

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



AGENDA

Joint REGULAR Meeting

Wednesday, February 26, 2020 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live on Cox Communications-Channel 19, Spectrum(Time Warner)-Channel 24, and AT&T U-verse Channel 99. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the courtesy agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

SPEAKERS

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set cellular phones and pagers to silent mode
and engage in conversations outside the Council Chambers.

CITY COUNCILMEMBERS

Jewel Edson, Mayor

Judy Hegenauer, Deputy Mayor

Kristi Becker, Councilmember

Kelly Harless, Councilmember

David A. Zito, Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: *Ceremonial items that do not contain in-depth discussion and no action/direction.*

None at the posting of this agenda

ORAL COMMUNICATIONS:

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for January 25, 2020 – February 7, 2020.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. Emergency Corrugated Metal Pipes (CMP) Storm Drain Repairs – Notice of Completion. (File 0850-40)

Recommendation: That the City Council

1. Adopt **Resolution 2020-025**:
 - a. Accepting as complete the Emergency Corrugated Metal Pipe Storm Drain Repairs constructed by PAL General Engineering, Inc.
 - b. Authorizing the City Clerk to file a Notice of Completion.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Adjustments to the Current Fiscal Year (FY) 2019/20 Seasonal/Temporary Salary Schedule, Management Salary Schedule, and Adding a Senior Civil Engineer Position to the Classification Plan. (File 0520-10, 0510-20)

Recommendation: That the City Council

1. Adopt **Resolution 2020-020**:
 - a. Approving Salary Adjustments to the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule and authorizing the City Manager to make any subsequent changes to the Salary Schedule in accordance with applicable laws.
 - b. Approving and adopting the creation and addition of the Senior Civil Engineer classification and position.
 - c. Approving and adopting the pay grade change on the FY 2019/20 Management Salary Schedule.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each. Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 675 Glenmont Dr., Applicant: Roemmich-Nottingham, Case DRP19-004, V19-001 (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and VAR. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-024** conditionally approving a DRP and VAR to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1. – C.5.)

Submit speaker slips to the City Clerk.

C.1. Fiscal Year (FY) 2019-2020 Mid-Year Budget Adjustments. (File 0330-30)

Recommendation: That the City Council

1. Adopt **Resolution 2020-026** revising appropriations in the Fiscal Year 2019/20 Budget.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. Revised Climate Adaptation Chapter Amending the 2017 Climate Action Plan and Receive the 2019 Climate Action Plan Update. (File 0410-05)

Recommendation: That the City Council

1. Adopt **Resolution 2020-021** and receive the 2019 CAP Update report.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.3. Introduce (1st Reading) Ordinance 513 to Prohibit the Sale and Distribution of Flavored Tobacco Products. (File 0230-10)

Recommendation: That the City Council

1. Introduce **Ordinance 513** adding Chapter 6.18 to the Solana Beach Municipal Code to prohibit the sale and distribution of flavored tobacco products.

[Item C.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.4. Cancellation Policy for the Summer Day Camp Program. (File 0390-23)

Recommendation: That the City Council

1. Adopt **Resolution 2020-027** approving a Cancellation Policy for the Summer Day Camp Program.

[Item C.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.5. Citizen Commission Vacancy: Public Arts Commission Appointment. (File 0120-06)

Recommendation: That the City Council

1. Appoint one (1) member to the Public Arts Commission nominated/appointed by *Council-at-large* for a term ending January 2022.

[Item C.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 12, 2019

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Edson, Alternate-Zito
- b. County Service Area 17: Primary- Harless, Alternate-Edson
- c. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- d. League of Ca. Cities’ San Diego County Executive Committee: Primary-Becker, Alternate-Harless and any subcommittees.
- e. League of Ca. Cities’ Local Legislative Committee: Primary-Harless, Alternate-Becker
- f. League of Ca. Cities’ Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- g. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- h. North County Transit District: Primary-Edson, Alternate-Becker
- i. Regional Solid Waste Association (RSWA): Primary-Hegenauer, Alternate-Becker
- j. SANDAG: Primary-Zito, 1st Alternate-Edson, 2nd Alternate-Becker, and any subcommittees.
- k. SANDAG Shoreline Preservation Committee: Primary-Hegenauer, Alternate-Zito
- l. San Dieguito River Valley JPA: Primary-Hegenauer, Alternate-Zito
- m. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- n. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Harless

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Hegenauer
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Becker
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Hegenauer
- f. School Relations Committee – Hegenauer, Harless
- g. Solana Beach-Del Mar Relations Committee – Zito, Edson

ADJOURN:

Next Regularly Scheduled Meeting is March 11, 2020

Always refer the City’s website Event Calendar for updated schedule or contact City Hall.

www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the February 26, 2020 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on February 19, 2020 at 6:30 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., February 26, 2020, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 01/25/20 through 02/07/20

Check Register-Disbursement Fund (Attachment 1)		\$	869,693.13
Health Insurance for February	February 1, 2020		46,816.97
Retirement Payroll	January 30, 2020		9,648.00
Net Payroll	February 7, 2020		169,014.78
Federal & State Taxes	February 7, 2020		41,531.53
PERS Retirement (EFT)	February 7, 2020		49,266.79

TOTAL		\$	<u>1,185,971.20</u>
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DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for January 25, 2020 through February 7, 2020 reflects total expenditures of \$1,185,971.20 from various City funding sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

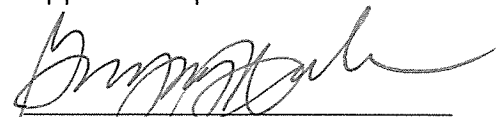
- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund

PENTAMATION
 DATE: 02/10/2020
 TIME: 09:21:32

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20200125 00:00:00.000' and '20200207 00:00:00.000'
 ACCOUNTING PERIOD: 8/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96527	01/30/20	SEA0077	JBH INVESTMENTS INC	550	FINAL NET SURPLS COMP	0.00	252.72
1011	96528	01/30/20	4711	ABEL PEREZ	00165006530	MILEAGE-12/25-12/26	0.00	8.12
1011	96528	01/30/20	4711	ABEL PEREZ	00165006540	MILEAGE-12/25-12/26	0.00	8.12
TOTAL CHECK								16.24
1011	96529	01/30/20	1122	APPLE ONE, INC	00150005150	TEMP HELP PE12/14	0.00	255.66
1011	96529	01/30/20	1122	APPLE ONE, INC	00150005150	TEMP HELP PE12/21	0.00	255.66
1011	96529	01/30/20	1122	APPLE ONE, INC	00150005150	TEMP HELP PE11/30	0.00	511.32
1011	96529	01/30/20	1122	APPLE ONE, INC	00150005150	TEMP HELP PE10/19	0.00	646.56
1011	96529	01/30/20	1122	APPLE ONE, INC	00150005150	TEMP HELP PE10/26	0.00	862.08
TOTAL CHECK								2,531.28
1011	96530	01/30/20	3775	ASCAP	25055005570	CONCERT LICENSE 2020	0.00	363.00
1011	96531	01/30/20	4832	AT&T CALNET 3	00160006120	9391012280 9/24-10/23	0.00	452.30
1011	96531	01/30/20	4832	AT&T CALNET 3	00160006120	9391012280 1124-1223	0.00	452.88
1011	96531	01/30/20	4832	AT&T CALNET 3	00160006120	9391012280 1024-1123	0.00	453.75
TOTAL CHECK								1,358.93
1011	96532	01/30/20	3069	JOSHUA BLEA	12050005460	2019 GYM REIMB	0.00	465.37
1011	96533	01/30/20	3935	BMI GENERAL LICENSING IN	25055005570	CONCERT-LICENSE 2020	0.00	364.00
1011	96534	01/30/20	5521	CA DEPARTMENT OF TAX AND	550	Q2 ENERGY SRCHRG RTN	0.00	4,435.72
1011	96535	01/30/20	2846	CALIFORNIA CHAMBER OF CO	00150005400	LABOR LAW POSTERS	0.00	308.11
1011	96536	01/30/20	SEA0115	CAMERON CRAIG	550	FINAL NET SURPLS COMP	0.00	72.96
1011	96537	01/30/20	693	CODE PUBLISHING COMPANY	00150005150	MUNI CODE-PRNT SPLMNT	0.00	529.05
1011	96538	01/30/20	211	CONSOLIDATED ELECTRICAL	00165006570	CRKT BRKR/CONNCTR	0.00	41.99
1011	96539	01/30/20	5171	CORELOGIC SOLUTIONS, LLC	00155005550	PROPERTY PRO DATA-JAN	0.00	96.83
1011	96540	01/30/20	3902	CORODATA RECORDS MANAGEM	00150005150	RECORDS STRG-DEC	0.00	387.14
1011	96541	01/30/20	55	COUNTY OF SAN DIEGO	00155005550	DOCUMENTS-MAP	0.00	2.00
1011	96542	01/30/20	127	COX COMMUNICATIONS INC	00150005450	CTYINTRNT-12/19-1/18	0.00	582.96
1011	96543	01/30/20	1964	CSAC EXCESS INSURANCE AU	12050005460	EVAL CERTS-10/1-12/31	0.00	587.50
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-OCT	0.00	839.08
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-AUG	0.00	951.57
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-JUL	0.00	977.58
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-NOV	0.00	1,002.31
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	ADMIN CITTN ADMIN-NOV	0.00	25.00
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	ADMIN CITTN ADMIN-SEP	0.00	25.00
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	ADMIN CITTN ADMIN-OCT	0.00	50.00
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	ADMIN CITTN ADMIN-JUL	0.00	525.00

PENTAMATION
 DATE: 02/10/2020
 TIME: 09:21:32

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20200125 00:00:00.000' and '20200207 00:00:00.000'
 ACCOUNTING PERIOD: 8/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-DEC	0.00	593.52
1011	96544	01/30/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-SEP	0.00	597.51
TOTAL CHECK							0.00	5,586.57
1011	96545	01/30/20	739	DEPARTMENT OF JUSTICE	00160006140	FINGERPRINT APP-DEC	0.00	32.00
1011	96546	01/30/20	5210	COUNTY OF SAN DIEGO	00160006140	PRKNG CITE ADMIN-DEC	0.00	1,745.25
1011	96547	01/30/20	1747	DFM ASSOCIATES INC	00150005150	2020 CA ELECT CODES	0.00	171.32
1011	96548	01/30/20	1925	DIAMOND ENVIRONMENTAL SE	00160006140	CODE RSTRM-KABOO	0.00	155.00
1011	96549	01/30/20	884	ENTENMANN-ROVIN CO. INC	00160006170	BADGES/NAME BARS-MS	0.00	379.27
1011	96550	01/30/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 12/23-12/27	0.00	584.25
1011	96551	01/30/20	322	FIRE ETC.	00160006120	CITRO/CLEANER/SC-14	0.00	290.34
1011	96552	01/30/20	5480	FISHER INTEGRATED, INC.	00150005450	COUNCIL WEB STRM-DEC	0.00	800.00
1011	96553	01/30/20	SEA0117	GEOFF HARRIS	550	FINAL NET SURPLS COMP	0.00	10.08
1011	96554	01/30/20	3299	HELIX ENVIRONMENTAL	21355005550	1718.20/1040 SOLANA DR	0.00	841.25
1011	96555	01/30/20	SEA0118	HONOR GRACE D. GOODBY	550	FINAL NET SURPLS COMP	0.00	62.28
1011	96556	01/30/20	1075	IRON MOUNTAIN	00150005150	RECORDS STRG-DEC	0.00	365.15
1011	96556	01/30/20	1075	IRON MOUNTAIN	00150005150	RECORDS STRG-NOV	0.00	365.95
1011	96556	01/30/20	1075	IRON MOUNTAIN	00150005150	RECORDS STRG-OCT	0.00	448.97
TOTAL CHECK							0.00	1,180.07
1011	96557	01/30/20	87	ISLA VERDE HOA	20575007530	LNDSCAPE MAINT-DEC	0.00	425.00
1011	96557	01/30/20	87	ISLA VERDE HOA	20575007530	LNDSCAPE MAINT-NOV	0.00	425.00
TOTAL CHECK							0.00	850.00
1011	96558	01/30/20	5817	JOHNSON CONTROLS FIRE PR	00160006120	EXTNGSHR INSPECTION	0.00	213.00
1011	96559	01/30/20	99	LAWNMOWERS PLUS	00160006120	FILLER CAP	0.00	40.89
1011	96559	01/30/20	99	LAWNMOWERS PLUS	00160006120	SHORTING LEAD	0.00	14.09
TOTAL CHECK							0.00	54.98
1011	96560	01/30/20	2102	LEGAL SHIELD CORP	001	PPD LEGAL-JAN 20	0.00	64.75
1011	96561	01/30/20	SEA0084	LI LI	550	FINAL NET SURPLS COMP	0.00	138.54
1011	96562	01/30/20	4738	MEDICAL EYE SERVICES	001	VISION-JAN 20	0.00	441.15
1011	96562	01/30/20	4738	MEDICAL EYE SERVICES	001	EE# -JAN 20	0.00	19.91
1011	96562	01/30/20	4738	MEDICAL EYE SERVICES	001	EE# -JAN 20	0.00	29.14
1011	96562	01/30/20	4738	MEDICAL EYE SERVICES	00150005400	ROUNDING-JAN 20	0.00	-0.23
TOTAL CHECK							0.00	489.97
1011	96563	01/30/20	5508	MERCHANTS BUILDING MAINT	00170007110	JNTRL SVC-10/19,20,27	0.00	225.00

