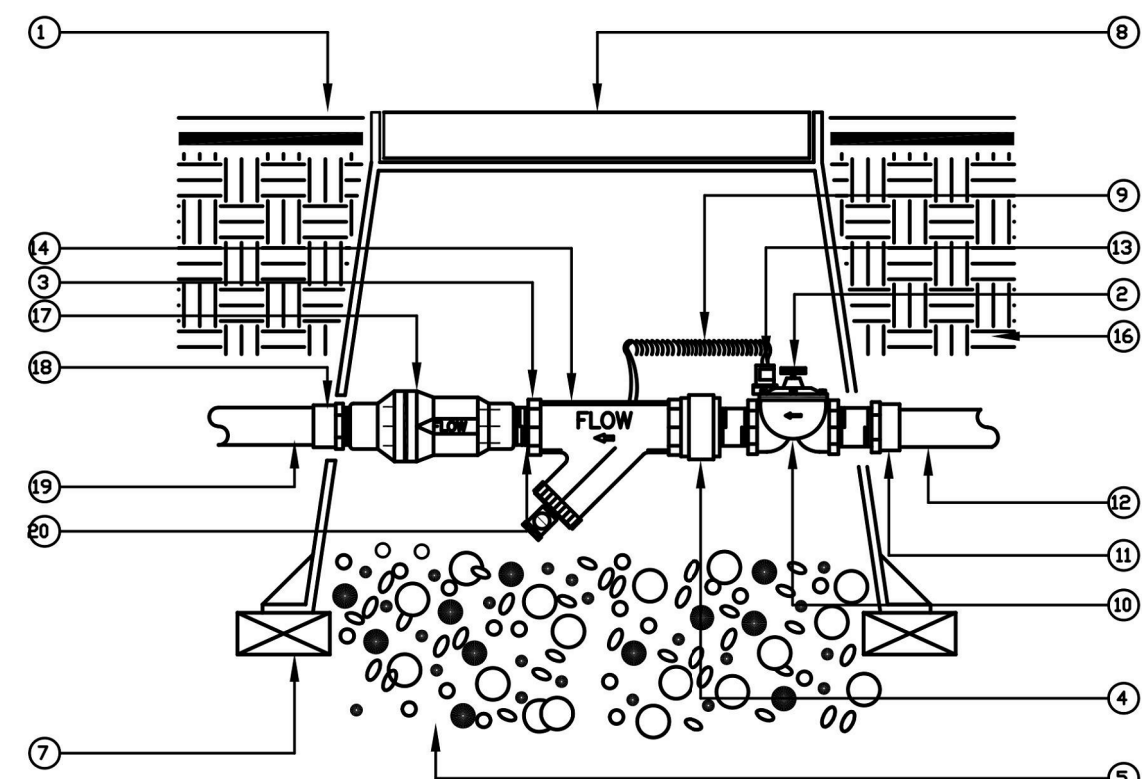




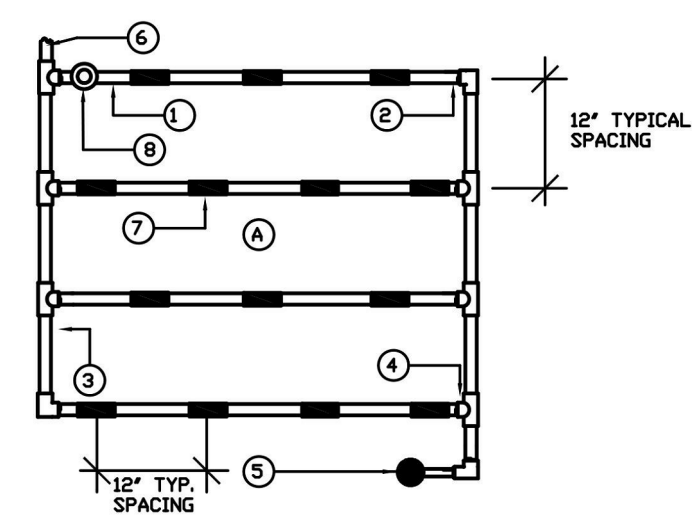
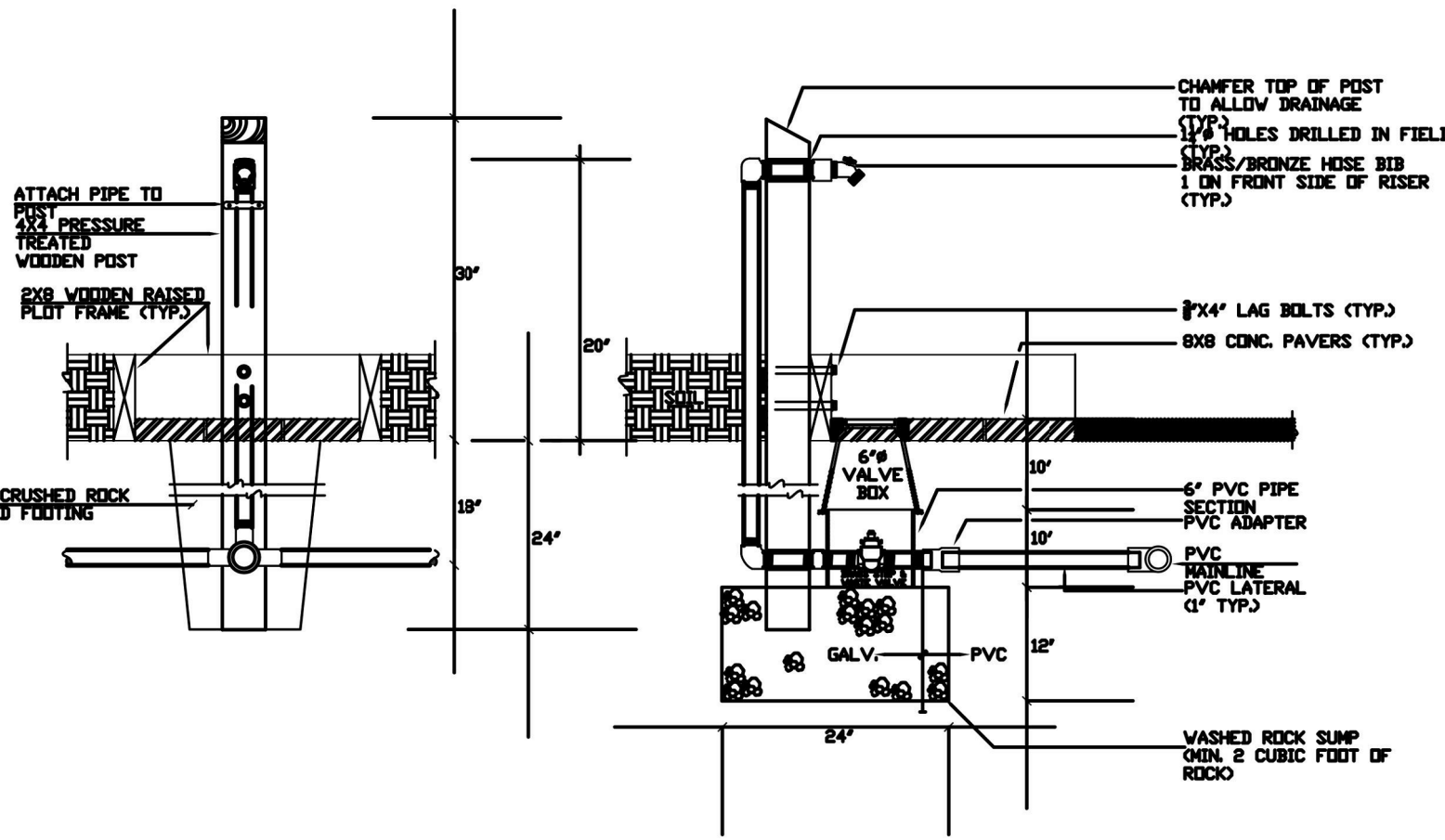




\*NOTE\*  
ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.



- ① 1" IN GROUNDCOVER
- ② REMOTE CONTROL VALVE (SEE SPECS)
- ③ PVC FEMALE ADAPTER
- ④ SCH. 80 UNION
- ⑤ 1 CU. FT. PEA GRAVEL
- ⑥ IRRIGATION WATER MAINLINE
- ⑦ BRICK SUPPORTS
- ⑧ PLASTIC VALVE BOX (1/2" LID) NEW BRAND "RCV" ONTO LID
- ⑨ CONTROL WIRES, BUNDLE AND TAPE (W/ 4" MIN. EXTRA WIRE)
- ⑩ CONTROL VALVE
- ⑪ PVC MALE ADAPTER
- ⑫ PVC MAINLINE
- ⑬ SOLENOID
- ⑭ TECHLINE DISC FILTER
- ⑮ PVC SCH 40 TEE (SSS) OR ELL (SS) ON MAINLINE
- ⑯ UNDISTURBED/COMPACTED SUBGRADE
- ⑰ UNDISTURBED/COMPACTED SUBGRADE
- ⑱ PVC SCH 40 MALE ADAPTER
- ⑲ PVC LATERAL TO SPRINKLERS
- ⑳ PVC LATERAL FROM RCV



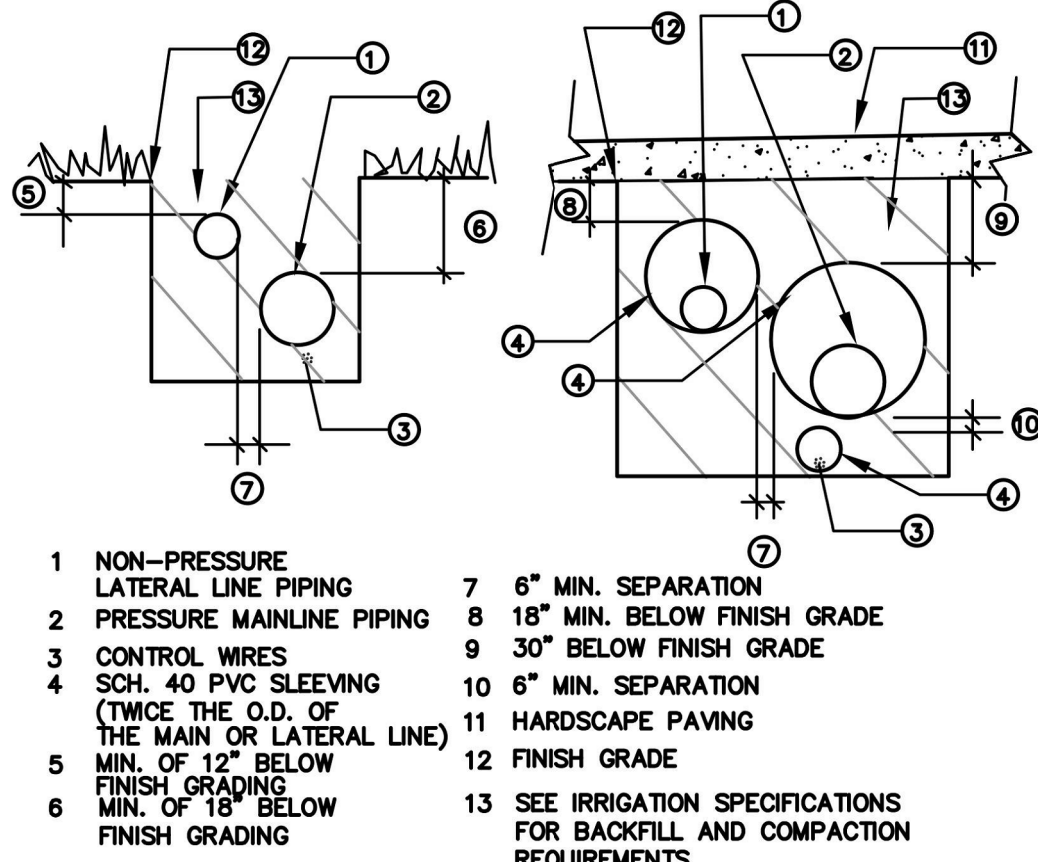
- ① SUB-SURFACE PRESSURE COMPENSATING TUBING
- ② EMISSION POINT
- ③ PVC PIPING & FITTINGS
- ④ START CONNECTION (SEE DETAIL)
- ⑤ LINE FLUSHING VALVE IN SUMP BOX OFF OF PVC FOOTER (SEE DETAIL)
- ⑥ SOURCE (TO HEADER)
- ⑦ EMISSION POINT SPACING: (SEE PLANS & LEGEND)

A REMOTE CONTROL VALVE N.T.S.

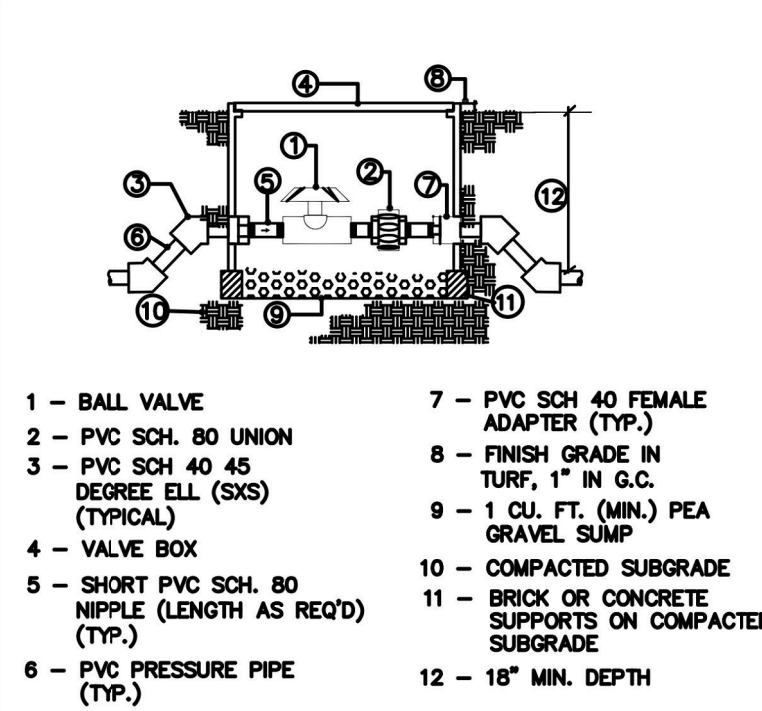
B DRIP REMOTE CONTROL ASSEMBLY N.T.S.

C HOSE BIB ON RISER N.T.S.

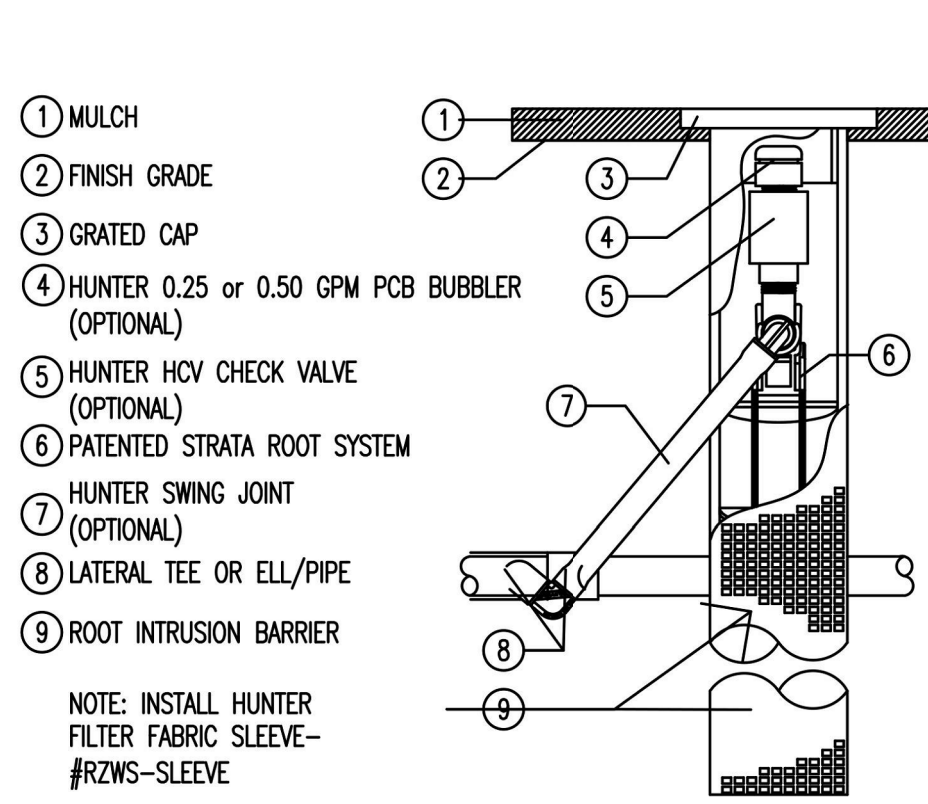
D TECHLINE/SUB-SURFACE N.T.S.