PENTAMATION
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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96564	01/30/20	4708	MUNICIPAL EMERGENCY SERV	00160006120	FOAM PHOS CHK	0.00	705.98
1011	96564	01/30/20	4708	MUNICIPAL EMERGENCY SERV	00160006120	SCBA REPAIR	0.00	36.44
TOTAL CHECK								742.42
1011	96565	01/30/20	5734	NATIONWIDE MEDICAL SURGI	27060006120	CSA17.20 MIDAZOLAM	0.00	51.60
1011	96566	01/30/20	66	NORTH COUNTY DISPATCH (J	00160006120	FY20 DISPATCH SVC Q2	0.00	21,987.39
1011	96567	01/30/20	1377	ONE DAY SIGNS	00170007100	TEMP ART PLAQUE	0.00	30.17
1011	96568	01/30/20	3529	PARKHOUSE TIRE INC	00160006120	TIRES T#237-TIRES	0.00	1,446.73
1011	96568	01/30/20	3529	PARKHOUSE TIRE INC	00160006120	TIRES T#E237-TIRES	0.00	2,659.85
TOTAL CHECK								4,106.58
1011	96569	01/30/20	113	PITNEY BOWES GLOBAL FINA	00150005150	POSTG MTR-10/30-01/29	0.00	704.94
1011	96570	01/30/20	1087	PREFERRED BENEFIT INS AD	001	EE TIMING-JAN 20	0.00	134.90
1011	96570	01/30/20	1087	PREFERRED BENEFIT INS AD	001	DENTAL-JAN 20	0.00	2,581.45
1011	96570	01/30/20	1087	PREFERRED BENEFIT INS AD	001	EE TIMING-JAN 20	0.00	21.75
1011	96570	01/30/20	1087	PREFERRED BENEFIT INS AD	001	EE TIMING-JAN 20	0.00	25.50
1011	96570	01/30/20	1087	PREFERRED BENEFIT INS AD	00150005400	ADMIN FEE-JAN 20	0.00	2.25
TOTAL CHECK								2,765.85
1011	96571	01/30/20	416	REGIONAL COMMS SYS, MS 0	00160006120	CAP CODE-DEC	0.00	32.50
1011	96572	01/30/20	SEA0119	ROBERT LIDDINGTON	550	FINAL NET SURPLS COMP	0.00	78.50
1011	96573	01/30/20	287	SALIENT NETWORKS (FKA DI	00150005450	FY20 PHNE/VM/FAX MAINT	0.00	97.50
1011	96574	01/30/20	86	SAN ELIJO HILLS II HOA	20775007550	LNDSCAPE MAINT-DEC	0.00	6,550.00
1011	96574	01/30/20	86	SAN ELIJO HILLS II HOA	20775007550	LNDSCAPE MAINT-NOV	0.00	6,550.00
TOTAL CHECK								13,100.00
1011	96575	01/30/20	88	SANTA FE HILLS HOA	20475007520	LNDSCAPE MAINT-DEC	0.00	16,250.00
1011	96575	01/30/20	88	SANTA FE HILLS HOA	20475007520	LNDSCAPE MAINT-NOV	0.00	16,250.00
TOTAL CHECK								32,500.00
1011	96576	01/30/20	141	SANTA FE IRRIGATION DIST	00160006120	005512000 11/2-01/02	0.00	588.20
1011	96577	01/30/20	3909	SECTRAN SECURITY INC	12050005460	COURIER SVC-JAN	0.00	113.37
1011	96577	01/30/20	3909	SECTRAN SECURITY INC	12050005460	COURIER SVC FUEL-JAN	0.00	19.22
TOTAL CHECK								132.59
1011	96578	01/30/20	5026	SESAC, INC	25055005570	MUSIC RIGHTS LIC 2020	0.00	460.00
1011	96579	01/30/20	SEA0116	SHELTON AUSTIN	550	FINAL NET SURPLS COMP	0.00	4.32
1011	96580	01/30/20	1789	DEPARTMENT OF INDUSTRIAL	12550005465	FY20 OSIP WRKR COMP	0.00	8,841.41
1011	96581	01/30/20	4959	TELECOM LAW FIRM	21355005550	DUP19002/990 HIGHLAND	0.00	2,350.00
1011	96581	01/30/20	4959	TELECOM LAW FIRM	21355005550	DUP19003/200 MARINE VI	0.00	2,350.00

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
TOTAL CHECK							0.00	4,700.00
1011	96582	01/30/20	1458	THE UNIFORM SPECIALIST	00160006120	JACKET-MORGAN	0.00	162.36
1011	96582	01/30/20	1458	THE UNIFORM SPECIALIST	00160006120	BOOTS-MEAD	0.00	194.84
TOTAL CHECK							0.00	357.20
1011	96583	01/30/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-1718.15 DRP	0.00	344.03
1011	96583	01/30/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	ORD 509	0.00	56.06
1011	96583	01/30/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	ORD 510	0.00	56.06
1011	96583	01/30/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	ORD 511	0.00	56.06
1011	96583	01/30/20	2097	UT SAN DIEGO - NRTH COUN	00150005150	ORD 512	0.00	56.06
TOTAL CHECK							0.00	568.27
1011	96584	01/30/20	30	VERIZON WIRELESS-SD	00160006120	FIRE CELL 11/29-12/28	0.00	362.48
1011	96584	01/30/20	30	VERIZON WIRELESS-SD	27060006120	FIRE IPAD 11/29-12/28	0.00	114.03
1011	96584	01/30/20	30	VERIZON WIRELESS-SD	00160006120	BC CELL 11/29-12/28	0.00	64.94
1011	96584	01/30/20	30	VERIZON WIRELESS-SD	00150005450	IT CELL 11/24-12/23	0.00	152.04
TOTAL CHECK							0.00	693.49
1011	96585	01/30/20	3723	WAGeworks	00150005400	FSA ADMIN-DEC	0.00	128.75
1011	96586	01/30/20	4844	WARWICK GROUP CONSULTANT	45099266190	9926.20 PROF SVC-DEC	0.00	5,375.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-JULY	0.00	499.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-AUG	0.00	499.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-SEP	0.00	499.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-OCT	0.00	499.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-NOV	0.00	499.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-DEC	0.00	499.00
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	RPLC PROJECTR-LC	0.00	1,277.92
1011	96587	01/30/20	4763	WESTERN AUDIO VISUAL	00150005450	CHAMBERS TECH-JAN	0.00	499.00
TOTAL CHECK							0.00	4,770.92
1011	96588	01/30/20	5594	WEX BANK	00160006120	AUTO FYEL-DEC	0.00	1,529.12
1011	96588	01/30/20	5594	WEX BANK	00160006120	CR EXCEMP TAX-DEC	0.00	-93.59
TOTAL CHECK							0.00	1,435.53
1011	96589	01/30/20	5792	XMEDIUS AMERICA, INC	00150005450	VOICEMAIL LICENSES	0.00	2,050.67
1011	96590	02/06/20	2379	AA FARNSWORTH'S BACKFLOW	00165006560	BACKFLOW RPR/RPLC	0.00	873.95
1011	96591	02/06/20	4711	ABEL PEREZ	00165006530	MILEAGE-01/25-01/26	0.00	20.70
1011	96592	02/06/20	2906	ACE UNIFORMS & ACCESSORI	00160006120	BOOTS-HANSEN	0.00	193.94
1011	96593	02/06/20	1135	AFFORDABLE PIPELINE SERV	50900007700	C-SEWR CLEAN- 50861	0.00	25,430.50
1011	96593	02/06/20	1135	AFFORDABLE PIPELINE SERV	00165006520	H-STORM DRAIN MAINT	0.00	1,140.00
TOTAL CHECK							0.00	26,570.50
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00165006560	AUTO FUEL-01/03-02/02	0.00	76.77
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00160006140	AUTO FUEL-01/03-02/02	0.00	93.51
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00165006570	AUTO FUEL-01/03-02/02	0.00	127.96

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CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00165006510	AUTO FUEL-01/03-02/02	0.00	140.76
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	50900007700	AUTO FUEL-01/03-02/02	0.00	153.55
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00165006530	AUTO FUEL-01/03-02/02	0.00	371.08
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00165006520	AUTO FUEL-01/03-02/02	0.00	409.46
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00160006120	AUTO FUEL-01/03-02/02	0.00	422.46
1011	96594	02/06/20	3704	ARCO GASPRO PLUS	00160006170	AUTO FUEL-01/03-02/02	0.00	438.96
TOTAL CHECK							0.00	2,234.51
1011	96595	02/06/20	5807	AT&T	00150005450	301097995 12/18-1/17	0.00	62.75
1011	96595	02/06/20	5807	AT&T	00150005450	301097995 01/18-02/17	0.00	62.75
TOTAL CHECK							0.00	125.50
1011	96596	02/06/20	4832	AT&T CALNET 3	00160006170	9391019469 1020-1119	0.00	2.29
1011	96596	02/06/20	4832	AT&T CALNET 3	00160006170	9391019469 12/20-1/19	0.00	21.91
1011	96596	02/06/20	4832	AT&T CALNET 3	00160006170	9391019469 1120-1219	0.00	22.01
1011	96596	02/06/20	4832	AT&T CALNET 3	00160006170	9391019469 9/20-10/19	0.00	24.26
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391062899 1124-1223	0.00	164.69
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391062899 1224-0123	0.00	164.69
1011	96596	02/06/20	4832	AT&T CALNET 3	00160006170	9391012281 12/25-1/24	0.00	64.41
1011	96596	02/06/20	4832	AT&T CALNET 3	00160006170	9391012281 1125-1224	0.00	65.91
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391012278 12/24-1/23	0.00	3,071.48
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391012278 1124-1223	0.00	3,078.66
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391012282 12/24-1/23	0.00	19.73
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391012282 1124-1223	0.00	20.17
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391053641 1124-1223	0.00	164.69
1011	96596	02/06/20	4832	AT&T CALNET 3	00150005450	9391053641 12/24-1/23	0.00	164.69
TOTAL CHECK							0.00	7,049.59
1011	96597	02/06/20	511	BELLY UP TAVERN LLC	25055005570	CONCERT BOOKING FEE	0.00	750.00
1011	96603	02/06/20	1914	US BANK	00150005450	WIRELESS ACCESS POINT	0.00	-201.22
1011	96603	02/06/20	1914	US BANK	00150005150	MONITOR RISER	0.00	-51.48
1011	96603	02/06/20	1914	US BANK	13560006120	TABLET PEN	0.00	-28.21
1011	96603	02/06/20	1914	US BANK	00150005150	MONITOR STAND	0.00	-24.77
1011	96603	02/06/20	1914	US BANK	00150005150	MONITOR STAND	0.00	-24.77
1011	96603	02/06/20	1914	US BANK	00160006170	CAP FOR ROOF VENT	0.00	-15.51
1011	96603	02/06/20	1914	US BANK	001	PRE-FUNDED ADJUSTMENT	0.00	-0.30
1011	96603	02/06/20	1914	US BANK	00160006120	HELMT/LGHT/WHSTL/BAG	0.00	0.02
1011	96603	02/06/20	1914	US BANK	00160006140	RECORDED DOC FEE	0.00	4.50
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-11/20	0.00	5.10
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-11/13	0.00	7.20
1011	96603	02/06/20	1914	US BANK	00160006120	EQUIP RPR SHIPPING	0.00	7.35
1011	96603	02/06/20	1914	US BANK	00150005150	MAYOR COLLAGE	0.00	7.99
1011	96603	02/06/20	1914	US BANK	00150005150	MAYOR COLLAGE	0.00	7.99
1011	96603	02/06/20	1914	US BANK	00150005150	MAYOR COLLAGE	0.00	7.99
1011	96603	02/06/20	1914	US BANK	00165006530	WATER FOR PWI	0.00	8.38
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-09/16	0.00	8.40
1011	96603	02/06/20	1914	US BANK	00150005150	LA TIMES SUB	0.00	8.57
1011	96603	02/06/20	1914	US BANK	00150005450	HOSTING DOMAINS-NOV	0.00	9.95
1011	96603	02/06/20	1914	US BANK	00160006140	CERTIFIED MAIL	0.00	10.40
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-12/05	0.00	10.50
1011	96603	02/06/20	1914	US BANK	00150005150	FLOWERS	0.00	10.75

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1011	96603	02/06/20	1914	US BANK	00160006120	SAW IGNITION COIL	0.00	10.86
1011	96603	02/06/20	1914	US BANK	00160006170	LIGHT TIMER	0.00	12.11
1011	96603	02/06/20	1914	US BANK	00160006170	LNDRY DETERGENT	0.00	13.88
1011	96603	02/06/20	1914	US BANK	00150005450	PRIME MEMBERSHIP	0.00	14.00
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT COSTUMES	0.00	14.61
1011	96603	02/06/20	1914	US BANK	001	NEW LAW-IVEY-12/12	0.00	15.12
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT SUPPLIES	0.00	15.19
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-12/11	0.00	17.00
1011	96603	02/06/20	1914	US BANK	00160006120	RAT TRAP/FLANGE	0.00	17.48
1011	96603	02/06/20	1914	US BANK	001	NEW LAW-BAVIN-12/12	0.00	18.00
1011	96603	02/06/20	1914	US BANK	00150005200	CLOSED SESSION-12/11	0.00	18.50
1011	96603	02/06/20	1914	US BANK	00150005250	CLOSED SESSION-12/11	0.00	18.50
1011	96603	02/06/20	1914	US BANK	00160006170	GAS CAN	0.00	18.63
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-12/17	0.00	18.80
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-LAMINATION	0.00	19.22
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-LAMINATION	0.00	19.22
1011	96603	02/06/20	1914	US BANK	00160006120	SPARK PLUG	0.00	20.35
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-11/13	0.00	24.20
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-11/20	0.00	24.40
1011	96603	02/06/20	1914	US BANK	00150005150	MINUT TRNSCRPTN-12/05	0.00	24.50
1011	96603	02/06/20	1914	US BANK	00160006170	LABEL MAKER TAPE	0.00	24.57
1011	96603	02/06/20	1914	US BANK	00150005150	COUNCIL ROTATN-CAKE	0.00	24.97
1011	96603	02/06/20	1914	US BANK	00150005150	DEPOSIT-COUNCIL CAKE	0.00	24.97
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	25.00
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	25.00
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	25.00
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	25.00
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT NAPKINS	0.00	29.26
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT WOOD/LGHTR	0.00	32.85
1011	96603	02/06/20	1914	US BANK	00150005150	FORKS/TABLE CLOTH	0.00	33.38
1011	96603	02/06/20	1914	US BANK	00150005400	VACANT/IN USE SLIDER	0.00	34.63
1011	96603	02/06/20	1914	US BANK	00150005100	COUNCIL MEETING SUPPL	0.00	35.90
1011	96603	02/06/20	1914	US BANK	00150005150	FRAMES	0.00	38.76
1011	96603	02/06/20	1914	US BANK	00160006170	TABLE COVER/PROTCTR	0.00	40.39
1011	96603	02/06/20	1914	US BANK	00160006120	STRG BX/SPRK PLG/COIL	0.00	40.69
1011	96603	02/06/20	1914	US BANK	00160006170	STORAGE CONTAINER	0.00	44.92
1011	96603	02/06/20	1914	US BANK	13550005450	MEMORY CARD	0.00	46.10
1011	96603	02/06/20	1914	US BANK	00150005450	BATTERIES	0.00	47.24
1011	96603	02/06/20	1914	US BANK	00150005150	MONITOR RISER	0.00	49.54
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	50.00
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	50.00
1011	96603	02/06/20	1914	US BANK	00150005150	MONITOR RISER	0.00	50.98
1011	96603	02/06/20	1914	US BANK	00150005150	BINDER TABS	0.00	51.13
1011	96603	02/06/20	1914	US BANK	00150005150	MONITOR RISER	0.00	51.48
1011	96603	02/06/20	1914	US BANK	00150005100	COUNCIL BUSNSS CARDS	0.00	51.71
1011	96603	02/06/20	1914	US BANK	00160006170	CLNR/TAPE/DR STP/HLDR	0.00	53.56
1011	96603	02/06/20	1914	US BANK	00160006120	TONER	0.00	55.80
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT CUPS	0.00	56.72
1011	96603	02/06/20	1914	US BANK	00150005150	COUNCIL ROTATN-CAKE	0.00	59.00
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT COSTUMES	0.00	59.26
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-GIFT BAGS	0.00	60.32
1011	96603	02/06/20	1914	US BANK	00160006170	HOOK/OUTLET/LGHTS	0.00	63.57

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT REFRESHMNTS	0.00	64.69
1011	96603	02/06/20	1914	US BANK	13560006120	4 SCREEN PROTECTORS	0.00	68.00
1011	96603	02/06/20	1914	US BANK	00160006170	EMT LVESCAN/DOJ-SHOOK	0.00	69.00
1011	96603	02/06/20	1914	US BANK	00150005450	CONSTANT CONTACT-DEC	0.00	75.00
1011	96603	02/06/20	1914	US BANK	00150005400	MILESTONE GIFT	0.00	75.00
1011	96603	02/06/20	1914	US BANK	00160006170	SUNSCREEN	0.00	77.00
1011	96603	02/06/20	1914	US BANK	00160006120	20 SPARK PLUGS	0.00	80.14
1011	96603	02/06/20	1914	US BANK	00150005450	CABLES/MOUSES	0.00	82.81
1011	96603	02/06/20	1914	US BANK	00160006170	STORAGE CONTAINER	0.00	83.20
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC FLOWERS	0.00	86.20
1011	96603	02/06/20	1914	US BANK	00160006170	LIGHTS FOR STN	0.00	87.25
1011	96603	02/06/20	1914	US BANK	00160006140	LOGO EMROIDERY	0.00	90.93
1011	96603	02/06/20	1914	US BANK	00160006120	USA/CALI FLAGS	0.00	94.60
1011	96603	02/06/20	1914	US BANK	00160006120	SHOP VACUUM	0.00	96.01
1011	96603	02/06/20	1914	US BANK	00150005150	USB HUB CHARGER	0.00	96.96
1011	96603	02/06/20	1914	US BANK	001	TRAVEL-WADE-02/05	0.00	102.96
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT ORNMTS/LGHT	0.00	103.28
1011	96603	02/06/20	1914	US BANK	00160006170	SUPPLIES	0.00	110.89
1011	96603	02/06/20	1914	US BANK	13560006120	4 SURFACE PRO PENS	0.00	112.84
1011	96603	02/06/20	1914	US BANK	00150005100	CLOSED SESSION-12/11	0.00	117.30
1011	96603	02/06/20	1914	US BANK	001	TRAVEL-KING-02/04	0.00	121.96
1011	96603	02/06/20	1914	US BANK	00160006170	EMT RENEWAL-MASON	0.00	125.50
1011	96603	02/06/20	1914	US BANK	00160006170	EMT RENEWAL-SHOOK	0.00	125.50
1011	96603	02/06/20	1914	US BANK	00160006170	STORAGE TOTES/SEALER	0.00	126.01
1011	96603	02/06/20	1914	US BANK	00170007110	TREE LGHT STRAW BALES	0.00	128.76
1011	96603	02/06/20	1914	US BANK	00150005450	2 WRLSS ACCESS POINTS	0.00	139.96
1011	96603	02/06/20	1914	US BANK	00160006170	DAY PLANNERS	0.00	156.18
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-DESSERTS	0.00	173.87
1011	96603	02/06/20	1914	US BANK	00150005150	LASER PNTR/BNDR/CASE	0.00	189.33
1011	96603	02/06/20	1914	US BANK	00150005200	ID BADGE HOLDERS	0.00	223.06
1011	96603	02/06/20	1914	US BANK	001	CNTRL SQR-BERKUT-3/17	0.00	225.63
1011	96603	02/06/20	1914	US BANK	001	CNTRL SQR-WONG-3/17	0.00	225.63
1011	96603	02/06/20	1914	US BANK	001	P SAMMAK-01/22-26	0.00	254.30
1011	96603	02/06/20	1914	US BANK	00160006170	TONER	0.00	273.37
1011	96603	02/06/20	1914	US BANK	13560006120	DEPOST-FIRE CAR DECAL	0.00	342.40
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-PHOTO BOOTH	0.00	400.00
1011	96603	02/06/20	1914	US BANK	00160006120	TWL/DTRGNT/CLNR/BAGS	0.00	424.83
1011	96603	02/06/20	1914	US BANK	00160006120	HELMT/LGHT/WHSTL/BAG	0.00	489.95
1011	96603	02/06/20	1914	US BANK	001	CNTRL SQR-TWADE-3/17	0.00	499.00
1011	96603	02/06/20	1914	US BANK	001	CNTRL SQR-BENSON-3/17	0.00	499.00
1011	96603	02/06/20	1914	US BANK	001	CNTRL SQR-BERKUT-3/17	0.00	499.00
1011	96603	02/06/20	1914	US BANK	001	CNTRL SQR-WONG-3/17	0.00	499.00
1011	96603	02/06/20	1914	US BANK	00155005550	STORAGE CART	0.00	502.81
1011	96603	02/06/20	1914	US BANK	00165006570	FRIDGE-LCCC	0.00	680.42
1011	96603	02/06/20	1914	US BANK	00160006120	EQUIP/RESCUE BAGS	0.00	714.55
1011	96603	02/06/20	1914	US BANK	001	STRMWTR-GOLDBERG-1/21	0.00	750.00
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-GIFTS	0.00	753.33
1011	96603	02/06/20	1914	US BANK	00165006570	EV CHARGER	0.00	1,174.41
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-LOC/CATERNG	0.00	1,637.14
1011	96603	02/06/20	1914	US BANK	00150005400	EE APPREC-LOC/CATERNG	0.00	1,637.15
1011	96603	02/06/20	1914	US BANK	00165006570	ICE MAKER-LCCC	0.00	1,944.61
TOTAL CHECK							0.00	19,195.82

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96604	02/06/20	1711	CALIFORNIA MUNICIPAL STA	00150005300	CAFR DEBT STMNT-FY 19	0.00	450.00
1011	96605	02/06/20	218	DATATICKET INC.	00160006140	ADMIN CITTN ADMIN-DEC	0.00	25.00
1011	96606	02/06/20	213	DEPARTMENT OF TRANSPORTA	00165006540	MAINT OCT-DEC	0.00	965.71
1011	96606	02/06/20	213	DEPARTMENT OF TRANSPORTA	00165006540	ELECT OCT-DEC	0.00	576.89
TOTAL CHECK								
1011	96607	02/06/20	5543	DOMUSSTUDIO ARCHITECTURE	45094496510	9449.01 MS CNTR-DEC	0.00	1,925.52
1011	96608	02/06/20	269	DUDEK & ASSOCIATES INC.	50998336510	9833 PUMP STN PHS-DEC	0.00	3,260.60
1011	96609	02/06/20	2062	ENTERPRISE RENT A CAR	27060006120	STRIKETM-11/02-BARRON	0.00	171.58
1011	96610	02/06/20	5610	ERGOSTOP INC.	12050005460	IT-STANDING DESK	0.00	1,151.81
1011	96610	02/06/20	5610	ERGOSTOP INC.	12050005460	CTY CLK-STANDING DESK	0.00	1,151.82
TOTAL CHECK								
1011	96611	02/06/20	94	ESGIL CORPORATION	00155005560	BLDG PRMT 01/01-01/03	0.00	817.50
1011	96612	02/06/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 02/07/20	0.00	12,046.68
1011	96613	02/06/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 02/07/20	0.00	2,169.04
1011	96614	02/06/20	5820	JAYA CUMMARAGUNTA	001	RFND-02/01/20-FCCC	0.00	400.00
1011	96614	02/06/20	5820	JAYA CUMMARAGUNTA	001	RFND-02/01/20-FCCC	0.00	96.39
TOTAL CHECK								
1011	96615	02/06/20	3984	LEHIGH HANSON HEIDELBERG	00165006530	CLASS II RECYCLED	0.00	248.46
1011	96616	02/06/20	71	L. N. CURTIS & SONS INC	00160006120	BOOTS-MITCHEL	0.00	454.11
1011	96617	02/06/20	5821	MICHAEL & SUSAN BIEKER	001	RFND-SBGR-307/421 N G	0.00	2,555.20
1011	96618	02/06/20	5407	PJ CASTORENA, INC.	00150005300	BC RENEWAL POSTCARD	0.00	854.11
1011	96618	02/06/20	5407	PJ CASTORENA, INC.	00150005300	STVR RENEWAL POSTCARD	0.00	262.09
1011	96618	02/06/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY-01/6 & 01/13	0.00	69.35
1011	96618	02/06/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY-11/11 & 11/18	0.00	99.07
1011	96618	02/06/20	5407	PJ CASTORENA, INC.	55000007750	92-LPMT/24-TLPM NTCS	0.00	152.00
TOTAL CHECK								
1011	96619	02/06/20	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.63
1011	96619	02/06/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	7.05
1011	96619	02/06/20	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	10.54
1011	96619	02/06/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	11.86
1011	96619	02/06/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	21.08
TOTAL CHECK								
1011	96620	02/06/20	5564	MUFG UNION BANK 2011 SEJ	509	LESS REV FUND BAL 3/1	0.00	-1.17
1011	96620	02/06/20	5564	MUFG UNION BANK 2011 SEJ	50900007700	2011 SEJPA PRIN 3/1	0.00	57,500.00
1011	96620	02/06/20	5564	MUFG UNION BANK 2011 SEJ	50900007700	2011 SEJPA INT 3/1	0.00	1,616.88