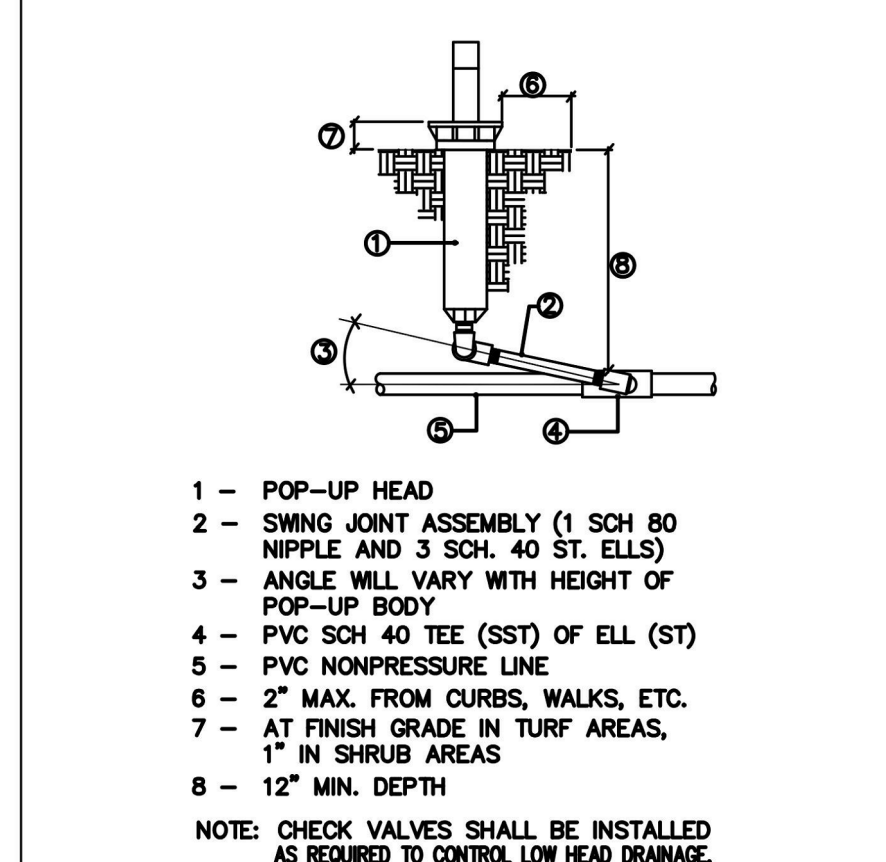
- 1 NON-PRESSURE LATERAL LINE PIPING
- 2 PRESSURE MAINLINE PIPING
- 3 CONTROL WIRES
- 4 SCH. 40 PVC SLEEVING (TWICE THE O.D. OF THE MAIN OR LATERAL LINE)
- 5 MIN. OF 12" BELOW FINISH GRADING
- 6 MIN. OF 18" BELOW FINISH GRADING
- 7 6" MIN. SEPARATION
- 8 18" MIN. BELOW FINISH GRADE
- 9 30" BELOW FINISH GRADE
- 10 6" MIN. SEPARATION
- 11 HARDSCAPE PAVING
- 12 FINISH GRADE
- 13 SEE IRRIGATION SPECIFICATIONS FOR BACKFILL AND COMPACTION REQUIREMENTS



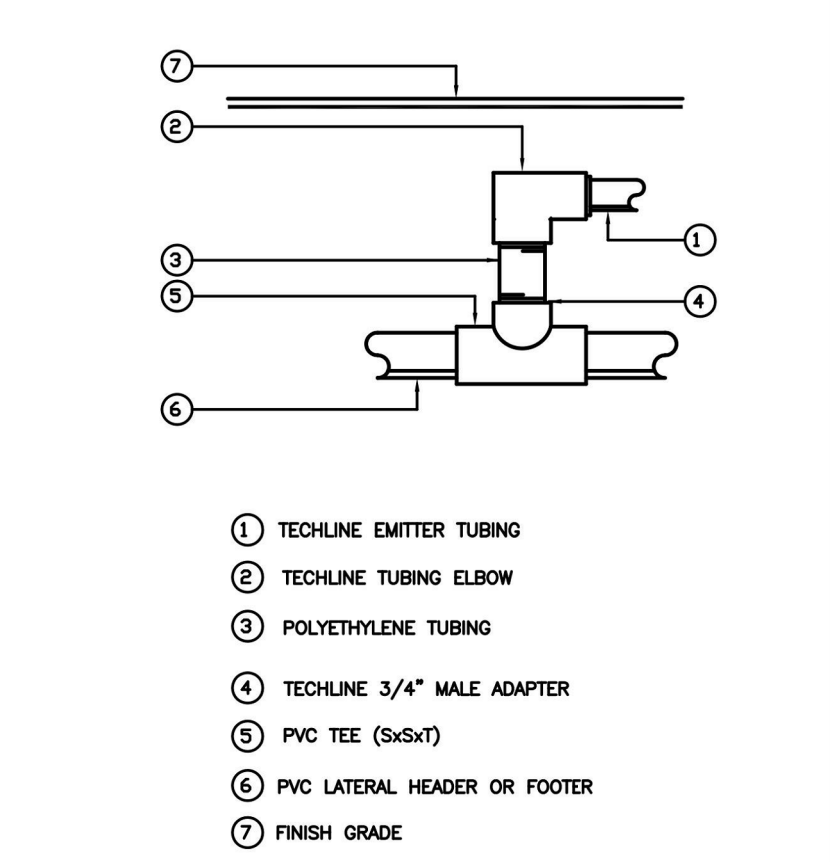
- 1 - BALL VALVE
- 2 - PVC SCH. 80 UNION
- 3 - PVC SCH 40 45 DEGREE ELL (SSS) (TYP.)
- 4 - VALVE BOX
- 5 - SHORT PVC SCH. 80 NIPPLE (LENGTH AS REQ'D) (TYP.)
- 6 - PVC PRESSURE PIPE (TYP.)
- 7 - PVC SCH 40 FEMALE ADAPTER (TYP.)
- 8 - FINISH GRADE IN TURF, 1" IN G.C.
- 9 - 1 CU. FT. (MIN.) PEA GRAVEL SUMP
- 10 - COMPACTED SUBGRADE
- 11 - BRICK OR CONCRETE SUPPORTS ON COMPACTED SUBGRADE
- 12 - 18" MIN. DEPTH



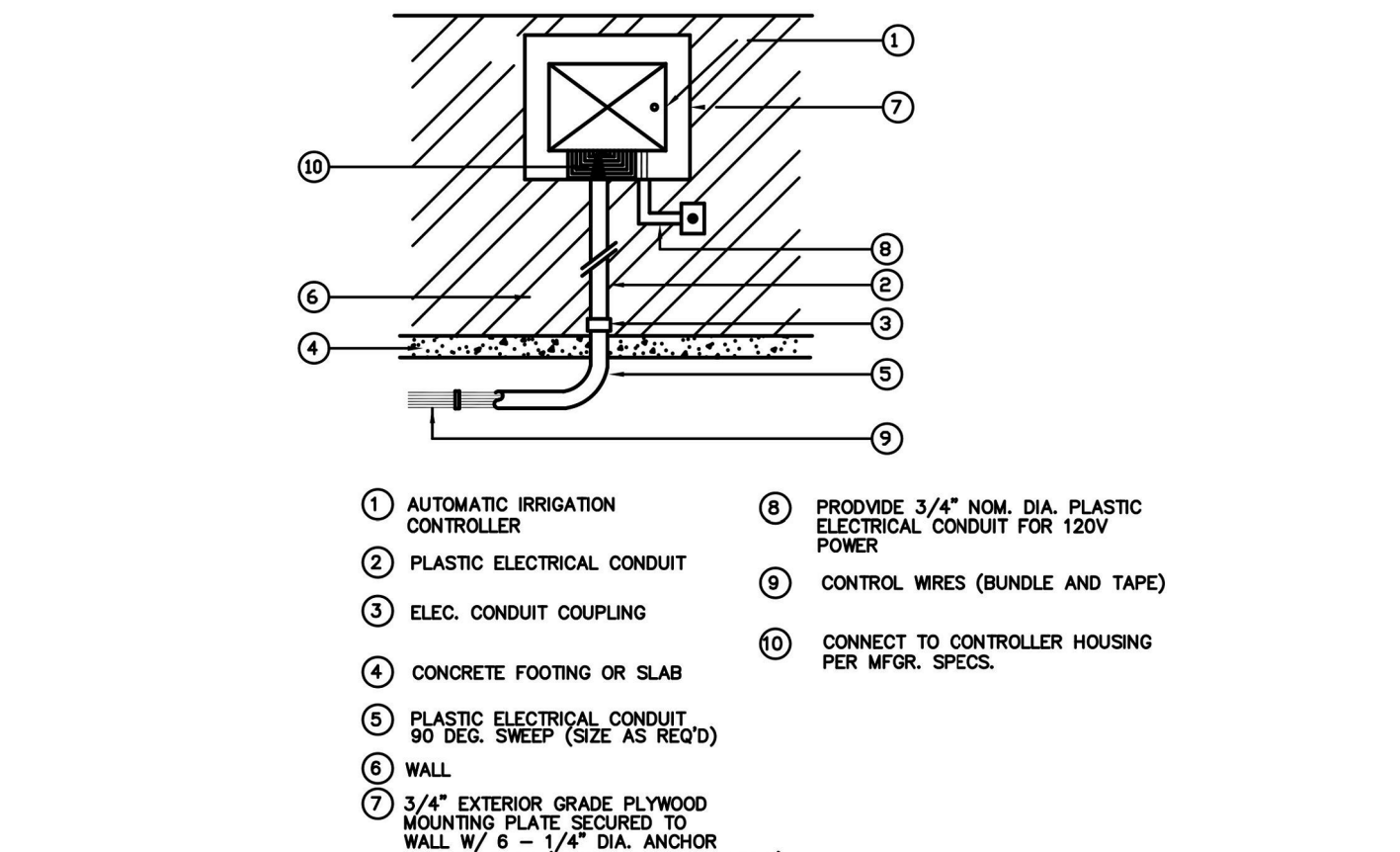
- ① MULCH
  - ② FINISH GRADE
  - ③ GRATED CAP
  - ④ HUNTER 0.25 or 0.50 GPM PCB BUBBLER (OPTIONAL)
  - ⑤ HUNTER HCV CHECK VALVE (OPTIONAL)
  - ⑥ PATENTED STRATA ROOT SYSTEM
  - ⑦ HUNTER SWING JOINT (OPTIONAL)
  - ⑧ LATERAL TEE OR ELL/PIPE
  - ⑨ ROOT INTRUSION BARRIER
- NOTE: INSTALL HUNTER FILTER FABRIC SLEEVE--#RZWS--SLEEVE



- 1 - POP-UP HEAD
  - 2 - SWING JOINT ASSEMBLY (1 SCH 80 NIPPLE AND 3 SCH. 40 ST. ELLS)
  - 3 - ANGLE WLL VARY WITH HEIGHT OF POP-UP BODY
  - 4 - PVC SCH 40 TEE (SST) OF ELL (ST)
  - 5 - PVC NON-PRESSURE LINE
  - 6 - 2" MAX. FROM CURBS, WALKS, ETC.
  - 7 - AT FINISH GRADE IN TURF AREAS, 1" IN SHRUB AREAS
  - 8 - 12" MIN. DEPTH
- NOTE: CHECK VALVES SHALL BE INSTALLED AS REQUIRED TO CONTROL LOW HEAD DRAINAGE.



- ① TECHLINE EMITTER TUBING
- ② TECHLINE TUBING ELBOW
- ③ POLYETHYLENE TUBING
- ④ TECHLINE 3/4" MALE ADAPTER
- ⑤ PVC TEE (S&S/T)
- ⑥ PVC LATERAL HEADER OR FOOTER
- ⑦ FINISH GRADE



- ① AUTOMATIC IRRIGATION CONTROLLER
- ② PLASTIC ELECTRICAL CONDUIT
- ③ ELEC. CONDUIT COUPLING
- ④ CONCRETE FOOTING OR SLAB
- ⑤ PLASTIC ELECTRICAL CONDUIT 90 DEG. SWEEP (SIZE AS REQ'D)
- ⑥ WALL
- ⑦ 3/4" EXTERIOR GRADE PLYWOOD MOUNTING PLATE SECURED TO WALL W/ 6 - 1/4" DIA. ANCHOR BOLTS OR EQ. (PAINT AND SEAL EDGES) NOTE:
- ⑧ PROVIDE 3/4" NOM. DIA. PLASTIC ELECTRICAL CONDUIT FOR 120V POWER
- ⑨ CONTROL WIRES (BUNDLE AND TAPE)
- ⑩ CONNECT TO CONTROLLER HOUSING PER MFR. SPECS.

E TRENCHING N.T.S.

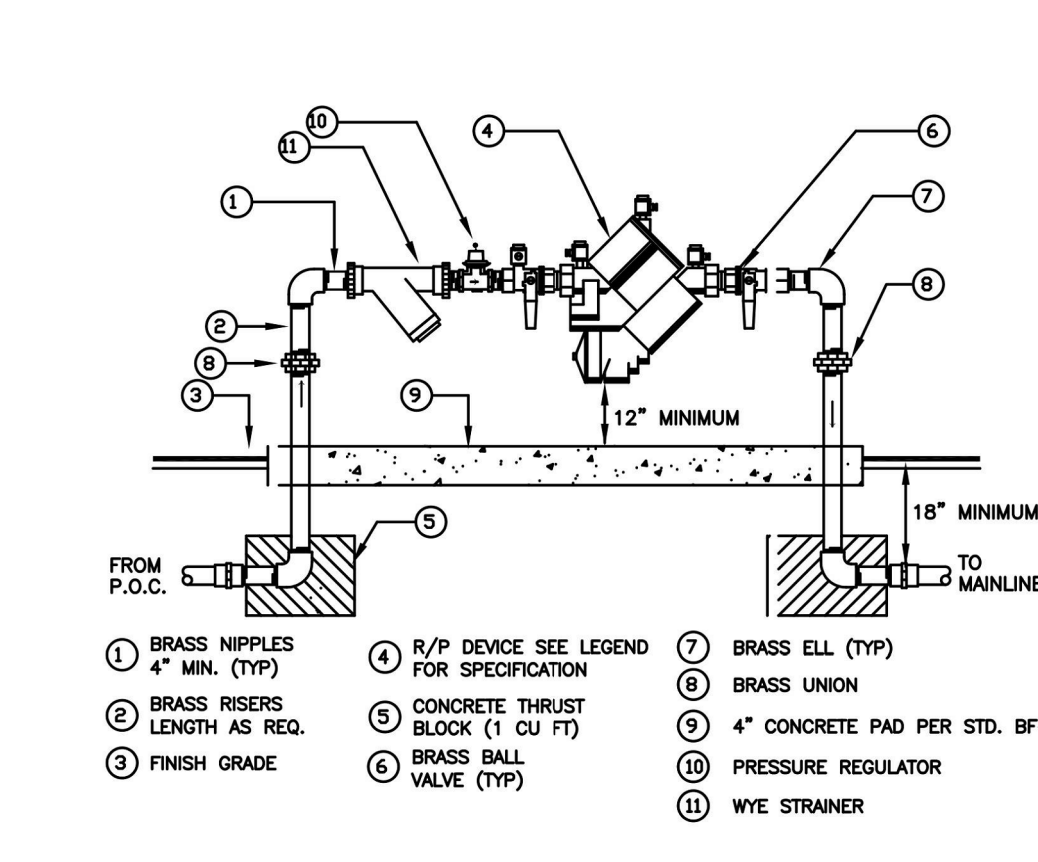
F BALL VALVE N.T.S.

G TREE BUBBLER N.T.S.

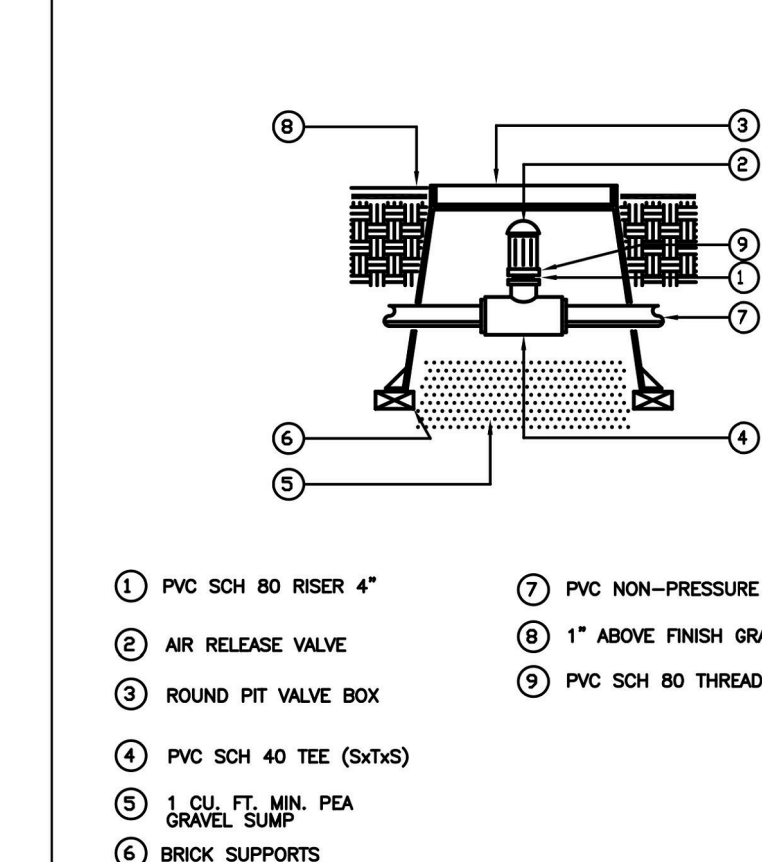
H POP-UP HEAD N.T.S.

I START CONNECTION N.T.S.

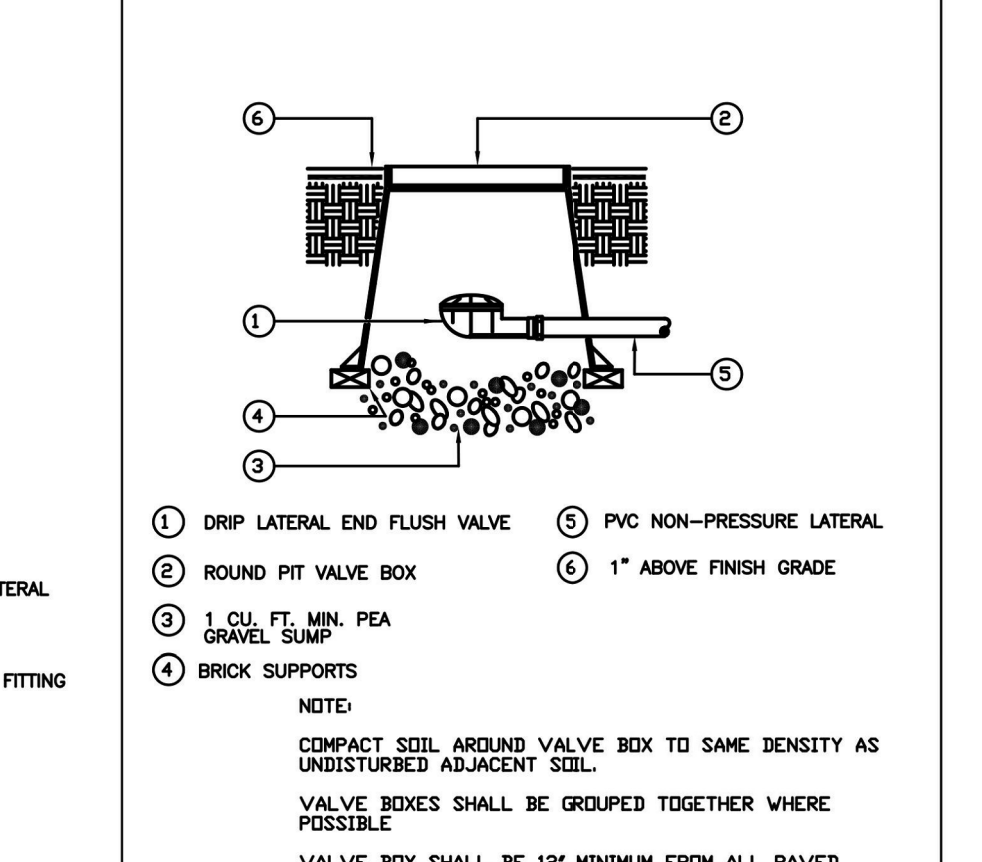
J CONTROLLER N.T.S.



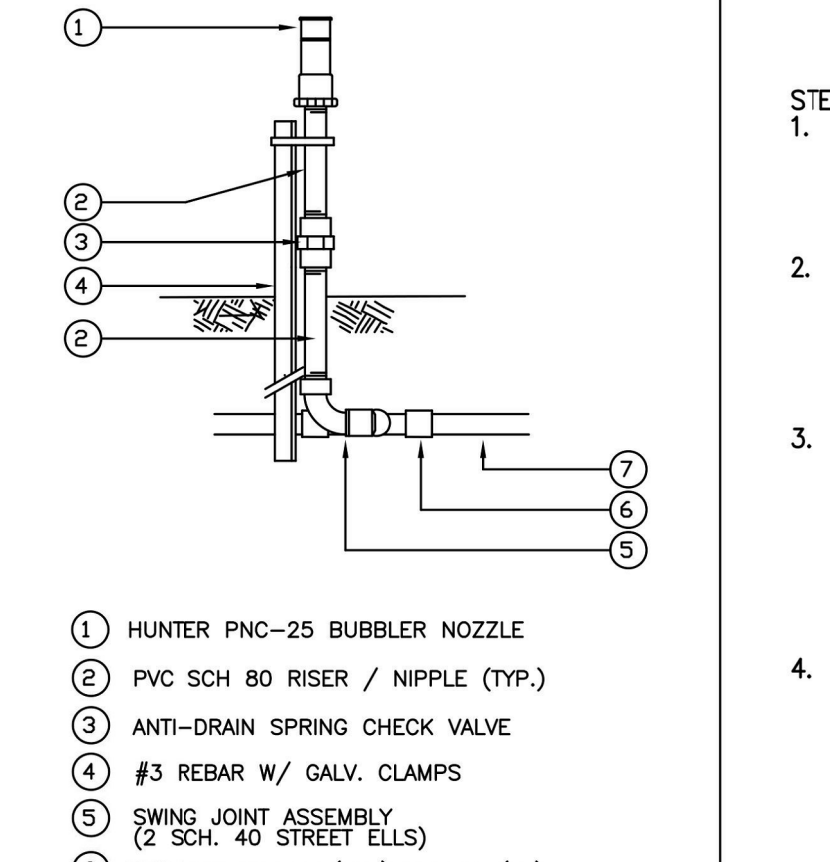
- ① BRASS NIPPLES 4" MIN. (TYP)
- ② BRASS RISERS LENGTH AS REQ.
- ③ FINISH GRADE
- ④ R/P DEVICE SEE LEGEND FOR SPECIFICATION
- ⑤ CONCRETE THRUST BLOCK (1 CU FT)
- ⑥ BRASS BALL VALVE (TYP)
- ⑦ BRASS ELL (TYP)
- ⑧ BRASS UNION
- ⑨ 4" CONCRETE PAD PER STD. 8F-11
- ⑩ PRESSURE REGULATOR
- ⑪ WYE STRAINER



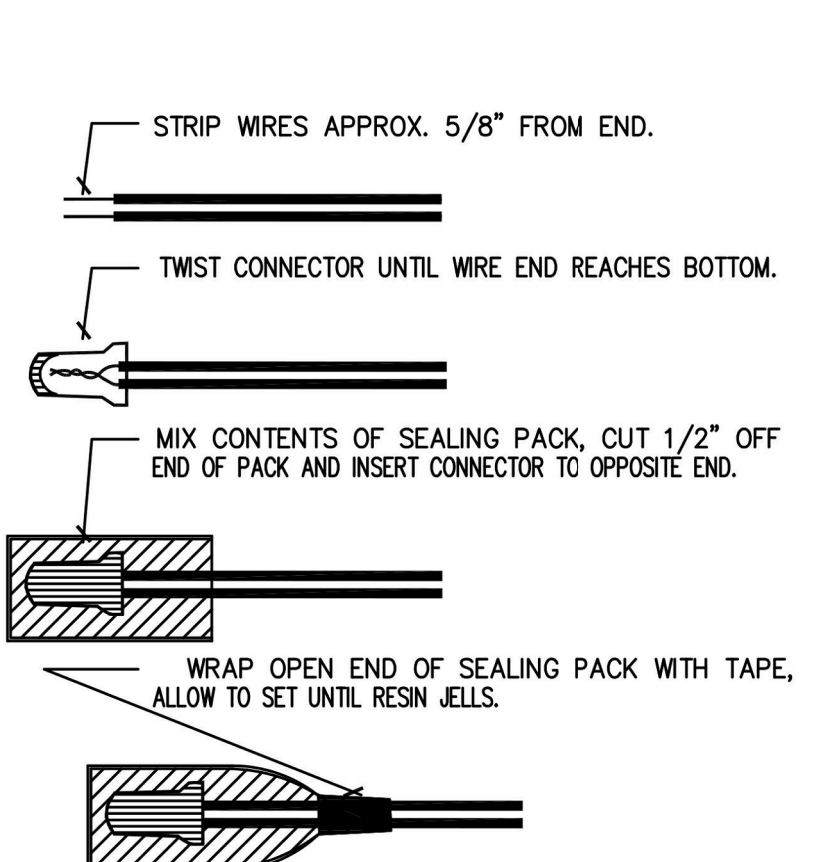
- ① PVC SCH 80 RISER 4"
- ② AIR RELEASE VALVE
- ③ ROUND PIT VALVE BOX
- ④ PVC SCH 40 TEE (S&T/S)
- ⑤ 1 CU. FT. MIN. PEA GRAVEL SUMP
- ⑥ BRICK SUPPORTS
- ⑦ PVC NON-PRESSURE LATERAL
- ⑧ 1" ABOVE FINISH GRADE
- ⑨ PVC SCH 80 THREADED FITTING



- ① DRIP LATERAL END FLUSH VALVE
  - ② ROUND PIT VALVE BOX
  - ③ 1 CU. FT. MIN. PEA GRAVEL SUMP
  - ④ BRICK SUPPORTS
  - ⑤ PVC NON-PRESSURE LATERAL
  - ⑥ 1" ABOVE FINISH GRADE
- NOTE:  
COMPACT SOIL AROUND VALVE BOX TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.  
VALVE BOXES SHALL BE GROUPED TOGETHER WHERE POSSIBLE.  
VALVE BOX SHALL BE 12" MINIMUM FROM ALL PAVED AREAS, WALKS, OR BUILDINGS.



- ① HUNTER PNC-25 BUBBLER NOZZLE
- ② PVC SCH 80 RISER / NIPPLE (TYP.)
- ③ ANTI-DRAIN SPRING CHECK VALVE
- ④ #3 REBAR W/ GALV. CLAMPS
- ⑤ SWING JOINT ASSEMBLY (2 SCH. 40 STREET ELLS)
- ⑥ PVC SCH 40 TEE (SST) OR ELL (ST)
- ⑦ PVC NON-PRESSURE (LATERAL) LINE (SEE SPECS)



- STEP:  
1. STRIP WIRES APPROX. 5/8" FROM END.
2. TWIST CONNECTOR UNTIL WIRE END REACHES BOTTOM.
3. MIX CONTENTS OF SEALING PACK, CUT 1/2" OFF END OF PACK AND INSERT CONNECTOR TO OPPOSITE END.
4. WRAP OPEN END OF SEALING PACK WITH TAPE, ALLOW TO SET UNTIL RESIN JELLS.

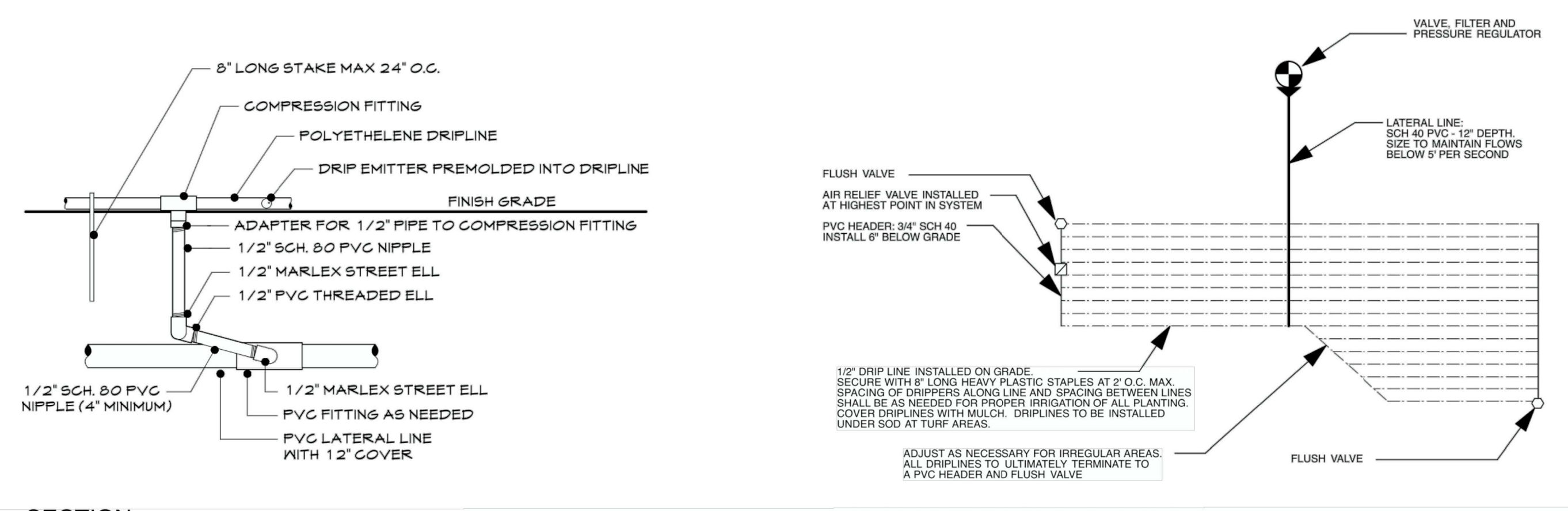
K BACKFLOW PREVENTOR N.T.S.

L AIR RELEASE VALVE N.T.S.

M DRIP LATERAL END FLUSH N.T.S.

N TREE BUBBLER ON RISER N.T.S.

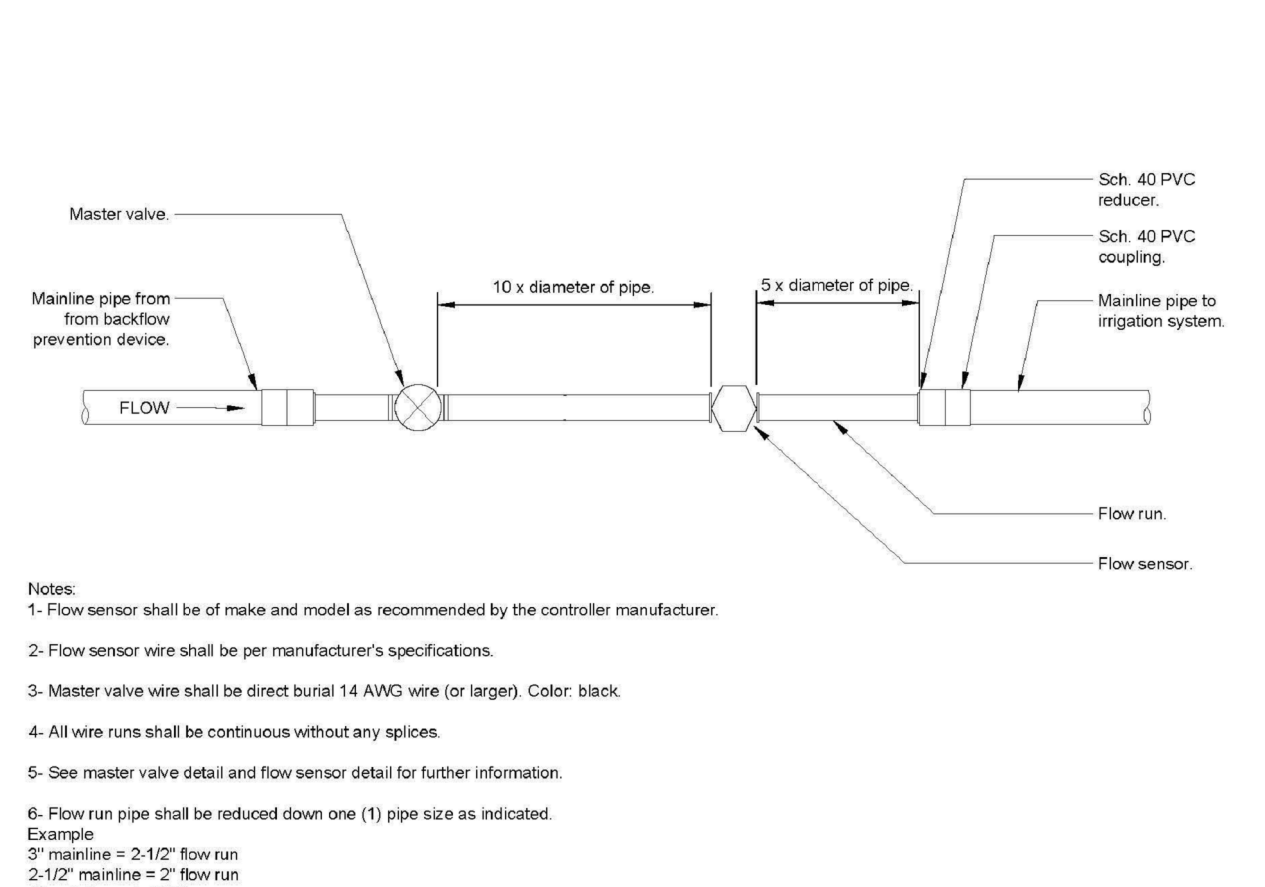
O WIRE CONNECTOR N.T.S.