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
TOTAL CHECK							0.00	59,115.71
1011	96621	02/06/20	5565	MUFG UNION BANK 2017 SEJ	50900007700	2017 SEJPA PRIN 3/1	0.00	217,500.00
1011	96621	02/06/20	5565	MUFG UNION BANK 2017 SEJ	50900007700	2017 SEJPA INT 3/1	0.00	225,693.75
TOTAL CHECK							0.00	443,193.75
1011	96622	02/06/20	4522	NISSHO OF CALIFORNIA	00165006560	RPLCD VALVE-CSTL TRL	0.00	385.75
1011	96622	02/06/20	4522	NISSHO OF CALIFORNIA	00165006560	RPR VALVE-CSTL TRL	0.00	476.39
TOTAL CHECK							0.00	862.14
1011	96623	02/06/20	54	1 STOP TONER & INKJET, L	00155005550	TONER/COLOR TNR-PL	0.00	476.21
1011	96624	02/06/20	1008	PSC, LLC	00165006520	HHW-DEC	0.00	643.80
1011	96625	02/06/20	3774	ROBERT BARRON	27060006120	STRIKTM REMB-KINCAID	0.00	219.35
1011	96626	02/06/20	287	SALIENT NETWORKS (FKA DI	00150005450	2 PHONES-IT	0.00	806.68
1011	96627	02/06/20	5502	SAN DIEGO HUMANE SOCIETY	00160006130	FY20 ANIMAL SVC-DEC	0.00	6,920.58
1011	96627	02/06/20	5502	SAN DIEGO HUMANE SOCIETY	00160006130	FY20 ANIMAL SVC-JAN	0.00	6,920.58
TOTAL CHECK							0.00	13,841.16
1011	96628	02/06/20	141	SANTA FE IRRIGATION DIST	00165006560	005506015 1116-011520	0.00	136.32
1011	96628	02/06/20	141	SANTA FE IRRIGATION DIST	00165006560	005506016 1116-011520	0.00	283.60
1011	96628	02/06/20	141	SANTA FE IRRIGATION DIST	00165006560	005979003 1116-011520	0.00	284.87
1011	96628	02/06/20	141	SANTA FE IRRIGATION DIST	20375007510	005979004 1116-011520	0.00	215.22
1011	96628	02/06/20	141	SANTA FE IRRIGATION DIST	20375007510	007732000 1116-011520	0.00	145.56
TOTAL CHECK							0.00	1,065.57
1011	96629	02/06/20	169	SDG&E CO INC	00165006540	UTILITIES-12/05-01/07	0.00	503.86
1011	96629	02/06/20	169	SDG&E CO INC	00165006530	UTILITIES-12/05-01/07	0.00	773.93
1011	96629	02/06/20	169	SDG&E CO INC	00165006540	UTILITIES-12/05-01/07	0.00	1,068.72
1011	96629	02/06/20	169	SDG&E CO INC	00165006570	UTILITIES-12/05-01/07	0.00	1,477.72
1011	96629	02/06/20	169	SDG&E CO INC	00165006530	UTILITIES-12/05-01/07	0.00	472.47
1011	96629	02/06/20	169	SDG&E CO INC	20375007510	UTILITIES-12/05-01/07	0.00	2,695.30
1011	96629	02/06/20	169	SDG&E CO INC	00165006570	UTILITIES-12/05-01/07	0.00	5,339.73
1011	96629	02/06/20	169	SDG&E CO INC	21100007600	UTILITIES-12/05-01/07	0.00	6,606.91
TOTAL CHECK							0.00	18,938.64
1011	96630	02/06/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-DEC	0.00	170.04
1011	96630	02/06/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC SGNL MNT-DEC	0.00	1,062.88
1011	96630	02/06/20	5725	SIEMENS MOBILITY, INC.	00165006540	TRAFFIC CALL OUT-DEC	0.00	1,801.19
TOTAL CHECK							0.00	3,034.11
1011	96631	02/06/20	5743	STANDARD PLUMBING SUPPLY	00165006560	BRASS WEAR/BRSH	0.00	395.09
1011	96632	02/06/20	5818	SURF CITY GRAPHICS	13560006120	VEHICLE WRAP/DECAL-FS	0.00	454.40
1011	96633	02/06/20	3265	THE LAND STEWARDS	00165006520	POLY SAND BAGS-PW	0.00	373.64
1011	96634	02/06/20	5819	WATTCO EQUIPMENT INC.	00160006120	WHELEN OPTICOM EMITTR	0.00	369.80

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FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96635	02/06/20	662	WEST COAST ARBORISTS, IN	00165006530	TREE SVC-9/16-30	0.00	1,143.00
1011	96635	02/06/20	662	WEST COAST ARBORISTS, IN	00165006560	TREE SVC-9/16-30	0.00	1,143.00
TOTAL CHECK							0.00	2,286.00
1011	96636	02/06/20	5594	WEX BANK	00160006120	CR EXEMPT TAX-JAN	0.00	-96.13
1011	96636	02/06/20	5594	WEX BANK	00160006120	AUTO FUEL-JAN	0.00	1,552.84
TOTAL CHECK							0.00	1,456.71
1011	96637	02/06/20	5815	WRIGHT CONSTRUCTION ENGI	450	9925.00 PVMT RMV RTN	0.00	-1,695.00
1011	96637	02/06/20	5815	WRIGHT CONSTRUCTION ENGI	450	9925 PV RML CNT RTN	0.00	-404.00
1011	96637	02/06/20	5815	WRIGHT CONSTRUCTION ENGI	45099256510	9925.00 PAVMENT RMVL	0.00	32,205.00
1011	96637	02/06/20	5815	WRIGHT CONSTRUCTION ENGI	45099256510	9925.00 PVMNT RMV RTN	0.00	1,695.00
1011	96637	02/06/20	5815	WRIGHT CONSTRUCTION ENGI	45099256510	9925 PVMNT RML CONT	0.00	7,676.00
1011	96637	02/06/20	5815	WRIGHT CONSTRUCTION ENGI	45099256510	9925 PV RML CNT RTN	0.00	404.00
TOTAL CHECK							0.00	39,881.00
1011	V900085	01/30/20	1512	WELLS FARGO BANK N.A.	671	LSS RV FND CSH 3/2/20	0.00	-25.84
1011	V900085	01/30/20	1512	WELLS FARGO BANK N.A.	67185008510	BARB BND INT 3/2/20	0.00	28,943.76
1011	V900085	01/30/20	1512	WELLS FARGO BANK N.A.	67285008520	PACIFC BND INT 3/2/20	0.00	9,731.26
TOTAL CHECK							0.00	38,649.18
1011	V900086	01/30/20	4048	WELLS FARGO CORP TRST SS	67685008560	SSWR BOND INT 3/2	0.00	10,376.25
1011	V900086	01/30/20	4048	WELLS FARGO CORP TRST SS	67385008530	MARSOLAN BND INT 3/2	0.00	9,570.00
TOTAL CHECK							0.00	19,946.25
1011	V900087	02/06/20	4600	KYLE KOSZEWNIK	00150005300	REMB-1099M FORMS	0.00	21.50
1011	V900087	02/06/20	4600	KYLE KOSZEWNIK	12050005460	MILEAGE-1/15/20	0.00	17.71
1011	V900087	02/06/20	4600	KYLE KOSZEWNIK	12050005460	MILEAGE-2/21-7/17/19	0.00	17.87
1011	V900087	02/06/20	4600	KYLE KOSZEWNIK	12050005460	MILEAGE-2/21-7/17/19	0.00	64.03
TOTAL CHECK							0.00	121.11
1011	V900088	02/06/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 02/07/20	0.00	913.50
1011	V900089	02/06/20	4465	SUN LIFE FINANCIAL	001	JAN 20 LIFE&ADD INS	0.00	1,139.19
1011	V900089	02/06/20	4465	SUN LIFE FINANCIAL	001	JAN 20 LTD	0.00	1,610.27
1011	V900089	02/06/20	4465	SUN LIFE FINANCIAL	001	JAN 20 SUPP LIFE INS	0.00	355.75
TOTAL CHECK							0.00	3,105.21
TOTAL CASH ACCOUNT							0.00	869,693.13
TOTAL FUND							0.00	869,693.13
TOTAL REPORT							0.00	869,693.13



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Finance
SUBJECT: Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2019/20

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through February 12, 2020.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 12, 2019 (Resolution 2019-085) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of February 12, 2020						
Action	Description	Revenues	Expenditures	Transfers from GF		Net Surplus
Reso 2019-085	Adopted Budget	19,357,000	(19,141,500)	(151,100)	(1)	\$ 64,400
	(1) Transfers to:					
	Debt Service for Public Facilities		151,100			
				151,100		

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

N/A

COUNCIL ACTION:

WORK PLAN:

N/A

OPTIONS:

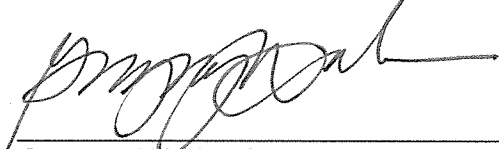
- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2019-2020 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Engineering Department
SUBJECT: **Council Consideration of Resolution No. 2020-025
Accepting the Project as Complete and Authorizing the
City Clerk to File a Notice of Completion for the
Emergency CMP Storm Drain Repair Project**

BACKGROUND:

The City of Solana Beach owns and operates numerous segments of Corrugated Metal Pipes (CMP) throughout the City. The majority of these pipes were constructed over 30 years ago and have surpassed their useful life. Recently, the City performed a condition assessment of the CMP network and found several locations requiring immediate attention to address conditions that pose public safety concerns.

At the January 8, 2020 City Council (Council) meeting, the Council declared an emergency pursuant to Public Contract Code Section 20168, ratified the City Manager's decision to execute contracts necessary to perform the repairs and directed Staff to provide updates to the City Council regarding the emergency as required by Public Contract Code Section 22050.

This item is before the City Council for the consideration of Resolution 2020-025 (Attachment 1), which accepts the project as complete and directs the City Clerk to file a Notice of Completion (NOC).

DISCUSSION:

Under the Phase 1 scope of work for the emergency CMP repairs, minor repairs were made to the bottom of several pipe segments. Completion of this task enabled City Staff and the maintenance contractor to complete the investigations by performing Closed Circuit Televising (CCTV). Upon reviewing the results of the CCTV operation

COUNCIL ACTION:

and consulting with a few contractors with experience in CMP repairs, the most appropriate method of repair has been identified for each evaluated pipe segment. In general, the methodology for CMP repairs varies depending on several factors such as accessibility, pipe diameter, condition of the existing pipe, proximity to other underground utilities, and inlet and outlet points. Staff has selected several pipe segments that are good candidates for the pipe lining method of repair. Pipe lining would rehabilitate the existing pipe in place and would not involve excavation for removal and reconstruction. Staff is in the process of developing design plans, specifications and a cost estimate so that the project can be advertised for competitive bidding process as soon as possible. At this point in time, the emergency conditions have been terminated and the next phase of repair (pipelining) may proceed under normal procedures.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302(c) of the State CEQA Guidelines.

FISCAL IMPACT:

The costs associated with the Phase I CMP Repairs were \$3,995. The Fiscal Year (FY) 2019/20 Capital Improvement Program (CIP) has identified funding for two storm drain projects. The first project is for the Citywide CMP Condition Assessment/Phase I Repairs funded in the amount of \$15,000. This entire amount was used for the investigations and condition assessment of the exiting CMP pipelines. The second project is for the Annual Storm Drain Improvements Project funded in the amount of \$250,000. Funding for the repairs of the CMP pipelines will be from this CIP project.

As mentioned above, the next step in the repair process is to advertise for construction bids for a project to perform pipe linings. That project will be designed to use most of the funding available in the Annual Storm Drain Improvements Project budget.

WORK PLAN:

The Project is consistent with Item B.2 of the Environmental Sustainability section of the FY 2019/20 Work Plan.

OPTIONS:

- Adopt Staff recommendation.
- Deny Staff recommendation and provide direction.


DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2020-025:

1. Accepting as complete the Emergency Corrugated Metal Pipe Storm Drain Repairs constructed by PAL General Engineering, Inc.
2. Authorizing the City Clerk to file a Notice of Completion.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution No. 2020-025

RESOLUTION 2020 - 025

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ACCEPTING AS COMPLETE THE EMERGENCY CORRUGATED METAL PIPES STORM DRAIN REPAIR PROJECT AND AUTHORIZING THE CITY CLERK TO FILE A NOTICE OF COMPLETION

WHEREAS, the City of Solana Beach owns and operates numerous segments of Corrugated Metal Pipes (CMP) throughout the City. Recently, a condition assessment of the CMP network was performed and found several locations requiring immediate attention to address conditions that pose significant public safety concerns; and

WHEREAS, under the Phase 1 scope of work for the emergency CMP repairs, minor repairs were made to the bottom of several pipe segments.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council accepts as complete the Emergency Corrugated Metal Pipe Storm Drain Repairs constructed by PAL General Engineering, Inc.
3. That the City Council authorizes the City Clerk to file a Notice of Completion for the project.

PASSED AND ADOPTED this 26th day of February, 2020, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: City Manager/Human Resources Department
SUBJECT: **Resolution No. 2020-020 – City Council Consideration of Adjustments to the Current FY 2019/20 Seasonal/Temporary Salary Schedule (Schedule 6) in Accordance with the State of California Minimum Wage Requirements, Updating the Current FY 2019/20 Management Salary Schedule and Adopting and Adding a Senior Civil Engineer Position to the Classification Plan**

BACKGROUND:

In accordance with the City's Personnel Rules and Regulations Section 8.10, the City Council authorizes and approves all salary and benefit plans for employees and establishes salary ranges pursuant to recommendation by the City Manager. Salary and benefits for non-represented employees (confidential, management and seasonal/ part-time employees) are included in the salary and compensation plans approved by the City Council each fiscal year. The City Council must approve a Salary and Compensation Plan for all employees to coincide with fiscal appropriations of a new fiscal year and new budget. Subsequent revisions to the adopted Salary and Compensation Plan are recommended by the City Manager pursuant to City Personnel Rules and approved by the City Council.

On June 26, 2019, the City Council adopted the Fiscal Year (FY) 2019/20 Salary and Compensation Plans for all represented and non-represented employees. During the mentioned approval process, all City salary schedules received an adjustment with the exception of the Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6).

It is the responsibility of the City Manager to consistently engage in organizational analysis of various City operations to improve efficiency and effectiveness and ensure the most economical means of conducting business is achieved. Section 2.08.070, Section D, of the Solana Beach Municipal Code (SBMC), "Powers and Duties (of City Manager)"

COUNCIL ACTION:

Administrative Reorganization of Offices, states:

It shall be the duty and responsibility of the City Manager to conduct studies and effect such administrative reorganization of offices, positions or units under the City Manager's direction as may be indicated in the interest of efficient, effective and economical conduct of the City's business.

Staff is recommending the following:

- Amend the FY 2019/20 Management Salary Schedule (Schedule 1), in order to properly place certain classifications within the appropriate pay grades.
- Amend the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6) in order to meet the State minimum wage requirements.
- Create and adopt a Senior Civil Engineer position in order to provide growth and advancement opportunities within the City.

This item is before the City Council for consideration of Resolution No. 2020-020 (Attachment 1) to amend the FY 2019/20 Management Salary Schedule (Schedule 1), to amend the FY 2019/20 Seasonal/Temporary Salary Schedule (Schedule 6), to approve the creation and adoption of the Senior Civil Engineer position to the Classification Plan, and to authorize the City Manager to make any future necessary changes to the City's salary schedules to remain in compliance with applicable State and/or Federal laws.

DISCUSSION:

The minimum wage in the State of California has increased from \$7.50 per hour in 2007 to \$13.00 per hour beginning this past January 1, 2020. A history of past and future minimum wage amounts per hour is listed in the following table:

<u>Minimum Wage History</u>		
01/01/07	\$ 7.50	/hour
01/01/08	8.00	/hour
07/01/14	9.00	/hour
01/01/16	10.00	/hour
01/01/17	10.50	/hour
01/01/18	11.00	/hour
01/01/19	12.00	/hour
01/01/20	13.00	/hour
01/01/21	14.00	/hour
01/01/22	15.00	/hour

Currently, the FY 2019/20 Part-Time/Temporary/Seasonal Salary (Schedule 6) (Attachment 2) has several positions with salary steps that are lower than the State minimum wage. Staff recommends changing the five step salary band (A to E) for the Junior Lifeguard Intern and Lifeguard Intern positions to a single salary band of \$13.00 per hour, which will be in compliance with the State of California’s minimum wage requirements for Calendar Year 2020. Thereafter, the single salary band for these positions will increase each January 1 to meet the State’s minimum wage requirements.

Additionally, in anticipation of future minimum wage increases and in order to remain competitive in our recruitment efforts for temporary and seasonal hiring needs, Staff recommends increasing all other classifications as proposed on the Part-Time/Temporary/Seasonal salary schedule (Attachment 3). It should be noted that other than the seasonal lifeguard and recreation program employees; none of the other listed temporary employee positions are currently filled. Such positions are only ever filled on an as needed basis.

Management Salary Schedule (Schedule 1) Updates

During the mid-year budget process and a review of the current Management Salary Schedule (Schedule 1) (Attachment 4), Staff discovered discrepancies in pay grades assigned to certain management positions. A pay grade is a step within a compensation system that defines the amount of pay an employee can receive. The pay grade is generally defined by the level of the responsibilities performed within the job description of the position, the authority exercised by the position, and the length of time the employee has performed the job.

After further analysis, Staff recommends pay grade changes for the following management positions (Attachment 5):

Position	Current Pay Grade	New Pay Grade
Senior Planner	M-2	M-3
Principal Planner	M-3	M-4
Recreation Manager	M-3	M-4
Marine Safety Captain	M-3	M-6
Finance Manager	M-7	M-4A
City Clerk	M-6	M-8
Human Resources Director	M-6	M-8

These proposed changes reflect a more accurate picture of the positions, including job responsibility, job families and the competitive salary ranges within the market. No immediate pay increases are proposed nor will they result from these changes.

New Classification

Staff recommends creating and adopting a Senior Civil Engineer position (Attachment 6) in order to allow growth and advancement opportunities, as well as to provide flexibility in recruitment of new employees based on skills and qualifications.

The Senior Civil Engineer is distinguished from the Associate Civil Engineer classification in that the Senior Civil Engineer would have a higher level of professional responsibility for managing highly visible and sensitive projects and supervisory responsibilities. The Senior Civil Engineer position would be a Fair Labor Standards Act (FLSA) exempt position under the Management Employees salary schedule, pay grade M-3 (Schedule 1) (Attachment 5).

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The increases in the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule and the addition of a Senior Civil Engineer position will result in approximately \$3,200 and \$3,000, respectively, for a total of \$6,200 in additional salary and benefit costs to the General Fund through the end of this fiscal year. Thereafter, the total annual General Budget increase will be \$12,500 per fiscal year.

This additional cost will be appropriated in the Mid-Year Budget Report being presented to Council at tonight's meeting.

WORK PLAN: N/A

OPTIONS:

- Approve Resolution 2020-020 to amend the FY 2019/20 Management Salary Schedule (Schedule 1) and the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6), and to and adopt the Senior Civil Engineer position and add to the City's Job Classification Plan.
- Do not approve Resolution 2020-020 to amend the FY 2019/20 Management Salary Schedule (Schedule 1) and the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6), and to and adopt the Senior Civil Engineer position and add to the City's Job Classification Plan, and provide direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council consider adoption of Resolution 2020-020:

1. Approving Salary Adjustments to the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule (Schedule 6) and authorizing the City Manager to make any subsequent changes to the Salary Schedule in accordance with applicable laws.
2. Approving and adopting the creation and addition of the Senior Civil Engineer classification and position.
3. Approving and adopting the pay grade change on the FY 2019/20 Management Salary Schedule (Schedule 1).

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Resolution 2020-020
2. Current 2019/20 Part-Time/Temporary/Seasonal Salary (Schedule 6)
3. Updated 2019/20 Part-Time/Temporary/Seasonal Employees Salary (Schedule 6)
4. Current 2019/20 Management Salary Schedule (Schedule 1)
5. Updated 2019/20 Management Salary Schedule (Schedule 1)
6. Senior Civil Engineer Job Description

RESOLUTION NO. 2020-020

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE AMENDMENT OF FY 2019/20 MANAGEMENT SALARY SCHEDULE, PART-TIME/TEMPORARY/SEASONAL SALARY SCHEDULE AND ADOPTION OF THE SENIOR CIVIL ENGINEER CLASSIFICATION

WHEREAS, the City Council authorizes all salary and compensation plans (Section 8.10 of the City's Personnel Rules and Regulations); and

WHEREAS, the City Council approved and adopted the FY 2019/20 salary and compensation plan for all employees on June 26, 2019; and

WHEREAS, the management salary schedule has been amended to adjust pay grades for certain management positions; and

WHEREAS, the part-time/temporary/seasonal salary schedule has been amended to reflect the new State of California minimum wage requirements; and

WHEREAS, a new Senior Civil Engineer position has been created and added to the City's Job Classification Plan; and

WHEREAS, the City Council has reviewed and considered the City Manager's recommendations for salary and compensation plans and is prepared to approve and adopt the amended the mentioned FY 2019/20 Salary, Classification and Compensation plans as recommended.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. The amendments to the FY 2019/20 Salary and Compensation Plans are as follows:
 - A. Management Salary Schedule (Schedule 1)
 - i. Amended to adjust pay grades for certain management positions
 - B. Part-Time/Seasonal/Temporary Salary Schedule (Schedule 6):
 - i. Amended salary ranges to reflect the new State of California minimum wage requirements and to remain competitive in the market place
 - C. A Senior Civil Engineer position has been created and added to the City's Job Classification Plan.
 - D. Except as identified above, the terms of the FY 2019/20 Salary and Compensation Plans shall continue in full force and effect for all employees.

E. Term:

- I. The amended FY 2019/20 Part-Time/Seasonal/Temporary Salary Schedule (Schedule 6) shall be effective as of January 1, 2020, for all part-time/seasonal/temporary employees, and will remain in effect until December 31, 2020.
- II. The amended FY 2019/20 Management Salary Schedule (Schedule 1) shall be effective as of February 26, 2020, for all management employees, and will remain in effect for an unspecified period of time or until revised by City Council.

PASSED AND ADOPTED this 26th day of February 2020, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –

NOES: Councilmembers –

ABSENT: Councilmembers –

ABSTAIN: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA CANLAS, City Attorney

ANGELA IVEY, City Clerk

**Part-Time/Seasonal Temporary Employees
Salary Schedule 6
Effective January 1, 2019**

	Grade	Job Classification	Step A	Step B	Step C	Step D	Step E
PTS	9	Junior Lifeguard Intern	\$	\$	\$ 12.13	\$ 12.73	\$ 13.37
PTS	19	Management Intern	\$ 12.15	\$ 12.76	\$ 13.40	\$ 14.07	\$ 14.77
PTS	21	Parking Enforcement Officer	\$ 12.40	\$ 13.01	\$ 13.67	\$ 14.35	\$ 15.07
PTS	24	Junior Lifeguard Instructor	\$ 12.77	\$ 13.41	\$ 14.08	\$ 14.78	\$ 15.52
PTS	25	Recreation Leader	\$ 12.90	\$ 13.54	\$ 14.22	\$ 14.93	\$ 15.68
PTS	35	Senior Recreation Leader	\$ 14.25	\$ 14.96	\$ 15.71	\$ 16.49	\$ 17.32
PTS	36	Temporary Administrative Assistant	\$ 14.39	\$ 15.11	\$ 15.87	\$ 16.66	\$ 17.49
PTS	37	Lifeguard	\$ 14.53	\$ 15.26	\$ 16.02	\$ 16.83	\$ 17.67
PTS	42	Lifeguard + EMT	\$ 15.28	\$ 16.04	\$ 16.84	\$ 17.68	\$ 18.57
PTS	50	Jr. Lifeguard Instructor Sr.	\$ 16.54	\$ 17.37	\$ 18.24	\$ 19.15	\$ 20.11
PTS	57	Temporary Maintenance Worker I	\$ 17.73	\$ 18.62	\$ 19.55	\$ 20.53	\$ 21.56
PTS	58	Temporary Fire Fighter	\$ 17.91	\$ 18.81	\$ 19.75	\$ 20.74	\$ 21.77
PTS	59	Temporary Planning Technician	\$ 18.09	\$ 19.00	\$ 19.95	\$ 20.94	\$ 21.99
		Temporary Engineering Technician					
PTS	62	Jr. Lifeguard Program Director Assistant	\$ 18.64	\$ 19.57	\$ 20.55	\$ 21.58	\$ 22.66
		Senior Lifeguard					
PTS	63	Temporary Administrative Technician	\$ 18.83	\$ 19.77	\$ 20.76	\$ 21.79	\$ 22.88
PTS	67	Code Compliance Officer Assistant	\$ 19.59	\$ 20.57	\$ 21.60	\$ 22.68	\$ 23.81
		Senior Lifeguard & EMT					
PTS	75	Junior Lifeguard Program Director	\$ 21.21	\$ 22.27	\$ 23.39	\$ 24.56	\$ 25.78
PTS	83	Temporary Management Assistant	\$ 22.97	\$ 24.12	\$ 25.33	\$ 26.59	\$ 27.92
PTS	104	Temporary Fire Prevention Technician	\$ 28.31	\$ 29.72	\$ 31.21	\$ 32.77	\$ 34.41

PART-TIME/TEMPORARY/SEASONAL SALARY SCHEDULE
 SCHEDULE 6
 EFFECTIVE JANUARY 1, 2020

Pay Grade		Job Classification	Step A	Step B	Step C	Step D	Step E
PTS	26	Lifeguard Intern	\$13.00				
		Junior Lifeguard Intern					
PTS	31	Junior Lifeguard Instructor I (Non-Lifeguard)	\$13.66	\$14.35	\$15.06	\$15.82	\$16.61
PTS	41	Lifeguard	\$15.00	\$15.75	\$16.54	\$17.36	\$18.23
		Junior LG Instructor II					
		Management Intern					
		Temporary Administrative Assistant					
		Parking Enforcement Officer					
Recreation Leader I							
PTS	46	Lifeguard + EMT	\$15.77	\$16.55	\$17.38	\$18.25	\$19.16
		Junior LG Instructor II + EMT					
		Recreation Leader II					
PTS	58	Temporary Maintenance Worker I	\$17.76	\$18.65	\$19.59	\$20.56	\$21.59
PTS	59	Temporary FireFighter/PM	\$17.94	\$18.84	\$19.78	\$20.77	\$21.81
PTS	60	Temporary Planning Technician	\$18.12	\$19.03	\$19.98	\$20.98	\$22.03
		Temporary Engineering Technician					
PTS	64	Temporary Administrative Technician	\$18.86	\$19.80	\$20.79	\$21.83	\$22.92
		Jr. Lifeguard Administrative Technician					
PTS	65	Recreation Leader III	\$19.05	\$20.00	\$21.00	\$22.05	\$23.15
		Senior Lifeguard					
PTS	68	Code Compliance Officer Assistant	\$19.62	\$20.60	\$21.63	\$22.72	\$23.85
PTS	70	Senior Lifeguard + EMT	\$20.02	\$21.02	\$22.07	\$23.17	\$24.33
PTS	84	Temporary Management Assistant	\$23.01	\$24.16	\$25.37	\$26.64	\$27.97
PTS	105	Temporary Fire Prevention Technician	\$28.36	\$29.77	\$31.26	\$32.83	\$34.47