SECTION

PLAN

ALL DRIP COMPONENTS SHALL BE MANUFACTURED BY RAINBIRD OR APPROVED EQUAL.



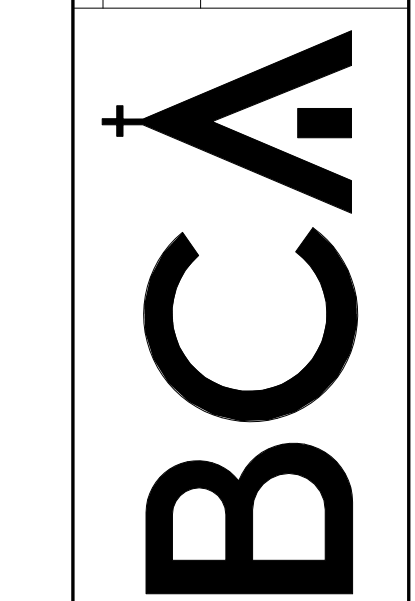
Notes:

- Flow sensor shall be of make and model as recommended by the controller manufacturer.
- Flow sensor wire shall be per manufacturer's specifications.
- Master valve wire shall be direct burial 14 AWG wire (or larger). Color: black.
- All wire runs shall be continuous without any splices.
- See master valve detail and flow sensor detail for further information.
- Flow run pipe shall be reduced down one (1) pipe size as indicated.

Example:  
3" mainline = 2-1/2" flow run  
2-1/2" mainline = 2" flow run  
2" mainline = 1-1/2" flow run

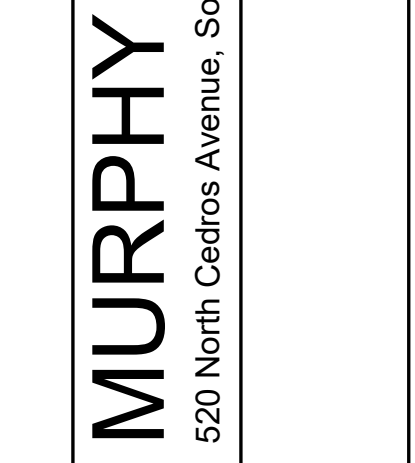
MASTER VALVE AND FLOW SENSOR LAYOUT

SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal



Brian Church  
Architecture  
507 S. Cedros Ave  
Solana Beach, CA

MURPHY  
520 North Cedros Avenue, Solana Beach, CA 92075



SCALE: 12" = 1'-0"  
DATE: 1/4/21  
SHEET

L4

IRRIGATION DETAILS  
NOT FOR CONSTRUCTION

1/4/2021 4:19:17 PM



IRRIGATION  
02810-10  
SECTION 02810  
IRRIGATION  
PART 1 - GENERAL  
1.01 GENERAL CONDITIONS:  
A. THE GENERAL CONDITIONS, SPECIAL CONDITIONS, AND DIVISION 1 ARE AN ADDED PART OF THIS SECTION AND THE CONTRACT FOR THIS WORK AND APPLY TO THIS SECTION AS FULLY AS IF REPEATED HEREIN.

1.02 SCOPE:  
A. THE WORK INCLUDES ALL SERVICES, LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT NECESSARY TO PERFORM THE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED. THE GENERAL CONDITIONS AND DIVISION 1 APPLY TO THIS SECTION AS FULLY AS IF REPEATED HEREIN.  
1. RELATED WORK:  
(A) LANDSCAPING SECTION (02900)

1.03 SUBMITTALS:  
A. SUBMIT A LIST OF ALL IRRIGATION EQUIPMENT TO BE USED, MANUFACTURER'S BROCHURES, MAINTENANCE MANUALS, GUARANTEES AND OPERATING INSTRUCTIONS.

1.04 GUARANTEE:  
A. FURNISH GUARANTEE IN ACCORDANCE WITH THE GENERAL CONDITIONS, FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE - AT THE CONCLUSION OF THE MAINTENANCE PERIOD - ON COMPLETE WATER IRRIGATION SYSTEM, INCLUDING NONSETTLING OF THE BACKFILL IN TRENCHES WHICH, IF OCCURS, SHALL BE CORRECTED, INCLUDING REPAIRS AND/OR REPLACEMENT OF ANY MATERIAL DAMAGED THEREBY OR THEREFROM.

1.05 OBSERVATION:  
A. IN ALL CASES WHERE OBSERVATION OF THE SPRINKLER SYSTEM WORK IS REQUIRED AND/OR WHERE PORTIONS OF THE WORK ARE SPECIFIED TO BE PERFORMED UNDER THE DIRECTION AND/OR OBSERVATION OF THE ARCHITECT AND CITY REPRESENTATIVE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF THE TIME SUCH INSPECTION AND/OR DIRECTION IS REQUIRED.

B. OBSERVATION WILL BE REQUIRED FOR THE FOLLOWING PARTS OF THE WORK:  
1. UPON INSTALLATION AND TESTING OF MAIN LINES AND LATERAL LINES) WHEN PIPES ARE LAID AND ARE TO BE SUBMITTED TO PRESSURE TESTS. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN OBSERVED AND APPROVED.  
2. UPON INSTALLATION AND TESTING OF VALVES, QUICK COUPLERS, BACKFLOW PREVENTER DEVICE, AUTOMATIC CONTROLLERS, AND CONTROL VALVES AND WIRES.  
3. WHEN THE SPRINKLER SYSTEM IS COMPLETED, THE CONTRACTOR, IN THE PRESENCE OF THE ARCHITECT, SHALL PERFORM A COVERAGE TEST TO DETERMINE IF THE COVERAGE OF WATER AFFORDED THE LAWN AND PLANTING AREAS IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES TO COVER.  
4. FINAL OBSERVATION AND PERFORMANCE TEST SHALL BE AT THE SAME TIME AS THE FINAL OBSERVATION OF THE LANDSCAPE WORK.

1.06 TESTING:  
ALL PVC MAIN SHALL BE SUBJECTED TO A PRESSURE TEST OF 125 PSI FOR A PERIOD OF FOUR HOURS. ALL TESTING SHALL BE IN THE PRESENCE OF THE LANDSCAPE ARCHITECT. APPROVAL SHALL BE RECEIVED BEFORE BACKFILLING ANY TRENCH. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN OBSERVED AND APPROVED.

1.07 RECORD DRAWINGS:  
A. BEFORE FINAL ACCEPTANCE OF WORK, THE CONTRACTOR SHALL PROVIDE A RECORD SET OF DRAWINGS SHOWING THE SPRINKLER SYSTEM WORK. PROVIDE AS-BUILTS TO THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF (TWO) SETS OF PRINTS.  
1. ANY CHANGES IN LOCATION OF ITEMS OR TYPE OF INSTALLATIONS FROM THAT SHOWN ON DRAWINGS SHALL BE SO INDICATED ON THE RECORD DRAWINGS.  
2. VALVES SHALL BE NUMBERED AND CORRESPONDING NUMBERS SHALL BE SHOWN ON THE RECORD DRAWINGS.

3. ALL REMOTE CONTROL VALVES, SHUT-OFF VALVES, QUICK COUPLER VALVES SHALL BE LOCATED BY MEASURE DIMENSIONS. DIMENSIONS SHALL BE GIVEN TO PERMANENT OBJECTS AND SHALL BE TO THE NEAREST ONE-HALF FOOT AT TWO REFERENCE POINTS.

4. ON THE INSIDE SURFACE OF THE COVER OF EACH AUTOMATIC CONTROLLER, PREPARE AND MOUNT A CHART SHOWING THE VALVES AND SPRINKLER HEADS SERVICED BY THAT PARTICULAR CONTROLLER. ALL VALVES SHALL BE NUMBERED TO MATCH THE OPERATION SCHEDULE AND THE DRAWINGS AND SHALL BE COLOR CODED FOR EACH SEPARATE AREA SERVICED BY EACH VALVE. ONLY THOSE AREAS CONTROLLED BY THE CONTROLLER SHALL BE SHOWN. THIS CHART SHALL BE A PLOT PLAN, ENTIRE OR PARTIAL, SHOWING BUILDING, WALKS, ROADS AND WALLS, A PHOTOSTATIC PRINT OF THIS PLAN, REDUCED AS NECESSARY AND LEGIBLE IN ALL DETAILS. SHALL BE MADE TO A SIZE THAT WILL FIT INTO THE CONTROLLER COVER. THIS PRINT SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE HERMETICALLY SEALED BY PLASTIC. THIS SHALL THEN BE SECURED TO THE INSIDE OF THE COVER. PROVIDE TWO SETS OF THE CONTROLLER CHARTS FOR THE OWNER'S USE. EQUIPMENT, THE CONTRACTOR SHALL INDICATE ON THE DRAWINGS THE LOCATIONS OF SAID EQUIPMENT. DIMENSIONS SHALL BE GIVEN FROM PERMANENT OBJECTS SUCH AS BUILDINGS, SIDEWALKS, CURBS AND DRIVEWAYS.

1.08 GENERAL REQUIREMENTS:  
A. CODE REQUIREMENTS SHALL BE THOSE OF STATE AND MUNICIPAL CODES AND REGULATIONS LOCALLY GOVERNING THIS WORK, PROVIDING THAT ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS, NOT CONFLICTING THEREWITH BUT EXCEEDING THE CODE REQUIREMENTS SHALL GOVERN, UNLESS WRITTEN PERMISSION TO THE CONTRARY IS GRANTED BY THE DISTRICT.  
B. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING IN THE AREA DUE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY HIS OPERATIONS.  
C. CONNECTIONS SHALL BE MADE AT APPROXIMATELY THE LOCATIONS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.  
D. LANDSCAPE HEADERS AND MOWING STRIPS SHALL BE IN PLACE BEFORE INSTALLATION OF SPRINKLER SYSTEM.  
E. SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS.  
F. PLAN LOCATIONS OF HEADS, VALVES, CONTROLLER AND PIPE LINES ARE DIAGRAMMATIC AND INDICATE THE SPACING AND RELATIVE LOCATIONS OF ALL INSTALLATIONS.  
G. ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER, AND FROM LINES OF OTHER TRADES. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER.  
H. DIELECTRIC BUSHINGS SHALL BE USED IN ANY CONNECTIONS WITH PIPING OF DISSIMILAR METAL MATERIALS.  
I. POINT OF CONNECTION SHALL BE APPROXIMATELY AS SHOWN ON DRAWINGS. CONNECT NEW UNDERGROUND PIPING AND VALVES AND PROVIDE ALL FLANGES, ADAPTERS OR OTHER NECESSARY FITTINGS FOR CONNECTION.  
J. PERMISSION TO SHUT OFF ANY EXISTING IN-USE WATER LINES MUST BE OBTAINED 48 HOURS IN ADVANCE, IN WRITING FROM THE OWNER. THE CONTRACTOR SHALL RECEIVE INSTRUCTIONS FROM THE OWNER, AS TO THE EXACT LENGTH OF TIME OF EACH SHUT-OFF.  
K. CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS.

PART 2 - PRODUCTS  
2.01 MATERIALS:  
A. PIPING: PIPE SIZES SHOWN ARE NOMINAL INSIDE DIAMETER UNLESS OTHERWISE NOTED.  
1. POLYVINYL CHLORIDE PIPE:  
(A) PVC PLASTIC PRESSURE LINES: FOR PIPING UPSTREAM OF REMOTE CONTROL VALVES AND QUICK COUPLERS. ALL THREE (3) INCHES AND SMALLER SHALL BE TYPE I, GRADE 2 (IMPACT MODIFIED), DESIGNED AS PVC 1220, SCH. 40, BEARING THE SEAL OF THE NATIONAL SANITATION FOUNDATION.  
(B) PLASTIC NON-PRESSURE LINES: FOR PIPING DOWNSTREAM OF REMOTE CONTROL VALVES, TYPE 1, GRADE 2 (IMPACT MODIFIED), AS DESIGNATED S PVC 1220, CLASS 200, (SDR21), CONFORMING TO COMMERCIAL STANDARDS CS256-63.  
(C) IDENTIFICATION: FURNISH PLASTIC PIPE CONTINUOUSLY AND PERMANENTLY MARKED WITH FOLLOWING INFORMATION: MANUFACTURER'S NAME OR TRADE MARK, SIZE, CLASS AND TYPE OF PIPE, WORKING PRESSURE AT 73.4 DEGREES F., AND NATIONAL SANITATION FOUNDATION (NSF) RATING.  
2. BRASS PIPE SHALL BE IPS STANDARD WEIGHT 125 POUNDS, 85% RED BRASS.  
B. FITTINGS AND CONNECTIONS:  
1. POLYVINYL CHLORIDE PIPE FITTINGS AND CONNECTIONS: TYPE II, GRADE 1, SCHEDULE 40, HIGH IMPACT MOLDED FITTINGS, MANUFACTURED FROM VIRGIN COMPOUNDS AS SPECIFIED FOR PIPING, TAPERED SOCKET OR MOLDED THREAD TYPE, SUITABLE FOR EITHER SOLVENT WELD OR SCREWED CONNECTIONS. MACHINE THREADED FITTINGS AND PLASTIC SADDLE AND FLANGE FITTINGS ARE NOT ACCEPTABLE. FURNISH FITTINGS PERMANENTLY MARKED WITH FOLLOWING INFORMATION: NOMINAL PIPE SIZE, TYPE AND SCHEDULE OF MATERIAL, AND NATIONAL SANITATION FOUNDATION (NSF) SEAL OF APPROVAL. PVC FITTING SHALL CONFORM TO ASTM D2464 AND D2466.  
2. BRASS PIPE FITTINGS AND CONNECTIONS: STANDARD 125 POUND CLASS 85% RED BRASS FITTINGS AND CONNECTIONS.  
C. AUTOMATIC CONTROL WIRE:  
1. ELECTRIC WIRING RUNNING FROM CONTROLLER TO THE AUTOMATIC CONTROL VALVES SHALL BE NO. 14, SOLID, SINGLE CONDUCTOR, COPPER WIRE, 4/64 INCH INSULATION, 4/64 INCH NEOPRENE JACKET, STYLE BR (DIRECT BURIAL) OR EQUAL. COLOR CODE WIRES TO EACH VALVE. COMMON WIRE SHALL BE WHITE. NO SPLICING SHALL OCCUR BETWEEN CONTROLLER AND VALVES.  
D. AUTOMATIC CONTROLLER:  
1. CONTROLLER SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL WATER, ELECTRICAL AND DRAINAGE SERVICES, READY FOR OPERATION. UNIT SHALL BE ELECTRIC, SELF-CONTAINED OUTDOOR TYPE, WALL-MOUNTED, OR APPROVED EQUAL. SEE DETAIL FOR CONTROLLER ENCLOSURE.  
2. UNIT SHALL HAVE A MINIMUM OF STATIONS AS SHOWN ON THE IRRIGATION LEGEND.  
3. CONTROLLER SHALL BE THE LATEST MODEL OF THE PARTICULAR MANUFACTURER SUPPLIED. PROVIDE WARRANTY DOCUMENTS TO OWNER.  
4. UNIT SHALL BE A 120-VOLT, 60-CYCLE CONTROLLER, BE COMPLETELY AUTOMATIC AND SHALL FUNCTION OPTIONALLY WITH OR WITHOUT THE CLOCK.  
5. ANY STATION MAY BE REPEATED INDEPENDENTLY IN ANY 24 HOURS.  
6. STATIONS SHALL BE ADJUSTABLE FROM 1 TO 59 MINUTES.  
7. CONTROL PANEL SHALL BE REMOVABLE PLUG-IN TYPE.  
8. MECHANISM SHALL BE HOUSED IN A STURDY, VANDAL-PROOF CASE, MANUFACTURED OF 14-GAUGE STEEL OR CASE ALUMINUM; FURNISHED FOR MAXIMUM EXTERIOR PROTECTION.  
9. THE CLOCK AND ALL WORKING PARTS OF THE CONTROLLER SHALL BE CONTAINED WITHIN ONE PROTECTING COVER.