Management Pay Structure
Schedule 1
Effective July 6, 2019

Pay Grade	Job Classifications	Payment Schedule	Range Minimum	Range 25th Percentile	Range Midpoint	Range 75th Percentile	Range Maximum
M1	Management Analyst Human Resources Analyst Recreation Supervisor Executive Assistant to the City Manager/City Council	Annual	\$61,125	\$70,294	\$79,462	\$88,631	\$97,800
		Monthly	\$5,094	\$5,858	\$6,622	\$7,386	\$8,150
		Bi-weekly	\$2,647	\$2,929	\$3,311	\$3,693	\$4,075
		Hourly	\$29.39	\$33.80	\$38.20	\$42.61	\$47.02
M2	Senior Human Resources Analyst Senior Management Analyst Deputy City Clerk Senior Planner	Annual	\$69,927	\$78,688	\$87,409	\$96,160	\$104,890
		Monthly	\$5,827	\$6,558	\$7,284	\$8,012	\$8,741
		Bi-weekly	\$3,014	\$3,278	\$3,642	\$4,006	\$4,370
		Hourly	\$33.62	\$37.82	\$42.02	\$46.23	\$50.43
M3	Principal Planner Marine Safety Captain Recreation Manager Network System Engineer Senior Accountant	Annual	\$76,920	\$86,535	\$96,150	\$105,765	\$115,379
		Monthly	\$6,410	\$7,211	\$8,012	\$8,814	\$9,616
		Bi-weekly	\$3,205	\$3,606	\$4,006	\$4,407	\$4,807
		Hourly	\$36.98	\$41.60	\$46.23	\$50.85	\$55.47
M4	Information Technology Manager Principal Civil Engineer Public Works Operations Manager Human Resources Manager	Annual	\$84,612	\$95,488	\$106,365	\$116,341	\$126,917
		Monthly	\$7,051	\$7,952	\$8,814	\$9,695	\$10,676
		Bi-weekly	\$3,525	\$3,966	\$4,407	\$4,848	\$5,289
		Hourly	\$40.68	\$45.76	\$50.85	\$55.93	\$61.02
M4-A	Assistant to the City Manager	Annual	\$93,073	\$104,707	\$116,341	\$127,975	\$139,609
		Monthly	\$7,756	\$8,726	\$9,695	\$10,665	\$11,634
		Bi-weekly	\$3,878	\$4,363	\$4,848	\$5,332	\$5,817
		Hourly	\$44.75	\$50.34	\$55.93	\$61.53	\$67.12
M5	Fire Battalion Chief (2912 annual hours)	Annual	\$96,229	\$109,258	\$120,287	\$132,316	\$144,344
		Monthly	\$8,019	\$9,022	\$10,024	\$11,026	\$12,028
		Bi-weekly	\$4,010	\$4,511	\$5,012	\$5,513	\$6,014
		Hourly	\$33.05	\$37.18	\$41.31	\$45.44	\$49.57
M6	City Clerk Human Resources Director	Annual	\$102,380	\$116,478	\$127,976	\$140,773	\$153,670
		Monthly	\$8,532	\$9,699	\$10,666	\$11,731	\$12,796
		Bi-weekly	\$4,266	\$4,799	\$5,332	\$5,865	\$6,399
		Hourly	\$49.22	\$55.37	\$61.53	\$67.68	\$73.83
M6-A	Fire Battalion Chief (2080 annual hours)	Annual	\$105,852	\$119,084	\$132,316	\$145,547	\$158,779
		Monthly	\$8,921	\$9,924	\$10,926	\$11,929	\$12,932
		Bi-weekly	\$4,411	\$4,962	\$5,463	\$6,014	\$6,516
		Hourly	\$50.89	\$57.25	\$63.61	\$69.97	\$76.34
M7	Deputy Fire Chief Finance Manager	Annual	\$108,287	\$124,530	\$140,773	\$157,016	\$173,259
		Monthly	\$9,024	\$10,377	\$11,731	\$13,085	\$14,438
		Bi-weekly	\$4,512	\$5,189	\$5,866	\$6,542	\$7,219
		Hourly	\$52.06	\$59.87	\$67.68	\$75.49	\$83.30
M8	City Engineer/Public Works Director Community Development Director Fire Chief Finance Director/City Treasurer Administrative Services Director/Assistant City Manager	Annual	\$119,115	\$138,983	\$164,850	\$172,717	\$190,584
		Monthly	\$9,926	\$11,415	\$12,904	\$14,393	\$15,882
		Bi-weekly	\$4,963	\$5,708	\$6,452	\$7,197	\$7,941
		Hourly	\$57.27	\$65.85	\$74.45	\$83.04	\$91.63

Pay Structure Legend:

Range Spread =	60%
Pay Structure Aging: 07/01/14 =	3.0%
Constant Grade Differential =	10%

**MANAGEMENT SALARY SCHEDULE
SCHEDULE 1
UPDATED EFFECTIVE 02/26/2020**

Pay Grade	Job Classifications	Payment Schedule	Range Minimum	Range 25th Percentile	Range Midpoint	Range 75th Percentile	Range Maximum
M1	Management Analyst	Annual	\$81,125	\$70,294	\$79,462	\$88,631	\$97,800
	Human Resources Analyst	Monthly	\$5,094	\$5,858	\$6,622	\$7,386	\$8,150
	Recreation Supervisor	Bi-weekly	\$2,547	\$2,929	\$3,311	\$3,693	\$4,075
	Executive Assistant to City Manager/Council	Hourly	\$29.39	\$33.80	\$38.20	\$42.61	\$47.02
M2	Deputy City Clerk	Annual	\$69,927	\$78,668	\$87,409	\$96,150	\$104,890
	Senior Human Resources Analyst	Monthly	\$5,827	\$6,556	\$7,284	\$8,012	\$8,741
	Senior Management Analyst	Bi-weekly	\$2,914	\$3,278	\$3,642	\$4,006	\$4,370
		Hourly	\$33.62	\$37.82	\$42.02	\$46.23	\$50.43
M3	Network System Engineer	Annual	\$76,920	\$86,535	\$96,150	\$105,765	\$115,379
	Senior Accountant	Monthly	\$6,410	\$7,211	\$8,012	\$8,814	\$9,615
	Senior Civil Engineer	Bi-weekly	\$3,205	\$3,806	\$4,407	\$5,008	\$5,609
	Senior Planner	Hourly	\$36.98	\$41.60	\$46.23	\$50.85	\$55.47
M4	Human Resources Manager	Annual	\$84,612	\$95,188	\$105,765	\$116,341	\$126,917
	Information Technology Manager	Monthly	\$7,051	\$7,932	\$8,814	\$9,695	\$10,576
	Principal Civil Engineer	Bi-weekly	\$3,525	\$3,966	\$4,407	\$4,848	\$5,288
	Principal Planner Public Works Operations Manager Recreation Manager	Hourly	\$40.68	\$45.76	\$50.85	\$55.93	\$61.02
M4-A	Assistant to the City Manager	Annual	\$93,073	\$104,707	\$116,341	\$127,975	\$139,609
	Finance Manager	Monthly	\$7,756	\$8,726	\$9,695	\$10,665	\$11,634
		Bi-weekly	\$3,878	\$4,363	\$4,848	\$5,332	\$5,817
		Hourly	\$44.75	\$50.34	\$55.93	\$61.53	\$67.12
M5	Fire Battalion Chief (2912 annual hours)	Annual	\$96,230	\$108,258	\$120,287	\$132,316	\$144,344
		Monthly	\$8,019	\$9,022	\$10,024	\$11,026	\$12,029
		Bi-weekly	\$4,010	\$4,511	\$5,012	\$5,513	\$6,014
		Hourly	\$33.05	\$37.18	\$41.31	\$45.44	\$49.57
M6	Marine Safety Captain	Annual	\$102,380	\$115,178	\$127,975	\$140,773	\$153,570
		Monthly	\$8,532	\$9,598	\$10,665	\$11,731	\$12,798
		Bi-weekly	\$4,266	\$4,799	\$5,332	\$5,866	\$6,399
		Hourly	\$49.22	\$55.37	\$61.53	\$67.68	\$73.83
M6-A	Fire Battalion Chief (2080 annual hours)	Annual	\$105,853	\$119,084	\$132,316	\$145,548	\$158,779
		Monthly	\$8,821	\$9,924	\$11,026	\$12,129	\$13,232
		Bi-weekly	\$4,411	\$4,962	\$5,513	\$6,064	\$6,616
		Hourly	\$50.89	\$57.25	\$63.61	\$69.97	\$76.34
M7	Deputy Fire Chief	Annual	\$108,287	\$124,530	\$140,773	\$157,016	\$173,259
		Monthly	\$9,024	\$10,377	\$11,731	\$13,085	\$14,438
		Bi-weekly	\$4,512	\$5,189	\$5,866	\$6,542	\$7,219
		Hourly	\$52.06	\$59.87	\$67.68	\$75.49	\$83.30
M8	Administrative Services Director/Assistant City Manager	Annual	\$119,115	\$136,983	\$154,850	\$172,717	\$190,584
	City Clerk	Monthly	\$9,926	\$11,415	\$12,904	\$14,393	\$15,882
	City Engineer/Public Works Director	Bi-weekly	\$4,963	\$5,708	\$6,452	\$7,197	\$7,941
	Community Development Director	Hourly	\$57.27	\$65.86	\$74.45	\$83.04	\$91.63
	Fire Chief Finance Director/City Treasurer Human Resources Director						

CITY OF SOLANA BEACH

SENIOR CIVIL ENGINEER

Class specifications are intended to present a descriptive list of the range of duties performed by employees in the class. Specifications are not intended to reflect all duties performed within the job. The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.

DEFINITION

Under general supervision, performs a variety of advanced professional engineering analyses provides management, planning, and coordination for highly complex professional engineering activities. Provides direct involvement and supervision for engineers in overseeing, Capital improvement program and land development projects. Manages and oversees the City's stormwater and other engineering programs. Ensures that functions meet all applicable laws, regulations, and City policies related to the City's responsibilities for all City Departments and other regulatory agencies. Provides highly responsible and complex administrative support to the City Engineer, Principal Engineer and others; and performs related work as required. This class is distinguished from the Associate Civil Engineer by the level of professional responsibility for managing highly visible and sensitive projects and supervisory responsibilities.

CLASS CHARACTERISTICS

This is the advanced journey level class in the professional engineering series. Positions assigned to this class can be distinguished from lower level engineering classes by performance of the more complex engineering tasks requiring a high degree of knowledge, responsibility, and for managing highly visible and sensitive projects. Senior Civil Engineer is responsible for reviewing private sector land use proposals in addition to serving as project manager on multiple difficult projects. This class is distinguished from that of the Principal Civil Engineer in that the latter is a mid-management class accountable for supervision of the majority of the department's staff. The Senior Civil Engineer position is a FLSA exempt management position.

ESSENTIAL FUNCTIONS

The following duties are typical for this classification. Incumbents may not perform all of the listed duties and/or may be required to perform additional or different duties from those set forth below to address business needs and changing business practices.

- Plans, organizes, assigns, supervises, and reviews the work of assigned staff; oversees public and private sub-division projects, capital improvement programs, grading, and/or field inspection work.
- Participates in the development and implementation of goals, objectives, policies, and priorities for assigned programs; recommends, within departmental policy, appropriate service and staffing levels; recommends and administers policies and procedures.
- Trains staff in work and safety procedures and in the operation and use of equipment and supplies; implements procedures and standards.

- Monitors operations and activities of projects; recommends improvements and modifications and prepares various reports on operations and activities.
- Participates in the selection, training, motivation, and evaluation of assigned staff; provides or coordinates staff training; works with employees on performance issues in coordination with the department head.
- Plans, directs, coordinates, and reviews the work plan for the assigned area; meets with staff to identify and resolve problems, assigns work activities, projects and programs; monitors work flow; reviews and evaluates work products, methods and procedures.
- Provides input in the development and administration of the annual budget and the capital improvements budget.
- Identifies opportunities for improving service delivery methods and procedures; provides recommendations concerning process changes; reviews with appropriate management staff; implements improvements.
- Inspects and verifies work in progress and completed work of assigned employees and contractors for accuracy, proper work methods, techniques, and compliance with applicable standards and specifications.
- Participates in the development of consultant requests for proposal for professional and/or construction services and the advertising and bid processes; evaluates proposals and recommends project award; administers contracts after award.
- Negotiates and administers contracts for construction projects; ensures contractor compliance with City standards and specifications, time and budget estimates; analyzes and resolves complex problems that may arise; recommends and approves field changes as required.
- Conducts Capital Improvement Project planning activities; provides oversight and input into the conceptual design of engineering projects; investigates and resolves problems with scope of work or cost issues of major facility upgrade and replacement projects; ensures that projects are completed on time and within budget.
- Manage projects as assigned.
- Analyzes civil engineering plan design, specifications, consultant and staff comments in accordance with design requirements and municipal and intergovernmental standards and regulations; recommends approval or additional engineering conditions and changes.
- Meets and confers with contractors, engineers, developers, architects, a variety of outside agencies, and the general public in acquiring information and coordinating engineering matters; provides information regarding City development requirements.
- Plans, organizes, oversees, and directs all aspects of the stormwater program, including legal and regulatory compliance.

- Develops and implements goals, objectives, policies, and priorities for the City's stormwater program, including development and implementation of a long-term plan; recommends and administers policies and procedures of program to ensure regulatory compliance.
- Coordinates with public, private business, and governmental agencies regarding the program as needed.
- Reviews various maps, easements and easement documents for correctness and conformity with industry standards and legal principles.
- Coordinates with the general public, other departments, contractors, private surveyors and outside organizations relative to municipal mapping and survey practices and procedures.
- Provides technical information and instruction regarding applicable procedures and methods; interprets and explains rules, regulations and procedures; answers questions and resolves concerns.
- Performs the most complex engineering duties and provides technical assistance to crews.
- Troubleshoots complex operational and maintenance problems; corrects or directs the correction of operational and/or procedural problems.
- Coordinates assigned services and activities with those of other divisions and outside agencies and organizations to ensure City standards are being met.
- Provides staff assistance to the City Engineer; prepares or directs the preparation and presentation of staff reports and other necessary correspondence; oversees the preparation and maintenance of related reports, records, and files; ensures the proper documentation of activities.
- Stays current on the status of new and pending regulatory legislation; recommends changes to current policies and procedures in order to comply with changes in legislation.
- Develops and reviews staff reports related to engineering activities and services; may present information to the City Council and various commissions, committees and boards; performs a variety of public relations and outreach work related to assigned activities.
- Participates on a variety of boards, commissions, committees, and task forces; attends and participates in professional groups and committees; stays abreast of new trends and innovations.
- Answers questions and provides information to the public; investigates inquiries; recommends corrective actions to resolve issues.
- Performs other duties as assigned.

QUALIFICATIONS GUIDELINES

Education, Experience and Training

Any combination of experience and training that would likely provide the required knowledge and abilities is qualifying. A typical way to obtain the knowledge and abilities would be:

Experience:

- Six years of increasingly responsible civil engineering experience including with two years of experience leading staff and/or supervising projects.

Education:

- A Bachelor's degree from an accredited college or university with major course work in civil engineering or a related engineering field.

Required Certification

- Current and active registration as a Professional Engineer with the State of California (P.E.)

Knowledge of:

- Principles and practices of employee supervision, including work planning, assignment, review and evaluation, discipline, and the training of staff in work procedures.
- Principles and practices of engineering project management, and program development and administration.
- Principles and practices of civil engineering as applied to the planning, design, cost estimating, construction, installation, and inspection of a wide variety of municipal facilities, miscellaneous buildings and structures.
- Civil and transportation engineering principles, concepts, standards, and practices associated with public works programs and private development projects.
- Principles and practices of environmental impact assessment and related regulatory processes.
- Land surveying principles and practices.
- Methods, materials and techniques used in the construction of public works projects.
- Project and/or program management, analytical processes, and reporting requirements related to stormwater regulations.
- Applicable federal, state, and local laws, ordinances, regulations, and guidelines relevant to assigned duties.
- Principles and practices of contract administration and evaluation.
- Recent and on-going developments, current literature, and sources of information related to the operations of the assigned functional area.
- Safety principles and practices.
- Recordkeeping principles and procedures.
- Methods and techniques of eliciting community participation in planning and development issues.
- Modern office procedures, methods, and equipment including computers and supporting software applications; computer applications related to the work.
- English usage, grammar, spelling, vocabulary, and punctuation.

- Techniques for dealing effectively with the public, vendors, contractors and City staff, in person and over the telephone.
- Techniques for effectively representing the City in contacts with governmental agencies, community groups and various business, professional, educational, regulatory and legislative organizations.
- Techniques for providing a high level of customer service to public and City staff, in person and over the telephone.

Ability to:

- Assist in developing and implementing goals, objectives, practices, policies, procedures, and work standards.
- Supervise, train, plan, organize, schedule, assign, review, and evaluate the work of staff.
- Analyze, interpret, apply, and enforce applicable Federal, State, and local policies, procedures, laws, and regulations.
- Identify problems, research and analyze relevant information, develop and present recommendations and justification for solution.
- Perform the most complex engineering projects and programs efficiently and effectively.
- Develop cost estimates for contracted services, supplies, and equipment.
- Research, analyze, and evaluate new service delivery methods, procedures, and techniques.
- Maintain accurate records and files of work performed.
- Develop and recommend systems and procedures related to assigned operations.
- Establish and maintain a variety of manual and computerized recordkeeping and project management systems.
- Read, interpret, retrieve, and produce drawings, blueprints, maps, and specifications.
- Make sound, independent decisions within established policy and procedural guidelines.
- Prepare clear and concise reports and analyze technical and administrative reports, statements, and correspondence.
- Present technical data in verbal, written, graphic, and map form to City Council, City management staff, citizen groups, and variety of committees and commissions.
- Interpret engineering programs to the general public.
- Read, analyze, and interpret information from professional journals, technical procedures, or governmental regulations.
- Operate modern office equipment and computers including specialized computer applications.
- Demonstrate an awareness and appreciation of the cultural diversity of the community.
- Communicate clearly and concisely, both orally and in writing.
- Establish and maintain effective working relationships with those contacted in the course of work.
- Use tact, initiative, prudence, and independent judgment within general policy and legal guidelines in politically sensitive situations.

Special Requirements:

- The applicant selected will be subject to a criminal history investigation through the California Department of Justice (DOJ) and a thorough background check. A waiver for reference and background information must be completed.
- Possession of a valid Class "C" California driver's license with a satisfactory driving record.
- City of Solana Beach employees are designated Disaster Service Workers through state law (California Government Code Section 3100-3109). Employment with the City requires the affirmation of a loyalty oath to this effect. Employees are required to complete all Disaster Service Worker-related training as assigned, and to return to work as ordered in the event of an emergency.

PHYSICAL AND MENTAL DEMANDS/WORKING CONDITIONS

The physical and mental demands herein are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform these essential job functions.

- **Mental function:** Includes reading, writing, mathematical computations, operating a computer, problem solving, managing multiple projects, calmly handling complaints and problems from irate citizens or contractors, decision making under stressful conditions, and executing assignments with minimal supervision/direction and within established deadlines.
- **Productivity:** Incumbents must perform work in an efficient, effective and timely manner with minimal direction.
- **Mobility:** Incumbents require sufficient mobility to work in an office setting and operate office equipment. Incumbents may be required to perform light lifting and carrying, and sit, stand, walk for prolonged periods.
- **Vision:** Vision sufficient to read small print, computer screens, and printed documents, and to operate assigned equipment.
- **Hearing:** Incumbents are required to hear in the normal audio range with or without correction.
- **Environment:** Normal office setting with some travel to attend meetings or conduct site investigations. Incumbents may be required to work at both indoor and outdoor environments; individuals may be exposed to noise, dust and inclement weather conditions.
- **Other factors:** Incumbents may be required to work extended hours including evenings and weekends. Incumbents may be required to travel outside City boundaries to attend meetings.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for DRP and VAR to Reconstruct a Single-Story, Single-Family Residence with an Attached Garage, Construct a Single-Story Addition, and Perform Associated Site Improvements at 675 Glenmont Drive. (DRP19-004, V19-001 Applicants: Roemmich-Nottingham; APN: 263-103-11; Resolution No. 2020-024)**

BACKGROUND:

The Applicants, Dean Roemmich and Christine Nottingham, are requesting City Council approval of a Development Review Permit (DRP) and Variance (VAR) to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive. The 15,600 square-foot lot is located within the Low Residential (LR) Zone, Scaled Residential Overlay Zone (SROZ), Scenic Area Overlay Zone (SAOZ), and Dark Sky Area.

The project proposes grading in the amounts of approximately 11 cubic yards of cut for the excavation of footings. The project requires a DRP for development on a property located in the SAOZ. The maximum building height would be 15.96 feet above the pre-existing and proposed grade or 213.57 feet above Mean Sea Level (MSL). As proposed, the project would not require a Structure Development Permit (SDP) because the structure would not exceed 16 feet in height above the pre-existing grade. The Applicants are requesting a VAR for the residence to reconstruct a portion of the existing structure that encroaches approximately 4.5 feet into the required 25-foot front-yard setback.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2020-024 (Attachment 1).

DISCUSSION:

The property is located in the northwest corner of the intersection of Glenmont Drive and Canyon Drive. Though the street address is taken from Glenmont Drive, the property

CITY COUNCIL ACTION:

fronts on Canyon Drive along the southern property line from which the front-yard setback is measured. The western property line follows the Holmwood Lane public right-of-way until the public road transitions to the private road approximately halfway along the western property line. The eastern and northern property lines are adjacent to existing residentially developed lots. The subject lot is currently developed with a single-story, single-family residence with an attached two-car garage, which is accessed by a driveway off Canyon Drive at the southeastern corner of the lot. The existing residence is located on a relatively flat building pad on the southern side of the lot. The topography of the lot slopes away from the existing improvements down to the rear (north) portion of the lot by approximately 13 feet.

The lot is currently developed with a legal nonconforming single-story, single-family residence, which encroaches approximately 4.5 feet into the required 25-foot front-yard setback located along the southern property line. In March of 2019, the Applicants submitted an application for a ministerial Building Permit to construct a remodel and addition. Planning Staff authorized the application to proceed through plan check (including building, fire, engineering, and environmental review) because the project was found to be consistent with the applicable zoning regulations, including the provisions for “refurbishment” of nonconforming structures set forth in Solana Beach Municipal Code (SBMC) Section 17.16. Additionally, the project was consistent with the “One-Time Exemption” allowance from the requirement of a DRP to construct a maximum 700 square-foot addition (SBMC Section 17.68.040.B.1.n). Pursuant to the procedures in place at that time, Planning Staff would not review the building permit plans again until all other disciplines had approved and the project was placed in “stamp out” for final approval.

At some point during the course of plan check, the Applicants modified the project scope and the Applicants began construction without the benefit of an issued Building Permit. The change to the project scope no longer complied with the nonconforming or “One-Time Exemption” provisions referenced previously. The majority of the roof of the existing structure was removed for reconstruction, which changed the scope of work from a “remodel/refurbishment” to a “reconstruction” of the existing residence, including the nonconforming portion located in the front-yard setback. Pursuant to the provisions for nonconforming structures, the structural nonconformity would need to be abated in this situation. Additionally, a DRP is now required because the revised scope includes the addition of floor area and the reconstruction of existing floor area, which would exceed the 700 square-foot limit of the “One-Time Exemption” from the DRP. The Applicants were notified of the required discretionary permits and a Stop Work Order was issued for work taking place on the property without permits.

The Applicants are requesting approval of a DRP to reconstruct the 1,768 square-foot existing residence, 399 square-foot existing garage and 35 square-foot covered entry area, construct a 211 square-foot addition to the northwest corner of the existing residence within the buildable area, and construct associated site improvements including driveway improvements and perimeter fencing. The Applicants are requesting a VAR to reconstruct the residence in its current location, approximately 4.5 feet within the front-

yard setback, which includes the reconstruction of structural components of the existing nonconforming roof structure. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicants' proposed design.

Table 1			
LOT INFORMATION			
Property Address:	675 Glenmont Dr.	Zoning Designation:	LR (3 du/ac)
Lot Size (Gross):	15,600 ft ²	# of Units Allowed:	1 Dwelling Unit, 1 ADU
Max. Allowable Floor Area:	4,635 ft ²	# of Units Requested:	1 Dwelling Unit
Proposed Floor Area:	2,213 ft ²	Setbacks:	Required Proposed
Below Max. Floor Area by:	2,422 ft ²	Front (S)	25 ft. 21.5 ft.
Max. Allowable Height:	25 ft.	Street Side (W)	10 ft. 11.5 ft.
Max. Proposed Height:	15.96 ft.	Interior Side (E)	5 ft. 23.7 ft.
Highest Point/Ridge:	213.57 MSL	Rear (N)	25 ft. 85 ft.
PROPOSED PROJECT INFORMATION			
Floor Area Breakdown:		Required Permits:	DRP: Development in the SAOZ; VAR: Front-Yard Setback encroachment
Existing Living Area	1,768 ft ²	Proposed Parking:	1 Garage, 2 Driveway
Proposed Living Area	211 ft ²	Proposed Fences and Walls:	Yes
Existing Attached Garage	399 ft ²	Proposed Accessory Dwelling Unit:	No
Covered and Enclosed Exterior Area	35 ft ²	Proposed Accessory Structure:	No
Subtotal	2,413 ft ²	Existing Development:	Single-Family Residence to be Reconstructed
Off-Street Parking Exemption	- 200 ft ²		
Total Floor Area:	2,213 ft²		
Proposed Grading: Excavation for Footings: 11 yd ³			

Staff has prepared draft findings for approval of the project in the attached Resolution 2020-024 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2020-024.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development is on a property located within the SAOZ. In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2020-024 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the LR Zone. Properties immediately to the east and west are also located within the LR Zone, as well as those on North Granados Avenue, Rawl Place, and the north side of Canyon Drive. Properties immediately to the south and southeast are located in the Low Medium Residential (LMR) Zone. All surrounding properties are developed with a mixture of one- and two-story single-family residences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020 should the request for the VAR be granted to encroach into the required 25-foot front yard setback. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential

neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, SAOZ, and Dark Sky Area. The project has been evaluated and could be found to be in conformance with the regulations of the SROZ, SAOZ, and Dark Sky Area, which are discussed later in this report. The project is also located within the Coastal Zone. As a condition of project approval, the Applicants will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Building and Structure Placement:

The Applicants propose to reconstruct a single-story, single-family residence with an attached two-car garage, construct a single-story addition, and perform associated improvements including improvements to the driveway and perimeter fencing. The project would maintain the general site configuration of the existing development with the residence located within the existing footprint and on the existing building pad on the southern portion of the property. Driveway access would be maintained from Canyon Drive at the southeast corner of the front (south) property line. The replacement roof would change the low pitch (1.5:12) roof to a more modern 5:12 pitch gable roof design.