E. CONTROL VALVES:  
1. REMOTE CONTROL VALVES SHALL BE OF ALL PLASTIC BODY. VALVE SHALL BE PROVIDED WITH AN ADJUSTABLE FLOW CONTROL STEM AND SHALL BE OPERABLE MANUALLY WITHOUT ELECTRICITY.  
F. VALVE BOX:  
1. FOR REMOTE CONTROL VALVES 9-1/2" X 16" X 11" PLASTIC METER BOX.  
2. FOR BALL AND QUICK COUPLER VALVES: 8-3/4" DIAMETER X 12" PLASTIC VALVE BOX WITH EITHER BY OR QC BRANDED ON LID IN 2" HIGH LETTERS.  
G. ANTI-DRAIN EXCESS FLOW VALVES:  
1. ANTI-DRAIN EXCESS FLOW VALVES SHALL BE MAINTENANCE FREE AND CONSTRUCTED OF HEAVY DUTY TYPE I PVC WITH STAINLESS STEEL AND NEOPRENE INTERNAL PARTS. VALVES SHALL BE ADJUSTABLE FROM 5 FEET TO 40 FEET OF HEAD AND SHALL PREVENT ALL LOW HEAD DRAINAGE QUICKLY AND POSITIVELY AFTER PVC SHUT-OFF. VALVES SHALL HAVE A FEMALE IPS THREADED INLET AND OUTLET AND BE OF THE SAME SIZE AS THE RISER. THE ANTI-DRAIN VALVES SHALL BE VALCON #ADV-X.S. OR APPROVED EQUAL.  
H. SPRINKLER HEADS SHALL BE AS REQUIRED ON THE DRAWINGS OR APPROVED EQUAL.  
I. CHECK VALVES SHALL BE OF BRASS OR BRONZE, VERTICAL SPRING-BALL VALVES:  
1. PRODUCT: 1" - 2" SIZE (KING BROS. LO-TORQUE BALL VALVE MODELS LT. 1000-T THRU LT.2000-T) 2" - 4" SIZE (KING BROS. BLOCK TRUE UNION BALL VALVE MODELS VALENCIA, CALIFORNIA 91384 PHONE: (800) 541-2672 OR (805) 257-3262.  
K. CONCRETE FOOTINGS SHALL BE 2,000 PSI CONCRETE AT 28 DAYS.  
L. BACKFILL SHALL BE CLEAN FILL SOIL. (4" SAND OVER CONTROL WIRES).  
M. CONTRACTOR SHALL PROVIDE TO THE OWNER:  
1. TWO (2) CONTROL VALVE KEYS.  
2. TWO (2) WRENCHES FOR REMOVING EACH DIFFERENT TYPE OF SPRINKLER HEAD.  
3. SIX (6) HOSE BIG ASSEMBLIES.  
4. FIVE (5) KEYS FOR OPENING AND LOCKING EACH AUTOMATIC CONTROLLER.  
5. ALL WARRANTY DOCUMENTS, ALL MANUALS AND AS-BUILTS AND CONTROLLER CHARTS.  
N. PRESSURE REGULATOR SHALL BE BRONZE WITH SCREW FITTING. SEE DETAILS AND DRAWING.  
PART 3 - EXECUTION  
3.01 GENERAL REQUIREMENTS:  
A. LOCATIONS ON DRAWINGS ARE DIAGRAMMATIC AND APPROXIMATE ONLY, AND SHALL BE CHANGED AND ADJUSTED AS NECESSARY AS DIRECTED TO MEET EXISTING CONDITIONS AND OBTAIN COMPLETE WATER COVERAGE. LOCATE AND STAKE ALL WORK AND OBTAIN APPROVAL OF THE ARCHITECT BEFORE INSTALLATIONS.  
B. INSTALL AND EXTEND SYSTEM AS SHOWN ON THE DRAWINGS, AND AS NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.  
C. LOCATE LINES, VALVES AND OTHER UNDERGROUND UTILITIES AND RECEIVE THE APPROVAL OF THE ARCHITECT BEFORE DIGGING TRENCHES.  
3.02 INSTALLATION OF IRRIGATION SYSTEM:  
A. EXCAVATION AND BACKFILLING OF TRENCHES:  
1. EXCAVATE TRENCHES, PREPARE SUBGRADE, AND BACKFILL TO LINE AND GRADE WITH SUFFICIENT ROOM FOR PIPE FITTINGS, TESTING AND INSPECTING OPERATIONS. DO NOT BACKFILL UNTIL THE PIPE SYSTEM HAS BEEN SUBJECTED TO A HYDROSTATIC TEST AS SPECIFIED.  
2. DEPTH OF TRENCH: POLYVINYL CHLORIDE PRESSURE LINE 188 MINIMUM POLYVINYL CHLORIDE NON-PRESSURE LINE 128 MINIMUM TRENCHING THROUGH AREAS WHERE TOPSOIL HAS BEEN SPREAD: (A) DEPOSIT TOPSOIL ON ONE SIDE OF TRENCH AND SUBSOIL ON OPPOSITE SIDE.  
3. SUBSOIL SHALL BE FREE OF ALL ROCKS OVER ONE (1) INCH IN DIAMETER, DEBRIS, AND LITTER, PRIOR TO USE AS BACKFILL WHERE SO INDICATED ON DETAIL. PROVIDE 4" OF CLEAN SAND OVER CONTROLLER WIRING.  
4. REPAIR ANY LEAKS AND REPLACE ALL DEFECTIVE PIPE FITTINGS UNTIL LINES MEET TEST REQUIREMENTS. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN INSPECTED AND APPROVED FOR TIGHTNESS, QUALITY OF WORKMANSHIP AND MATERIALS.  
5. BACKFILL TRENCHES, AFTER APPROVAL OF PIPING, WITH SUITABLE AND APPROVED MATERIAL, TAMPING SOIL AROUND PIPE AND THOROUGHLY COMPACTING ALL TRENCH FILLS UNTIL 90% COMPACTION HAS BEEN ACHIEVED.  
6. BACKFILL MATERIAL SHALL BE AN APPROVED SOIL AS APPROVED BY THE CITY, FREE FROM ROCKS AND CLODS OVER 1" IN SIZE.  
B. INSTALLATION OF POLYVINYL CHLORIDE PIPE:  
1. BECAUSE OF THE NATURE OF PLASTIC PIPE AND FITTINGS, EXERCISE CAUTION IN HANDLING, LOADING AND STORING, TO AVOID DAMAGE.  
2. THE PIPE AND FITTINGS SHALL BE STORED UNDER COVER UNTIL USING, AND SHALL BE TRANSPORTED IN A VEHICLE WITH A BED LONG ENOUGH TO ALLOW THE LENGTH OF PIPE TO LAY FLAT SO AS NOT TO BE SUBJECTED TO UNDUE BENDING OR CONCENTRATED EXTERNAL LOAD AT ANY POINT.  
3. ANY PIPE THAT HAS BEEN DENTED OR DAMAGED SHALL BE DISCARDED UNTIL SUCH DENTED OR DAMAGED SECTION IS CUT AND REJOINED WITH A COUPLING.  
4. TRENCH DEPTH SHALL BE AS SPECIFIED ABOVE FROM THE FINISH GRADE TO THE TOP OF THE PIPE. THE BOTTOM OF THE TRENCH SHALL BE FREE OF ROCKS, CLODS, AND OTHER SHARP-EDGED OBJECTS.  
5. PIPE ENDS AND FITTINGS SHALL BE WIPED WITH MEK, OR EQUAL, BEFORE WELDING SOLVENT IS APPLIED. WELDED JOINTS SHALL BE GIVEN A MINIMUM OF 15 MINUTES TO SET BEFORE MOVING OR HANDLING. ALL FIELD CUTS SHALL BE BEVELED TO REMOVE BURRS AND EXCESS BEFORE FITTING AND GLUING TOGETHER.  
6. PIPE SHALL BE SNAKED FROM SIDE-TO-SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.  
7. CENTER LOAD PIPE WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND SLIPPING UNDER PRESSURE. LEAVE JOINTS EXPOSED FOR INSPECTION DURING TESTING.  
8. NO WATER SHALL BE PERMITTED IN THE PIPE UNTIL INSPECTIONS HAVE BEEN COMPLETED AND A PERIOD OF AT LEAST 24 HOURS HAS ELAPSED FOR SOLVENT WELD SETTING AND CURING.  
9. PLASTIC TO METAL JOINTS SHALL BE MADE WITH PLASTIC MALE ADAPTERS, METAL NIPPLE HAND TIGHTENED, PLUS ONE TURN WITH A STRAP WRENCH.  
10. PLASTIC TO PLASTIC JOINTS: SOLVENT-WELD, USING SOLVENT RECOMMENDED BY PIPE MANUFACTURER ONLY.  
11. SOLVENT-WELD JOINTS: ASSEMBLE PER MANUFACTURER'S RECOMMENDATION.

C. INSTALLATION OF BRASS PIPE:  
1. CUT BRASS PIPING BY POWER HACKSAW, CIRCULAR CUTTING MACHINE USING AN ABRASIVE WHEEL, OR HAND HACKSAW. CUT NO PIPING WITH METALLIC WHEEL. CUTTER OF ANY DESCRIPTION REAM AND REMOVE ROUGH EDGES OR BURRS SO SMOOTH AND UNOBSTRUCTED FLOW IS OBTAINED.  
2. CAREFULLY AND SMOOTHLY PLACE ON MALE THREAD ONLY. TIGHTEN SCREWED JOINTS WITH TONGS OR WRENCHES. CAULKING IS NOT PERMITTED.  
REMOTE CONTROL WIRING:  
1. DIRECT BURIAL CONTROL WIRE SIZES: AS SHOWN AND SPECIFIED HEREIN BEFORE.  
2. PROVIDE ONE CONTROL WIRE AND ONE COMMON GROUND WIRE TO SERVICE EACH VALVE IN SYSTEM. PROVIDE 4-FOOT MINIMUM EXPANSION LOOP AT EACH VALVE TO PERMIT REMOVAL AND MAINTENANCE OF VALVES.  
3. INSTALL CONTROL WIRES AND IRRIGATION PIPING IN COMMON TRENCHES WHEREVER POSSIBLE.  
4. CONTROL WIRE SPLICES: ALLOW ONLY ON RUNS OF MORE THAN 300 FEET, SPLICES AS FOLLOWS:  
(1) STRIP OFF MINIMUM OF 2-1/2 INCHES OF INSULATION FROM EACH WIRE.  
(2) TWIST ON SCOTCHLOCK ELECTRICAL SPRING CONNECTOR, MINIMUM FOUR COMPLETE TURNS.  
(3) SEAL CONNECTOR IN EPOXY RESIN.  
(4) TAPE COMPLETED SPLICE WITH SCOTCH 33 ELECTRICAL TAPE.  
5. NUMBERING AND TAGGING: IDENTIFY DIRECT BURIAL CONTROL WIRES FROM AUTOMATIC VALVES TO TERMINAL STRIPS OF CONTROLLER AT TERMINAL STRIP BY TAGGING WIRE WITH NUMBER OF CONNECTED VALVE.  
E. AUTOMATIC CONTROLLER:  
1. AUTOMATIC CONTROLLER SHALL BE INSTALLED AS SHOWN AND DIRECTED. CONTROLLER SHALL BE TESTED WITH COMPLETE ELECTRICAL CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY POWER TO THE CONTROLLER FOR OPERATION AND TESTING PURPOSES.  
2. CONNECTIONS TO CONTROL WIRING SHALL BE MADE WITHIN THE RECESSED OF THE CONTROLLER. ALL WIRE SHALL FOLLOW THE PRESSURE MAIN INsofar AS POSSIBLE.  
3. ELECTRICAL WIRING SHALL BE IN A RIGID PVC PLASTIC CONDUIT FROM CONTROLLER TO ELECTRICAL OUTLET. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING TO THE SUB-PANELS, CLOCKS, OR ELSEWHERE AS REQUIRED, IN ORDER TO COMPLETE THIS INSTALLATION. A DISCONNECT SWITCH SHALL BE INCLUDED.  
4. CONTROLLER SHALL HAVE A MASTER SWITCH. IT SHALL BE POSSIBLE TO OPERATE EACH VALVE MANUALLY, INDEPENDENT OF THE CLOCK OF ANY OTHER VALVE.  
F. REMOTE CONTROL VALVES:  
1. INSTALL REMOTE CONTROL VALVES AS SHOWN ON DETAIL.  
G. VALVE BOX:  
1. INSTALL VALVE BOXES AS SHOWN ON DETAIL. INSTALL NO MORE THAN ONE VALVE PER BOX. 2" HIGH BRANDED LETTERING ON VALVE TOP OF VALVE BOX LID DELINEATING THE VALVE NUMBER AND CONTROLLER  
H. SPRINKLER HEADS:  
1. ALL SPRINKLER HEADS SHALL BE INSTALLED AS PER DETAILS SHOWN.  
2. NOZZLE SIZE OF ALL HEADS SHALL BE ADJUSTED TO SUIT ANY PARTICULAR CONDITIONS OF THE AREA. THIS SHALL BE DONE AFTER THE SYSTEM HAS BEEN THOROUGHLY TESTED, IMMEDIATELY AFTER WRITTEN NOTIFICATION BY THE ARCHITECT TO DO SO.  
I. BALL VALVES:  
1. INSTALL WHERE SHOWN AS DETAILED.  
J. PRESSURE REGULATOR SHALL BE INSTALLED AS PER DRAWINGS AND DETAIL. VERIFY FINAL LOCATION WITH ARCHITECT.  
K. INSTALLATION OF ANTI-DRAIN VALVES: ANTI-DRAIN VALVES SHALL BE INSTALLED IN THE RISER ASSEMBLIES OF ALL SPRINKLER HEADS THAT DO NOT HAVE MANUFACTURER INSTALLED ANTI-DRAIN DEVICES.  
L. INSTALL QUICK COUPLERS AND REMOTE CONTROL VALVES ADJACENT TO WALKS AND WITH IN 18" OF PLANTER CURBS IN SHRUB PLANTING AREAS. INSTALL QUICKCOUPLERS VALVES NO FURTHER AND 170' APART.  
M. SLEEVING:  
1. CROSSING OF ROADS WITH IRRIGATION PIPE OR WIRING SHALL BE AVOIDED WHEREVER POSSIBLE. IF A CROSSING MUST BE MADE, SCHEDULE 80 PVC SLEEVES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 30" BELOW FINISH GRADE.  
2. IRRIGATION LINES UNDER OTHER ASPHALT CONCRETE OR PORTLAND CONCRETE IMPROVEMENTS (OTHER THAN ROADS) SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES AT A MINIMUM DEPTH OF 18" BELOW FINISHED GRADE.  
3. SLEEVE SIZES FOR IRRIGATION LINES SHALL BE A MINIMUM OF TWO (2) TIMES THE SIZE OF THE LINE IT SERVES.  
4. CONTROLLER WIRES LOCATED UNDER STREETS OR OTHER PERMANENT IMPROVEMENTS SHALL BE INSTALLED IN SEPARATE PVC SLEEVES AND (CORRESPONDING TO TYPE AND DEPTH AS SPECIFIED IN N-1. AND N-2. ABOVE.  
3.03 CLEAN-UP:  
A. AS PROJECT PROGRESSES, CONTRACTOR SHALL MAINTAIN ALL AREAS IN A NEAT MANNER AND REMOVE UNSIGHTLY DEBRIS AS NECESSARY. AFTER COMPLETION OF THE PROJECT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND CONTAINERS USED IN ACCOMPLISHING WORK. HE SHALL SWEEP AND CLEAN ALL SIDEWALKS, ASPHALT, AND CONCRETE AREAS ADJACENT TO THE PLANTINGS.

SUBSURFACE DRIP IRRIGATION INSTALLATION GUIDELINES:

- THE TYPICAL RECOMMENDED PIPE DEPTH FOR THE DRIPLINE IS 4" BELOW FINISH GRADE.
  - FRO TURF AREAS WHERE AERIFICATION IS A PART OF NORMAL MAINTENANCE OPERATIONS, TUBING MUST BE BURIED BELOW THE REACH OF AERIFICATION EQUIPMENT.
  - USE 710 SERIES COMPRESSION FITTINGS FOR ALL DRIPLINE CONNECTIONS TO ENSURE THE INTEGRITY OF THE CONNECTION.
  - IT IS IMPERATIVE THAT DL200 DRIPLINE IS INSTALLED AT A UNIFORM DEPTH AND WITH ACORDING TO MAUFACTURER'S SPECIFICATIONS.
- DRIPLINE CAN BE INSTALLED USING ONE OF THE FOLLOWING METHODS:
- HAND TRENCHING OR BACKFILLING: THE ADVANTAGES TO THIS METHODS ARE; A) HANDLES SERERE SLOPES CONFINED AREAS, B) UNIFORM DEPTH.
  - OSCILLATING O VIBRATING PLOW (CABLE OR PIPE PULLING TYPE). ADVANTAGES TO THIS METHODS ARE; A) FAST IN SMALL TO MEDIUM INSTALLATIONS, B) MINIMUM GROUND DISTURBANCE, C) NO NEED TO BACKFILL THE TRENCH.
  - TRENCHING MACHINE. THE ADVANTAGES TO THIS METHODS ARE; A)FASTER THAN HAND TRENCHING, B) MAY USE 1" BLADE FOR MOST INSTALLATIONS, C) UNIFORM DEPTH.
  - TRACTOR-MOUNTED 3-POINT HITCH INSERTION IMPLEMENT. THE ADVANTAGES TO THIS METHODS ARE; A) FASTEST METHOD UP TO FOUR LOW ATTACHMENTS WITH REELS, B) PACKER ROLLER COMPACTS SOIL OVER PIPE.

A DRIP IRRIGATION NOTES

1/4/2024 4:19:30 PM

SUBMITTALS / REVISIONS		
#	Date	Revision/Submittal

**BCA**

Brian Church  
Architecture  
507 S. Cedros Ave  
Solana Beach, CA

**MURPHY**

520 North Cedros Avenue, Solana Beach, CA 92075

**IRRIGATION SPECIFICATIONS**

**NOT FOR CONSTRUCTION**

LICENSED ARCHITECT

STATE OF CALIFORNIA C-22,265

**BRIAN CHURCH**

09/30/24

SCALE: 12" = 1'-0"

DATE: 1/4/21

SHEET

**L5**





REPORT NUMBER: 20-038-025

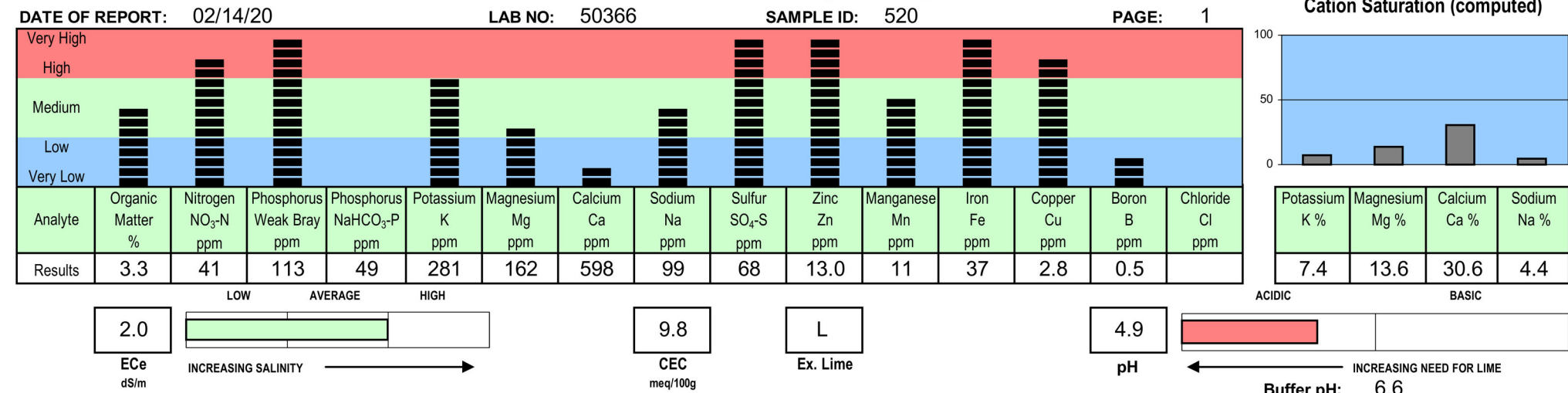
CLIENT NO: 1358

SEND TO: GRO-POWER INC  
 15065 TELEPHONE AVENUE  
 CHINO, CA 91710-9614

GROWER: MURPHY-520 N CEDROS

SUBMITTED BY: BRIAN

**Graphical Soil Analysis Report**



NaHCO<sub>3</sub>-P unreliable at this soil pH

**Soil Fertility Guidelines**

CROP:	Lime (70 score)	Gypsum	Elemental Sulfur	Nitrogen	Phosphate	Potash	Magnesium	Sulfur	Zinc	Manganese	Iron	Copper	Boron
Dolomite	90			1.4									

**LIME REQUIREMENT:** Liming may be necessary if buffer index is less than 6.9. Guidelines are based upon common agricultural lime (70-score) per six-inch depth to raise SOIL pH to about 6.5.  
**PRIOR TO PLANTING:** Spread the above requirements per 1,000 sq ft and mix into the top 6-8 inches of soil. Initially, limit nitrogen to 1.5 lb/1,000 sq ft or 25-30 ppm NO<sub>3</sub>-N to avoid salt damage.  
**SULFATE-SULFUR:** Where levels are very high (VH), ensure that adequate watering and drainage can be achieved before applying further fertilizer or amendments.  
**MICRONUTRIENTS:** Where levels appear to be high, avoid any further applications for the time being. Very high (VH) levels may not necessarily be toxic, but avoid. Maintain correct soil pH.

*Rogell Rogers*  
 Rogell Rogers, CCA, PCA  
 A & L WESTERN LABORATORIES, INC

**SOIL SAMPLE INFORMATION SHEET**

(Note: This information sheet must be submitted along with the soil sample bag/s)

GRO-POWER®, INC.

15065 TELEPHONE AVENUE, CHINO, CA 91710-9614 • (909) 393-3744 - FAX (909) 393-2773 E-Mail: info@gro-power.com

<b>Company Name</b>	BRIAN CHURCH ARCHITECTS	<b>PROJECT NAME:</b>	MURPHY-520 N CEDROS
<b>Contact</b>	BRIAN CHURCH	<b>PROJECT NUMBER:</b>	
<b>Address</b>	507 S. CEDROS AVE 92075		
<b>City, State, Zip</b>	SOLANA BEACH CA		
<b>Office</b>	558-793-3437		
<b>E-Mail</b>	BRIAN@BRIANCHURCHARCHITECTURE.COM		

Soil Sample to be Rock/Debris Free 2cups = 1Lb. Check box if a soil texture test is required to meet AB 1881 Ordinance. Soil Sample to be Rock/Debris Free

TEST PACKAGE \*\*S3C with Graphics 1 Lb. of Soil Required SOIL TEXTURE TEST - \$15\*\* Additional 1 Lb of Soil Required NOTE: Additional Charges apply

Check box if project requires specifications to be in a "performance specifications" format (no product name) 50366

SAMPLE NUMBER	Project Site / Sample Information	MARK DESIRED RECOMMENDATIONS					
		Soil Prep	Backfill	Maintenance	Hydroseeding	Bioswale	With Mycorrhizae
	520 N. CEDROS AVE						

REMARKS: PLEASE CONTACT BRIAN, NOT SURE WHAT RECOMMENDATIONS ABOVE ARE REQUIRED -

[ ] Check box if site is Remediation, Reclamation or Re-vegetation of Superfund site, Mine Site, etc.

\*\*S3C Test Package listed includes: organic matter, estimated nitrogen release, phosphorus, Bray 1, HCO<sub>3</sub>-P, potassium, magnesium, calcium, sodium, soil pH, buffer pH, hydrogen, C.E.C. (computed), percent cation saturation (computed), soluble salts, excess lime, nitrate nitrogen, sulfate sulfur, zinc, manganese, iron, copper and boron.

\*\*\* (S15) Soil Texture Test includes: % Sand, % Silt, % Clay. (AB 1881 Ordinance requires a soil texture report to be part of the Soil Management Report) (Note additional charges apply)

FURTHER RECOMMENDATIONS WILL BE PROVIDED BY GRO-POWER®, INC. FOR ITEMS MARKED.

Please do not send any money with your soil sample. Gro-Power®, Inc., will bill you when the recommendations are made. \*Please retain a copy for your record\*

MAIL SAMPLES TO: A & L Western Agricultural Laboratories  
 1311 Woodland Avenue, Suite #1  
 Modesto, CA 95351

*Rogell Rogers*  
 Signature Date Mailed 2-3-20

© Gro-Power® Inc. / A & L Western Agricultural Laboratories

**INTERPRETATION OF ANALYSIS**

NAME: Brian Church Architects

LAB NO.: 50366

DATE: 02/14/20

PROJECT: Murphy, 502 N. Cedros Ave.

Page 1 of 2

TEXTURES*		
<input type="checkbox"/>	SANDY SOILS	<input checked="" type="checkbox"/>
<input type="checkbox"/>	LOAM SOILS	<input type="checkbox"/>
<input type="checkbox"/>	CLAY SOILS	<input type="checkbox"/>

\*Texture estimate derived from CEC value. For more precise texture information, further testing is required. Contact lab for information.

LIME (amount of solid lime distributed in soil)	
<input type="checkbox"/>	HIGH
<input type="checkbox"/>	MODERATE
<input checked="" type="checkbox"/>	LOW

pH	
<input checked="" type="checkbox"/>	4.9

EC		BORON (ppm)	
<input type="checkbox"/>	0 - 1.9	<input checked="" type="checkbox"/>	0.0 - .6
<input checked="" type="checkbox"/>	2 - 3.9	<input type="checkbox"/>	.7 - 1.4
<input type="checkbox"/>	4 - 7.9	<input type="checkbox"/>	1.5 - 4.9
<input type="checkbox"/>	8 - 16	<input type="checkbox"/>	5.0 - 10.0
<input type="checkbox"/>	over 16	<input type="checkbox"/>	10.0 - over

Page 2 of 2 PROJECT: Murphy, 502 N. Cedros Ave. LAB NO.: 50366

PERCENT SODIUM SATURATION	
<input checked="" type="checkbox"/>	Below 5
<input type="checkbox"/>	5 - 15
<input type="checkbox"/>	Above 15

NUTRIENTS						
NITROGEN (N)	<input type="checkbox"/>	LOW	<input type="checkbox"/>	MODERATE	<input checked="" type="checkbox"/>	HIGH
PHOSPHORUS (P <sub>2</sub> O <sub>5</sub> )	<input type="checkbox"/>	LOW	<input type="checkbox"/>	MODERATE	<input checked="" type="checkbox"/>	HIGH
POTASSIUM (K <sub>2</sub> O)	<input type="checkbox"/>	LOW	<input type="checkbox"/>	MODERATE	<input checked="" type="checkbox"/>	HIGH

ORGANIC MATTER (Percent as designated on the soil analysis)*	
<input type="checkbox"/>	VERY LOW
<input type="checkbox"/>	LOW
<input type="checkbox"/>	MODERATE
<input checked="" type="checkbox"/>	HIGH
<input type="checkbox"/>	VERY HIGH

WATER PERCOLATION RATE (INCHES/HOUR)*	
<input type="checkbox"/>	VERY RAPID
<input type="checkbox"/>	RAPID
<input type="checkbox"/>	MODERATELY RAPID
<input checked="" type="checkbox"/>	MODERATE
<input type="checkbox"/>	MODERATELY SLOW
<input type="checkbox"/>	SLOW
<input type="checkbox"/>	VERY SLOW

**SOIL MANAGEMENT REPORT**

**SOILS TREATMENT**

**LANDSCAPE AREAS**

ALL NEW PLANTING OCCURRING IN EXISTING LANDSCAPE/PLANTING AREAS SHALL REQUIRE MINIMAL SOIL AMENDMENTS (> 6% ORGANIC MATTER). NEW LANDSCAPE AREAS SHALL INCLUDE COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE, INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SEE RECOMMENDATIONS BELOW

**SHRUB AND GROUND COVER AREAS-**

SOILS IN AREAS TO BE PLANTED WITH SHRUBS AND GROUND COVER SHALL BE TILLED TO A DEPTH OF 6". PLANTING MULCH SHALL BE MIXED IN AT A RATIO OF 50% BY VOLUME. SEE RECOMMENDATIONS BELOW

**TREE WELLS -**

SOILS IN AREAS TO BE PLANTED WITH NEW TREES SHOULD BE TILLED TO A DEPTH OF 24". PLANTING MULCH SHALL BE MIXED IN AT A RATIO OF 50% BY VOLUME

**EVALUATION OF SOIL ELEMENTS:**

- PH IS LOW, INDICATING ACIDIC SOIL. ADDITION OF LIME IN SOIL PREPARATION WILL AID IN RISING PH TO MORE ACCEPTABLE LEVELS.
- LIME LEVEL IS LOW
- EC (SOLUBLE SALTS) IS ONLY SLIGHTLY ELEVATED. A GOOD IRRIGATION PROGRAM WILL HELP TO MAINTAIN LOWER SALINITY LEVELS IN ROOT ZONE.
- BORON IS LOW. NO TOXICITY PROBLEM.
- EXCHANGEABLE SODIUM IS LOW WITH SOME BALANCE PROVIDED BY MAGNESIUM AND CALCIUM.
- MAJOR NUTRIENTS: NITROGEN IS HIGH - PHOSPHORUS IS HIGH - POTASSIUM IS HIGH. GRO-POWER® PRODUCTS USED AT SPECIFIED RATES WILL PROVIDE ADEQUATE MAJOR AND MICRONUTRIENTS FOR PLANT ESTABLISHMENT AND VIGOROUS GROWTH.

**SPECIAL COMMENTS:**

- AMENDMENTS ARE MORE EFFECTIVE WHEN THOROUGHLY MIXED INTO THE SOIL.

**SOIL PREPARATION:**

**MATERIALS RECOMMENDED PER 1,000 SQUARE FEET**

- 50 LBS. GRO-POWER® PLUS
- 90 LBS. DOLOMITE LIME
- 2 CU. YD. OF NITROLIZED SHAVINGS OR GOOD QUALITY COMPOST

APPLY RECOMMENDED MATERIALS AND ROTOTILL A MINIMUM OF TWO DIRECTIONS, TO A DEPTH OF 4-6 INCHES. AFTER SOIL PREPARATION, BUT PRIOR TO PLANTING, IRRIGATE WITH OVERHEAD IRRIGATION SO THAT A MINIMUM OF 1-3 INCHES OF GOOD QUALITY WATER PASSES THROUGH THE SOIL PROFILE, BEYOND THE ROOT ZONE.

**BACKFILL:**

- 70% NATE ON SITE SOIL, BY VOLUME
- 30% NITROLIZED SHAVINGS OR GOOD QUALITY COMPOST
- 3 LBS. GRO-POWER® PLUS
- 5 LBS. DOLOMITE LIME
- GRO-POWER® PLANTING TABLETS FOR EXTENDED FEED/CONDITIONING

DIG PLANTING PITS 1-1/2 TIMES THE WIDTH AND 1 TIME THE DEPTH OF THE ROOT BALL. FILL PITS WITH BACKFILL MIX TO THE DEPTH OF THE ROOT BALL AND IRRIGATE THOROUGHLY. BE SURE ENTIRE ROOT BALL AREA IS COVERED WHEN PLANTING.

SPECIALTY PLANTS MAY REQUIRE SPECIAL BACKFILL MIX AND PLANTING INSTRUCTIONS.

**MAINTENANCE:**

INITIALLY FEED WITH 20 LBS. GRO-POWER® PLUS PER 1,000 SQ. FT. ON DAY 45 TO 85. THEREAFTER, FEED WITH SAME PRODUCT AT SAME RATE EVERY 8 TO 12 WEEKS, DEPENDING ON USAGE AND/OR DESIRED LEVEL OF MAINTENANCE. YOU MIGHT CONSIDER ALTERNATING WITH A BALANCED CHEMICAL FERTILIZER, SO THAT 1/2 TO 1 LB. OF NITROGEN IS APPLIED PER 1,000 SQ. FT. OR, GRO-POWER® PREMIUM HI-NITROGEN (18-3-7/ER) AT 8-1/2 LBS. PER 1,000 SQ. FT.

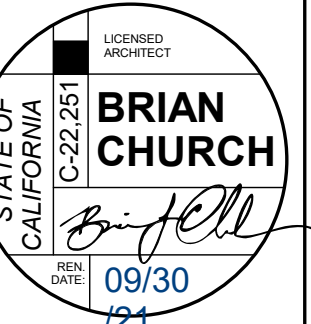
GRO-PWER® FLOWER 'N' BLOOM (3-12-12) AT 20 LBS. PER 1,000 SQ. FT. IS AN EXCELLENT PRODUCT FOR COLOR AND BLOOMING PLANTS. SEE ENCLOSED LONG TERM MAINTENANCE SCHEDULE FOR MORE SPECIFIC RECOMMENDATIONS.

1/4/2021 4:20:03 PM

#	Date	Revision/Submittal

**BCA**  
 Brian Church  
 Architecture  
 507 S. Cedros Ave  
 Solana Beach, CA

**MURPHY**  
 520 North Cedros Avenue, Solana Beach, CA 92075



SCALE:  
 DATE: 1/4/21  
 SHEET

**L6**

SOILS ANALYSIS NOT FOR CONSTRUCTION





# STAFF REPORT CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** City Clerk’s Office  
**SUBJECT:** **2021 Annual Citizen Commission Appointments & Discuss Climate Action Committee Jr. Member(s)**

## **BACKGROUND:**

### 2021 Annual Citizen Commission Appointments

Approximately half of the Solana Beach Citizen Commission members’ two-year term appointments expire every January. By the end of January 2021, five Citizen Commissions will have 16 scheduled vacancies of public appointments for new two-year terms.

All appointments to Citizen Commissions are conducted in accordance with Council Policy No. 5 - *Appointment of Citizens to Boards, Commissions, Committees, and Task Forces* (Attachment 2) - and all persons interested in serving on the City’s Citizen Commissions are required to complete and file a Citizen Interest Form (application), with the required references, and submit it to the City Clerk for formal application processing. For those Commission members who may be reapplying for their position’s scheduled vacancy, a re-submittal application is made available for minor changes to their original full application, thus streamlining the application process. However, if the applicant applies for a new Commission or wants to modify any of the questionnaire sections, a new full application is required. The Application/Citizen Interest Form is available year-round at the City Clerk’s Office and on the City’s website. Any person interested in serving on a Citizen Commission may submit an application any time prior to or during the annual or other recruitment periods.

Pursuant to California Government Code Section 54972 (the “Maddy Act”), the posting of certain information of all current members appointed by City Council is required, listing the names of all serving appointees, original date of appointment, term and qualifications for all appointed positions. This posting requirement was met on November 5, 2020 on the City’s bulletin board and on the City’s website (Attachment 1).

### Junior Commissioner(s) – Climate Action Commission (CAC)

On August 26, 2020, the City Council discussed adding a Junior Commission Member to the existing 9-member Climate Action Commission with potential voting rights. The CAC met on October 21, 2020 and proposed the following criteria regarding the addition of Junior Commissioners:

CITY COUNCIL ACTION: _____ _____
-------------------------------------

- Maximum of five (5) local high school students
- No voting rights
- Must attend 50% of the annual meetings (six)
- Must team up with one current CAC Member
- One-Year Appointment Term
- Solana Beach residents preferred, but not required
- CAC to select the Junior Members
- Application to include summary of interest in the environment

Staff has developed a draft Junior Commissioner Application (Attachment 8) based on the CAC recommendations. Staff also proposes the consideration for CAC to appoint Junior Commissioners in September or the beginning of Summer so that there is alignment with the high school academic year.

This report is before City Council to 1) appoint applicants to fill 16 vacancies among the City's five Citizen Commissions and 2) Discussion criteria for adding Junior Commission Members to the Climate Action Commission.

**DISCUSSION:**

Council will make appointments to all five (5) Citizen Commissions for 16 expiring vacancies. The positions to be filled are for two-year terms, until January 2023, are as follows:

Vacancies	Term	Subject to Vote Appointment by:
<b>Budget and Finance Commission: 3 vacancies total</b>		
Three (3) vacancies	2 Years Until End of Jan 2023	Mayor Heebner
		Councilmember Zito (District 1)
		Councilmember Edson (District 3)
<b>Climate Action Commission: 3 vacancies total</b>		
Two (2) vacancies <i>Residents</i>	2 Years Until End of Jan 2023	Council-at-large
One (1) vacancy <i>Professional (resident or non-resident)</i>	2 Years Until End of Jan 2023	Council-at-large
<b>Parks and Recreation Commission: 4 vacancies total</b>		
Four (4) vacancies	2 Years Until End of Jan 2023	Council-at-large



<b>Public Arts Commission: 3-vacancies total</b>		
Three (3) vacancies	2 Years Until End of Jan 2023	Council-at-large
<b>View Assessment Commission: 3 vacancies total</b>		
Three (3) vacancies	2 Years Until End of Jan 2022	Mayor Heebner
		Councilmember Zito Becker (District 4)
		Councilmember Edson (District 3)

*Notification/Recruitment Efforts*

The “Maddy Act” posting provides a notice of the status of member appointments for general reference. In addition, a vacancy notice (Attachment 3) was prepared and posted and various efforts were made to seek public interest (Attachment 4).

*Application Process*

The Application deadline was posted for January 19, 2021 at 5:30 p.m. to process and distribute all applications with the agenda packet. If additional applications are received after this deadline, they will be submitted to Council for consideration.

Resubmittal applications were accepted from members re-applying for the same position while new applications were submitted from new applicants or current members applying for a different Commission. Applications were reviewed for contact information, choices, and verification of requirement criteria, such as property ownership, which is required for two Commissions (Budget and Finance and View Assessment).

*Distribution to Council*

This Staff Report contains an *Application Worksheet* (Attachment 6) outlining each applicant’s Commission selection(s) and their respective application submittals (Attachment 7). The applications are on file with the City Clerk’s Office and were distributed to the City Council with the Agenda Packet.

*Appointment Protocol*

As outlined in Solana Beach Municipal Code (SBMC) Section 2.60, appointment designations are noted for each individual Commission, whether a position is appointed by Council-at-Large or whether it is designated by an individual Councilmember. These appointment designations are noted on the Public Notice. All nominations are subject to a majority vote of the City Council.

*Member Requirements*

SBMC Sections 2.64, 2.72, 2.74, 2.84, Resolution 2007-160, and Resolution 2015-127 outline some of the duties of the Commissions; however, there are other duties and assignments provided in relation to various opportunities and issues that occur throughout

the year. To carry out the Commission's work, SBMC Section 2.60.010 outlines the requirements of meeting attendance. As a legislative body, like the City Council, Citizen Commissions are required to fulfill a responsibility of participating in each meeting for all matters brought before the Commission. In addition, the Commission Handbook, provided to each appointed/re-appointed member, and posted online, provides various other requirements, regulations, guidelines, and procedures for Commission members.

### *Member Appointment Term*

The appointment date of Commission members triggers deadlines for required tasks and filing paperwork. The appointed member may begin participating in Commission work once they have been sworn in by taking their Official Oath, administered by the City Clerk's Office. The swear-in may take place before or at the first meeting of the Commission as coordinated with the City Clerk's Office. Member terms end on January 31 or once an appointment is made to their position, whichever occurs first.

### Junior Commissioner(s) – Climate Action Commission (CAC)

Based on Council direction to obtain recommendations for addition of a Junior Commissioner, the CAC made recommendations similar to those for the Parks and Recreation (PRC) Youth Advisory Group. For reference, here are the minor differences between the PRC Youth members and the proposals Council discussed from CAC for the Junior Member:

<u>CAC Junior Member</u>	<u>Parks &amp; Rec. Youth Advisory</u>
Up to 5 members	Up to 6 members
Residents preferred, not required	Residency required
High School	Elementary, Middle & High School

The City Council may adopt or modify the CAC recommendations for the Junior Member, specifically addressing whether or not the Junior Member(s) have voting rights and how to determine tie votes in the event of an even number of Commissioners. Upon Council direction, Staff will return with a Resolution adding Junior Member(s) to the Climate Action Commission.

During the Council Meeting on January 13, 2021, Council also discussed the possibility of appointing only one Council Member as had been previously provided by Council's adoption of Resolution 2017-027.

### **FISCAL IMPACT:**

There is no significant fiscal impact associated with this annual appointment process. Pursuant to City Council Policy 19 (*Background Check Requirements for Citizen Commissions*), new appointees are required to complete a background check for which they may be reimbursed for up to a maximum of \$20.00. The Human Resources department incurs the cost for background checks for Commission members.

However, if Junior Commission Members are not required to complete a background check, such as the Parks & Recreation Commission, this cost will not be incurred.

### **WORK PLAN:** N/A

**OPTIONS:**

- Approve Staff recommendation and proceed with appointments for vacancies.
- Do not approve Staff recommendation and extend deadline to receive new applications, allowing expiring positions to remain vacant until refilled.

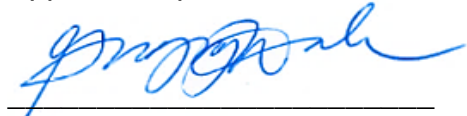
**DEPARTMENT RECOMMENDATION:**

Staff recommends that City Council:

1. Appoint three (3) members to the **Budget and Finance** Commission nominated/appointed by individual members (Mayor, Councilmembers Zito and Edson) for two-year terms.
2. Appoint three (3) members to the **Climate Action** Commission nominated/appointed by *Council-at-large for the following positions:*
  - a. Two (2) *Resident* appointments for two-year terms.
  - b. One (1) *Professional* appointment for member of the environmental and/or scientific community (*resident or non-resident*) for a two-year term.
3. Appoint four (4) members to the **Parks and Recreation** Commission nominated/appointed by *Council-at-large* for two-year terms.
4. Appoint three (3) members to the **Public Arts** Commission nominated/appointed by *Council-at-large* for two-year terms.
5. Appoint three (3) members to the **View Assessment** Commission appointed by individual Councilmembers (Mayor Heebner, Deputy Mayor Becker and ~~Zito~~ Councilmember Edson) for two-year terms.
6. Discussion criteria for addition of Junior Member(s) on the Climate Action Commission and direct Staff to prepare/finalize an application and a Resolution in accordance therewith.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department recommendation.



Gregory Wade, City Manager

Attachments:

1. Maddy Act Posting
2. Policy No. 5
3. Vacancy Notification Flyer
4. Recruitment Efforts
5. Worksheet outlining openings and applicants' choice(s)
6. List of Applicants
7. Applications (in separate binder)
8. Draft CAC Jr Commissioner Application





## PUBLIC NOTICE LOCAL APPOINTMENTS LIST

**NOTICE TO THE PUBLIC:** In compliance with the requirements of the Maddy Act, Government Code 54972, the following appointment list is provided for public notice. The Solana Beach Local Citizen Commission Appointments List shows all current members, the term expiration date, and the current membership requirements.

Post	Member	Appointed Date	Post's Term Expiration Date	Post Appointed By
------	--------	----------------	-----------------------------	-------------------

**BUDGET & FINANCE:** 5 members

Must be at least 18 years old, a city resident & property owner within the City of Solana Beach.

All members serve at the pleasure of each individual Councilmember's nomination.

Post 1	Jolene Koester	01-23-19	January 2021	Hegenauer/next by New Mayor
Post 2	Jeff Lyle	01-23-19	January 2021	Edson (District 3)
Post 3	Kevin (Ed) Murphy	01-23-19	January 2021	Zito (District 1)
Post 4	Charles (Rodney) Cooper	01-22-20	January 2022	Becker
Post 5	David Clemons	01-22-20	January 2022	Harless

**CLIMATE ACTION:** 9 members

Five Members must be at least 18 years old and a resident within the City of Solana Beach

Two members must be professionals from the scientific or environmental community. *Resident or Non-Resident*

Two Current Councilmembers, or 1 Councilmember and one from another position, as determined by Council.

All members are appointed by the Council At-Large.

**Residents**

Post 1	Shawna McGarry	09-09-20	January 2021	Council At-Large
Post 2	Peter Zahn	01-23-19	January 2021	Council At-Large
Post 3	Heidi Dewar	01-22-20	January 2022	Council At-Large
Post 4	Mary Yang	01-22-20	January 2022	Council At-Large
Post 5	Jonathan Goodmacher	01-22-20	January 2022	Council At-Large

**Professionals**

Post 1	Michael McClune	01-23-19	January 2021	Council At-Large
Post 2	Paul Basore	01-22-20	January 2022	Council At-Large

**Councilmember(s)**

Post 1	Judy Hegenauer	01-19-19	January 2021	City Council
Post 2	Kristi Becker	01-19-19	January 2021	City Council

**PARKS & RECREATION:** 7 members

Must be at least 18 years old and a city resident within the City of Solana Beach. All members are appointed by the Council At-Large.

Post 1	Sagary Krulce	01-23-19	January 2021	Council At-Large
Post 2	Sandra Hutton	02-27-19	January 2021	Council At-Large
Post 3	Julie Van de Auwera	01-22-20	January 2022	Council At-Large
Post 4	John Fontanesi	01-22-20	January 2022	Council At-Large
Post 5	Richard Lebert	01-22-20	January 2022	Council At-Large
Post 6	Valeri Paul	02-27-19	January 2021	Council At-Large
Post 7	Danielle King	08-26-20	January 2021	Council At-Large

**PUBLIC ARTS:** 7 members

Must be at least 18 years old and a city resident within the City of Solana Beach. All members are appointed by the Council At-Large.

Post 1	Sharon Klein	01-22-20	January 2022	Council At-Large
Post 2	Shawn Hethcock	02-26-20	January 2022	Council At-Large
Post 3	Deborah Ann Sweet	01-23-19	January 2021	Council At-Large
Post 4	Deanne Rudman	02-27-19	January 2021	Council At-Large
Post 5	Christine de Pagter	01-22-20	January 2022	Council At-Large
Post 6	Mark Mennie	01-22-20	January 2022	Council At-Large
Post 7	Carla Hayes	02-27-19	January 2021	Council At-Large

**VIEW ASSESSMENT:** 7 members

Must be at least 18 years old, city resident, & property owner within the City of Solana Beach. Five members serve at the pleasure of each individual Councilmember's nomination & two members are appointed by the Council At-Large.

Post 1	Robert (Bob) Moldenhauer	01-22-20	January 2021	Hegenauer/next by New Mayor
Post 2	Paul Bishop	01-22-20	January 2021	Edson (District 3)
Post 3	Frank Stribling	01-22-20	January 2022	Council At-Large
Post 4	Pat Coad	01-22-20	January 2022	Council At-Large
Post 5	Robert (Bob) Zajac	01-22-20	January 2022	Harless
Post 6	Matthew Cohen	01-23-19	January 2021	Becker
Post 7	Linda Najjar	01-22-20	January 2022	Zito (District 1)

*Citizen Interest Forms (Applications) are available on-line at [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) or at the City Clerk's Office, City of Solana Beach, 635 S. Highway 101, Solana Beach, CA 92075, 858-720-2400 for the expiring positions among these Citizen Commissions.*

**Applications will be accepted through Tuesday, January 19, 2021, 5:30 p.m.**

**City Council is scheduled to make appointments at the Wednesday, January 27, 2021, 6:00 p.m. City Council Meeting.**

*I hereby certify that this notification was posted on November 5, 2020 at City Hall and on the City's website.  
Angela Ivey, City Clerk*

<b>CITY OF SOLANA BEACH</b>	<b>Policy No. 5</b>
<b>COUNCIL POLICY</b>	Adopted: May 15, 1989 Revised: January 23, 2008 by Resolution 2008-23
<b>GENERAL SUBJECT:</b> Citizen Boards, Commissions & Committees	
<b>SPECIFIC SUBJECT:</b> Appointments of Citizens to Boards, Commissions, Committees and Task Forces.	

**PURPOSE:**

The purpose of this policy is to establish a consistent process and procedure for appointments to City sponsored Citizen Boards, Commissions, Committees and Task Forces.

**POLICY STATEMENT:**

Appointments to Citizen Boards, Commissions, Committees and Task Forces are made in accordance with the municipal code and/or specific guideline, as provided, to provide consistency.

**POLICY PROCEDURES:**

1. All private citizens interested in serving on any Board, Commission, Committee or Task Force or similar group must complete and file with the City Clerk a Citizen Interest Form (application) which may be obtained from the City Clerk's office.
2. Nominations  
Councilmembers may nominate private citizens for appointment subject to ratification by a majority of the City Council. Such ratification shall take place at a regular City Council meeting and a duly docketed agenda item.
3. Appointment Protocol
  - a. Appointments will be made in accordance with municipal code requirements. For example, the municipal code may require that a Commission have five positions appointed by individual Councilmembers.
  - b. Appointments that are not outlined in the municipal code and are at-large appointment positions may be nominated by any Councilmember. In the event of multiple appointments, appointments may be divided among individual Councilmembers to share the appointment responsibilities. If the appointments are

shared, it will be for that one time and will not be construed as official individual appointments that would carry forward.

- c. The decision to proceed with an individual appointment alternative for at-large positions will be subject to majority vote of the City Council with such vote taking place at a regular City Council Meeting.

4. Appointments to Outside Agencies

When the City is asked by an outside agency to recommend a private citizen to serve on a Board, Commission, Committee or Task Force or similar group, such recommendation shall be made by the Council and approved by a majority vote of the City Council.





# PUBLIC NOTICE

## CITY'S CITIZEN COMMISSION POSITION OPENINGS

### CITY OF SOLANA BEACH VOLUNTEERS SERVING ON BEHALF OF THE CITY COUNCIL

Applications are being accepted through **Tuesday, January 19, 2021, 5:30 p.m.**

City Council is scheduled to make appointments at the January 27, 2021 City Council Meeting.

**BUDGET & FINANCE:** *Three (3) vacancies - terms will expire end of January 2023*  
This Commission provides input to Council regarding the City's operating budget.

Regular Meeting Schedule: 3<sup>rd</sup> Thursday of each month at 5:30 p.m.  
Composition: 5 members serve at the pleasure of each individual Councilmember.  
Position's Requirements: At least 18 yrs. old \* Resident of the City \* Property owner within the City.

**CLIMATE ACTION:** *Three (3) vacancies – terms will expire end of January 2023*  
*2 Citizen/Resident Positions // 1 Professional Position*

This Commission participates in reviewing certain matters regarding reducing the City's greenhouse gas (GHG) emissions and implementing the Climate Action Plan.

Regular Meeting Schedule: 3<sup>rd</sup> Wednesday of each month at 5:30 p.m.  
Composition: 9 members: 7 appointed by Council At-Large, 2 Councilmembers (or 1 Councilmember and one from another position, as determined by Council)  
Position's Requirements: Five Citizens/Residents - At least 18 yrs. old \* Resident of the City  
Two Professionals - At least 18 yrs. old \* Must be from the environmental or scientific community. \* Resident or Non-resident  
Two Current Councilmembers (or 1 Councilmember and one person from another position, as determined by Council)

**PARKS & RECREATION:** *Four (4) vacancies – terms will expire end of January 2023*  
This Commission participates in reviewing certain matters regarding the City's parks, programs, and conducts certain City events.

Regular Meeting Schedule: 2<sup>nd</sup> Thursday of each month at 4:00 p.m.  
Composition: 7 members who are all appointed by the Council At-large.  
Position's Requirements: At least 18 yrs. old \* Resident of the City.

**PUBLIC ARTS:** *Three (3) vacancies – terms will expire end of January 2023*  
This Commission participates in reviewing certain matters regarding community art opportunities and conducts certain City events.

Regular Meeting Schedule: 4<sup>th</sup> Tuesday of each month at 5:30 p.m.  
Composition: 7 members who are all appointed by the Council At-large.  
Position's Requirements: At least 18 yrs. old \* Resident of the City.

**VIEW ASSESSMENT:** *Three (3) vacancies – terms will expire end of January 2023*  
This Commission is tasked with reviewing feasible solutions for development when an assessment request is filed and makes definitive decisions on projects utilizing the City's adopted guidelines/toolkit.

Regular Meeting Schedule: 3<sup>rd</sup> Tuesday of each month at 6:00 p.m.  
Composition: 7 members - five serve at the pleasure of each individual Councilmember and two members are appointed by the Council At-Large.  
Position's Requirements: At least 18 yrs. old \* Resident of the City \* Property owner within the City.



Budget & Finance



Climate Action



Parks & Recreation



Public Arts



View Assessment

- ❖ Attend a Citizen Commission public meeting. Agendas are posted on the City's website.
- ❖ See the City's website for members, expiring positions, and further information.

[Citizen Interest Forms](#) (Applications) and additional information on the Commissions can be found on the City's website at [www.cityofsolanabeach.org](http://www.cityofsolanabeach.org) (Left tabs: City Government, City Clerk, Citizen Committees) OR by contacting the City Clerk's Office (858) 720-2400. Please contact the [City Clerk](#) with any questions regarding the recruitment/appointment process.

## Highlights of Recruitment Efforts FOR 2021 Jan ANNUAL Appointments

### Successful Efforts

Maddy Act: Required posting on City Hall Bulletin Board \ Library	11-5-2020
<b>WEBSITE</b>	
Flyer: Posted to Commissions main webpage AND to each Commission page.	11-5-2020
Maddy Act: Upload to Commission webpage	11-5-2020
<b>EMAIL</b>	
E-Blasts	11-7-20, 12-17-20, 1-7-21
Council: email flyer to inform Council	11-5-20
<b>APPLICANT NOTICES</b>	
Letter to: <u>Current</u> Expiring Members w/ Vacancy Notice AND last application & Maddy Act	11-20-20
Letter to: <u>Past</u> Applicants Not Appointed w/ Vacancy Notice AND last application & Maddy Act	11-21-20
<b>PUBLICATIONS</b>	
Solana Beach Sun: Free ad calendar section (FREE)	12-3 In print Solana Beach Sun 12-4 Electronic Online Posting
Solana Beach Sun: Paid Advertisement 1/4 page	1-7-21 AD published in paper
Coast New: Paid Advertisement 1/8 page	12-25-20 AD published in paper





**City of Solana Beach  
Citizen Commission Applicants  
Deadline – January 19, 2020 by 5:30 p.m.**

**LIST OF APPLICANTS**

<b>Applicants</b>		<b>Application Received</b>
Last Name	First Name	
Bishop	Paul	11-30-20
Cohen	Matthew	01-12-21
Grischy	Jeanie	01-19-21
Haines	Mark	01-04-21
Hegenauer	Judy	01-05-21
Hermes	Scott	01-11-21
Hutton	Sandra	01-19-21
King	Danielle	01-19-21
Koester	Jolene	01-11-21
Kosa-Somogyi	Gyorgy	01-19-21
Larson	Jerilyn	01-19-21
Lyle	Quentin (Jeff)	11-30-20
Marucheau	Elizabeth (Liz)	01-19-21
McClune	Michael	12-22-20
McGarry	Shawna	01-15-21
Moldenhauer	Robert (Bob)	01-05-21
Murphy	Kevin (Ed)	12-14-20
Ohman	Mark	01-19-21
Paul	Valeri	12-16-20
Perkowski	Sharon	01-19-21
Schulman	David	11-30-20
Shilling	Halle	01-15-21
Sweet	Deborah	11-20-20
Villasenor	Rich	01-19-21
Windlinx	Kris	01-19-21
Zahn	Peter	01-19-21

## **Citizen Commission Applications**

***This attachment is on file at the City Clerk's Office.***

City of Solana Beach  
635 S. Highway 101, Solana Beach, CA 92075  
858-720-2400



**City of Solana Beach  
CLIMATE ACTION COMMISSION'S  
JUNIOR COMMISSIONER APPLICATION**

Anyone interested should submit an application by XXXX and must meet the requirements below:

- High school student attending a local area high school
- Interest in environmental issues
- Must be able to attend at least 6 meetings per appointment year

Preference given to Solana Beach residents. The current CAC members will select no more than 5 Junior Commissioners at their meeting in September. The CAC meets the third Wednesday of every month from 5:30 PM – 7:00 PM.

Junior Commissioners will be able to attend meetings and provide input on any of the agenda items. They may propose projects they would like to implement at their schools or communities that relate to the work of the CAC. They will witness how global environmental policy issues are addressed at the local level. Appointments will be for one year.

Name \_\_\_\_\_ Phone \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Email \_\_\_\_\_  
School \_\_\_\_\_ Grade \_\_\_\_\_

Can you attend at least 6 meetings throughout the year? Circle: Yes No

Please tell us why you would like to be part of the Climate Action Commission.

Email your completed application to Rimga Viskanta at [rviskanta@cosb.org](mailto:rviskanta@cosb.org).





# STAFF REPORT

## CITY OF SOLANA BEACH

**TO:** Honorable Mayor and City Councilmembers  
**FROM:** Gregory Wade, City Manager  
**MEETING DATE:** January 27, 2021  
**ORIGINATING DEPT:** City Manager's Department  
**SUBJECT:** **Council Consideration of Resolution 2021-012 Urging the United States Congress to Enact the Energy Innovation and Carbon Dividend Act of 2019**

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### **BACKGROUND:**

Since the beginning of the Industrial Revolution, the level of greenhouse gases, especially carbon dioxide (CO<sub>2</sub>), have increased in our atmosphere. Scientists warn that the concentration of heat-trapping CO<sub>2</sub> is already higher than at any time in the entire history of the human species. The United States government released its Fourth Annual Climate Assessment in November 2018 reporting that the impacts of climate change are already being felt in communities across the country, and that more frequent and intense extreme weather and climate-related events, as well as changes in average climate conditions, are expected to continue to damage infrastructure, ecosystems, and social systems that provide essential benefits to communities across the planet.

Presently, the environmental, health, and social costs of carbon emissions are not included in prices paid for fossil fuels, but rather these externalized costs are borne directly and indirectly by all Americans and global citizens. In an effort to correct this market failure, Congress can enact H.R. 763, the Energy Innovation and Carbon Dividend Act ("Act"). The Act would assess a national carbon fee on fossil fuels based on the amount of CO<sub>2</sub> the fuel will emit when burned and allocate the collected proceeds to all U.S. households in equal per-capita shares in the form of a monthly dividend. Accounting for the true cost of fossil fuel emissions not only creates a level-playing field for all sources of energy, but also informs consumers of the true cost comparison of various fuels when making purchase decisions.

COUNCIL ACTION:

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This is before the City Council to consider the adoption of Resolution 2021-012 (Attachment 1), urging the United States Congress to Enact the Energy Innovation and Carbon Dividend Act of 2019.

### **DISCUSSION:**

The purpose as stated in the text of the Act is as follows: “To create a Carbon Dividend Trust Fund for the American people in order to encourage market-driven innovation of clean energy technologies and market efficiencies which will reduce harmful pollution and leave a healthier, more stable, and more prosperous nation for future generations.” The Act aims to reduce U.S. carbon pollution by 33 percent in ten years, which is below 2015 levels, and by 2050 could reduce emissions by 90 percent, which exceeds commitments made in the Paris Climate Agreement.

The Act imposes a fee on the carbon content of fuels including crude oil, natural gas, coal, or any other product derived from those fuels that emit greenhouse gases into the atmosphere. The fee would be levied on the producers or importers. The rate begins at \$15 per ton of CO<sub>2</sub> equivalent emissions, increases by \$10 each year, and would be assessed at the earliest point of sale into the economy – as close as possible to the well, mine, or port. The fee would be subject to further adjustments based on the progress in meeting specified emissions reduction targets. The Act also suspends certain regulations currently in place that limit greenhouse gas emissions. If the emissions targets established by this Act are not reached after a specified period, the suspension of those regulations will be lifted.

The fees would be deposited into a Carbon Dividend Trust Fund and used for administrative expenses and dividend payments to U.S. citizens or lawful residents in order to offset the increased costs they might experience as a result of higher fossil fuel costs and while the nation transitions to a clean energy economy. Equal per-person dividend payments would be made to all American households (one-half payment per child under 19 years old) each month from the fossil fuel fees collected. The total value of all monthly dividend payments would represent 100% of the net carbon fees collected per month. The fees must be decommissioned when emissions levels and monthly dividend payments fall below specified levels.

A national carbon fee can be implemented quickly and efficiently and will respond to the urgency of the climate crisis because the federal government already has in place mechanisms, such as the Internal Revenue Service, needed to implement and enforce the fee, and already collects fees from fossil fuel producers and importers. A national revenue-neutral carbon fee would make the United States a leader in mitigating climate change and in the clean energy technologies of the 21<sup>st</sup> century and would provide incentive to other countries to enact similar carbon fees, reducing global CO<sub>2</sub> emissions without the need for complex international agreements.

### **CEQA COMPLIANCE STATEMENT:**

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a “project” under Section

15378(b)(5) of CEQA Guidelines.

**FISCAL IMPACT:**

There are no direct fiscal impacts related to the adoption of the Resolution.

**WORKPLAN:**

N/A

**OPTIONS:**

- Approve Staff recommendation.
- Approve Staff recommendation with modifications.
- Do not approve Staff recommendations
- Provide direction / feedback.

**DEPARTMENT RECOMMENDATION:**

Staff recommends that the City Council adopt Resolution 2021-012, urging the United States Congress to Enact the Energy Innovation and Carbon Dividend Act of 2019.

**CITY MANAGER'S RECOMMENDATION:**

Approve Department Recommendation.



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Gregory Wade, City Manager

Attachments:

1. Resolution No. 2021-012



## RESOLUTION 2021-012

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, URGING THE UNITED STATES CONGRESS TO ENACT THE ENERGY INNOVATION AND CARBON DIVIDEND ACT OF 2019

**WHEREAS**, an Intergovernmental Panel on Climate Change issued a special report on the impacts of global warming of 1.5°C above pre-industrial levels in October 2018 warning that global warming is likely to reach 1.5°C between 2030 and 2052 if it continues to increase at the current rate; and

**WHEREAS**, the United Nations climate science body said in a monumental climate report that we have only until 2030 to make massive and unprecedented changes to global energy infrastructure to limit global warming to moderate levels; and

**WHEREAS**, the United States government released its Fourth Annual Climate Assessment in November 2018 reporting that the impacts of climate change are already being felt in communities across the country, and that more frequent and intense extreme weather and climate-related events, as well as changes in average climate conditions, are expected to continue to damage infrastructure, ecosystems, and social systems that provide essential benefits to communities; and

**WHEREAS**, the City of Solana Beach passed Resolution 2020-124 declaring a Climate Emergency and the need for accelerated action to address the climate crisis, as well as reaffirming the goals set forth in its Climate Action Plan, including reaching 100 percent net renewable electricity by 2035 or earlier and working aggressively towards its 2011 Vision for Environmental Sustainability through goals of Zero Waste, Zero Emissions, and Water-Wise; and

**WHEREAS**, conservative estimates by the world's climate scientists state that, to achieve climate stabilization and avoid cataclysmic climate change, emissions of greenhouse gases (GHGs) must be brought to 80-95% below 1990 levels by 2050; and

**WHEREAS**, presently the environmental, health, and social costs of carbon emissions are not included in prices paid for fossil fuels, but rather these externalized costs are borne directly and indirectly by all Americans and global citizens; and

**WHEREAS**, to begin to correct this market failure, Congress can enact the Energy Innovation and Carbon Dividend Act to assess a national carbon fee on fossil fuels based on the amount of CO<sub>2</sub> the fuel will emit when burned and allocate the collected proceeds to all U.S. Households in equal per-capita shares in the form of a monthly dividend; and

**WHEREAS**, for efficient administration, the fossil fuels fee can be applied once,

as far upstream in the economy as practical, or at the port of entry into the United States; and

**WHEREAS**, as stated in the Energy Innovation and Carbon Dividend Act, a national, revenue-neutral carbon fee starting at a relatively low rate of \$15 per ton of CO2 equivalent emissions and resulting in equal charges per ton of CO2 equivalent emissions potential in each type of fuel or greenhouse gas should be assessed to begin to lower what are now dangerously high CO2 emissions. The yearly increase in carbon fees including other greenhouse gases, shall be at least \$10 per ton of CO2 equivalent each year, with the provision that the annual increase will be \$15 per ton of CO2 equivalent if statutory goals are not met; and

**WHEREAS**, the Energy Innovation and Carbon Dividend Act specifies that, in order to protect low and middle income citizens from the economic impact of rising prices due to the carbon fee, equal monthly per-person dividend payments shall be made to all American households (one-half payment per child under 19 years old) each month from the fossil fuel fees collected. The total value of all monthly dividend payments shall represent 100% of the net carbon fees collected per month; and

**WHEREAS**, the Energy Innovation and Carbon Dividend Act encourages market-driven innovation of clean energy technologies and market efficiencies which will reduce harmful pollution and leave a healthier, more stable, and more prosperous nation for future generations; and

**WHEREAS**, the Energy Innovation and Carbon Dividend Act will, after 12 years, lead to a decrease in America's CO2 emissions of 40 percent and preserve national employment; and

**WHEREAS**, border adjustments - carbon content-based levies on products imported from countries without comparable carbon pricing, and refunds to our exporters of carbon fees paid - can maintain the competitiveness of U.S. businesses in global markets; and

**WHEREAS**, a national carbon fee can be implemented quickly and efficiently, and will respond to the urgency of the climate crisis because the federal government already has in place mechanisms, such as the Internal Revenue Service, needed to implement and enforce the fee, and already collects fees from fossil fuel producers and importers; and

**WHEREAS**, a national revenue-neutral carbon fee would make the United States a leader in mitigating climate change and in the clean energy technologies of the 21st century and would provide incentive to other countries to enact similar carbon fees, reducing global CO2 emissions without the need for complex international agreements.

**NOW, THEREFORE**, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council urges the United States Congress to enact without delay the Energy Innovation and Carbon Dividend Act (H.R. 763).
3. That the City Manager or City Manager's designee shall transmit copies of this resolution to the President and Vice President of the United States, to the Speaker of the House of Representatives, to the Majority Leader of the Senate, to each U.S. Senator and Representative from the State of California in the Congress of the United States, and to nearby city and county governments urging that they pass similar resolutions.

**PASSED AND ADOPTED** this 27<sup>th</sup> day of January, 2021, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –  
NOES: Councilmembers –  
ABSTAIN: Councilmembers –  
ABSENT: Councilmembers –

\_\_\_\_\_  
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
JOHANNA N. CANLAS, City Attorney

\_\_\_\_\_  
ANGELA IVEY, City Clerk