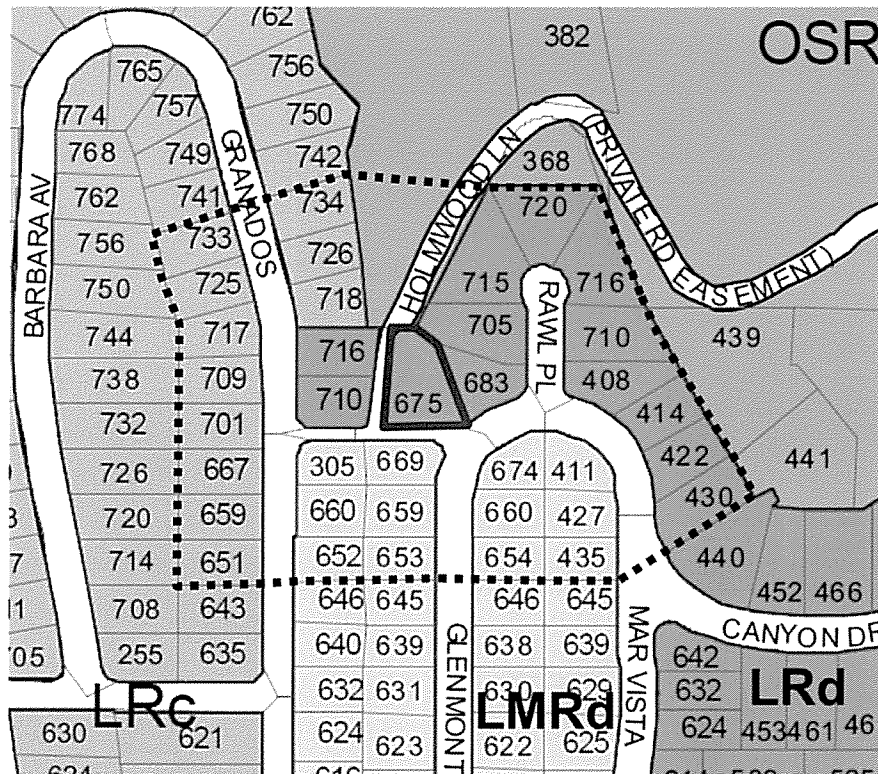
The single-story residence would consist of an open-concept entry area, living room, and dining room; a kitchen with access to the two-car garage and separate access to the proposed pantry and laundry room addition; an office with a full bathroom; a powder room; and a master suite. The project would include reconstruction of the existing 1,768 square-foot residence, 399 square-foot attached two-car garage, and 35 square-foot covered entry, as well as construction of a 211 square-foot addition of living area. The subtotal of the proposed floor area for the project would be 2,413 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The existing garage included obstructions (door swings and mechanical equipment) in both parking spaces. However, the project includes reconfiguration of the garage, which would result in one of the spaces being obstructed by a door swing and mechanical equipment while the second space would be unobstructed. Since one of the garage spaces would be unobstructed, the project is afforded a 200 square-foot exemption from floor area. With the exemption, the total proposed floor area would be 2,213 square feet, which is 2,422 square feet below the maximum allowable floor area for the 15,600 square-foot lot located in the SROZ. The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,575 ft ²
0.1 for 15,000 to 20,000 ft ²	60 ft ²
<hr/> Maximum Allowable Floor Area:	4,635 ft ²

Neighborhood Comparison:

Staff compared the proposed project to 35 other properties within the surrounding area. This area includes properties on Canyon Drive, Glenmont Drive, Rawl Place, Holmwood Lane, and North Granados, as shown on the following map.



The properties evaluated in this comparison are also located in the LR Zone as well as the Low Medium Residential (LMR) Zone. The existing homes range in size from 1,266 square feet to 5,176 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or non-habitable accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage and the outdoor covered area:

Project Gross Building Area:	2,413 ft ²
Delete Covered Entry:	- 35 ft ²
Delete Attached Garage:	- 399 ft ²
<u>Project Area for Comparison to Assessor's Data:</u>	<u>1,979 ft²</u>

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft2	Max. Allowable ft2	Zone
1	305 Holmwood Ln	8,800	2,149		3,490	LMR
2	660 N Granados Ave	8,800	1,877		3,490	LMR
3	652 N Granados Ave	8,600	3,663		3,455	LMR
4	669 Glenmont Dr	10,200	2,557		3,735	LMR
5	659 Glenmont Dr	9,600	2,781		3,630	LMR
6	653 Glenmont Dr	8,500	1,829		3,438	LMR
7	674 Glenmont Dr	9,400	1,722		3,595	LMR
8	660 Glenmont Dr	9,000	1,416		3,525	LMR
9	654 Glenmont Dr	8,500	1,806		3,438	LMR
10	411 Canyon Dr	9,400	2,858		3,595	LMR
11	427 Canyon Dr	9,000	1,553		3,525	LMR
12	435 Canyon Dr	8,500	3,017		3,438	LMR
13	408 Canyon Dr	13,000	2,286		4,225	LR
14	414 Canyon Dr	10,200	1,972		3,735	LR
15	422 Canyon Dr	11,700	3,367		3,998	LR
16	430 Canyon Dr	13,700	2,197		4,348	LR
17	675 Glenmont Dr	15,600	1,642	1,979	4,635	LR
18	683 Glenmont Dr	9,200	2,999		3,560	LR
19	705 Rawl Pl	12,500	1,337		4,138	LR
20	715 Rawl Pl	18,500	4,355		4,925	LR
21	720 Rawl Pl	14,900	1,266		4,558	LR
22	716 Rawl Pl	16,600	3,890		4,735	LR
23	710 Rawl Pl	15,400	1,562		4,615	LR
24	734 N Granados Ave	10,700	3,174		3,823	LR
25	726 N Granados Ave	10,100	2,644		3,718	LR
26	718 N Granados Ave	10,100	3,031		3,718	LR
27	716 N Granados Ave	10,500	2,484		3,788	LR
28	710 N Granados Ave	9,600	1,812		3,630	LR
29	733 N Granados Ave	10,000	4,101		3,700	LR
30	725 N Granados Ave	10,000	1,799		3,700	LR
31	717 N Granados Ave	9,700	2,161		3,648	LR
32	709 N Granados Ave	10,100	3,733		3,718	LR
33	701 N Granados Ave	10,100	3,250		3,718	LR
34	667 N Granados Ave	10,100	3,575		3,718	LR
35	659 N Granados Ave	10,100	3,281		3,718	LR
36	651 N Granados Ave	10,100	5,176		3,718	LR

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

A portion of the existing perimeter fencing is located outside of the private property and in the Holmwood Lane right-of-way, which is required to be removed. The Applicants propose to construct replacement perimeter fencing on the property that would comply with the fence height regulations.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to be in compliance with the Municipal Code.

Landscape:

The project is exempt from the water efficient landscaping regulations of SBMC Chapter 17.56 because the project would not modify more than 500 square feet of landscape area. However, a separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants are proposing to reconfigure an existing attached garage to provide one obstructed parking space and one unobstructed parking space. The garage would be accessed by a driveway on the southeastern side of the property from Canyon Drive. Two additional parking spaces could be located in the driveway and outside of the front-yard setback. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide one 9-foot by 19-foot parking space that is clear of obstruction. Therefore, 200 square feet of garage area is exempt from the project's total floor area calculation.

Grading:

The project proposes grading in the amount of 11 cubic yards of cut for the excavation of footings to construct the proposed addition.

Lighting:

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

Usable Open Space:

The project consists of the reconstruction of and addition to a single-story, single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

Scenic Area Overlay Zone (SAOZ) Compliance:

The purpose of the specific requirements of the SAOZ is to regulate development in areas of high scenic value to preserve and enhance the scenic resources present within, and adjacent to, such areas and to assure the exclusion of incompatible uses and structures. It is further recognized that the preservation and enhancement of scenic resources within the City of Solana Beach provides important social, recreation, and economic benefits for both residents and visitors. Specific review criteria are required for properties within the designated areas of the SAOZ. These are established to ensure that proposed development does not interfere with or degrade those visual features of the site or adjacent sites that contribute to its scenic attractiveness, as viewed from the scenic highway or the adjacent scenic, historic, or recreational resource. The following specific criteria shall be evaluated when they are applicable:

1. Building Characteristics
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking and Storage Areas
5. Aboveground Utilities
6. Grading
7. Signs
8. Lighting

An application for development in the SAOZ also requires submittal of a view analysis consisting of an accurate representation of the development as viewed from at least three separate and critical points exterior to the development site and which show the treatment

of the scenic resources present on the site as related to those resources which are adjacent to the site. The view analysis is provided in Attachment 3. The site is located on the hillside along Canyon Drive. The proposed south (front) elevation would be visible from Canyon Drive and Glenmont Drive. The Pacific Ocean is visible when looking west down Canyon Drive. However, the project would not alter the existing scenic view. The following is a review according to the development review criteria listed above.

Building Characteristics

All development shall be compatible with the topography, vegetation and colors of the natural environment and with the scenic, historic and recreation resources of the designated areas.

The proposed project, as shown in the view analysis, would increase the pitch of the existing roof over the single-story residence and raise the main roof ridge. Existing public scenic views of the Pacific Ocean down Canyon Drive would be maintained. Existing vegetation along the front property line screens the property from Canyon Drive. The project has been conditioned to be constructed with exterior colors that are natural dark or earth toned to the extent feasible.

Building and Structure Placement

The placement of buildings and structures shall not detract from the visual setting or obstruct significant views, and shall be compatible with the topography of the site and adjacent areas. In prime viewshed areas designated in the general plan, building and structures should not be placed along bluff-top silhouette lines or on the adjacent slopes within view from a lagoon area, but should be clustered along the bases of the bluffs and on the mesa tops set back from the bluff-top silhouette lines. Buildings and structures should be sited to provide unobstructed view corridors from the nearest scenic highway, or view corridor road. These criteria may be modified when necessary to mitigate other overriding environmental considerations such as protection of habitat or wildlife corridors.

The subject property is not located in any of the prime viewshed areas designated in the General Plan. There are existing westward ocean views down Canyon Drive that would not be impacted by the project. The project would expand the footprint of the existing structure to the northeast within the buildable area of the lot.

Landscaping

The removal of native vegetation shall be minimized and the replacement vegetation and landscaping shall be compatible with the vegetation of the designated area. Landscaping and plantings shall be used to the maximum extent practicable to screen those features listed in paragraphs (F)(4), (5) and (6) of this subsection. Landscaping and plantings shall not obstruct significant views, either when installed or when they reach mature growth.

The project would not significantly modify the existing landscaping on site.

Roads, Pedestrian Walkways, Parking and Storage Areas.

Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas shall be screened from view, to the maximum extent feasible, from either the scenic highway or the adjacent scenic, historic, or recreational resource. Acceptable screening methods shall include, but are not limited to, the use of existing topography, the strategic placement of buildings and structures, or landscaping and plantings which harmonize with the natural landscape of the designated area.

The project would maintain the footprint of the existing driveway and revise the driveway apron to meet City standards.

Aboveground Utilities

Utilities shall be constructed and routed underground except in those situations where natural features prevent undergrounding or where safety considerations necessitate aboveground construction and routing.

The Engineering Department has placed a condition on the project that requires any new utility services to be undergrounded.

Grading

The alteration of the natural topography of the site shall be minimized and shall avoid detrimental effects to the visual setting of the designated area and the existing natural drainage system. Alterations of the natural topography shall be screened from view from either the scenic highway or the adjacent scenic, historic, or recreational resource by landscaping and plantings which harmonize with the natural landscape of the designated area, except when such alterations add variety to or otherwise enhance the visual setting of the designated area. However, design emphasis shall be placed on preserving the existing quality of scenic resources rather than concealment of disturbances or replacement in kind. In portions of the scenic area overlay zone containing sensitive lands, grading may be severely restricted or prohibited.

The proposed grading includes 11 cubic yards of cut for the excavation of footings. The project would not alter the existing topography of the lot.

Signs

Off-site signs shall be prohibited in areas subject to the scenic area overlay zone, except temporary real estate signs pursuant to SBMC 17.64.060. The number, size, location, and design of all other signs shall be consistent with the Comprehensive Sign Ordinance (Chapter 17.64 SBMC) and shall not detract from the visual setting of the designated area or obstruct significant views.

The project consists of the reconstruction of and addition to a single-family residence, with an attached garage, and associated site improvements; therefore, signs are not proposed as part of the development.

Lighting

The interior and exterior lighting of the buildings and structures and the lighting of signs, roads and parking areas shall be compatible with the lighting permitted in the designated area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. The project site is located within the City's Dark Sky Area, which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). An additional condition of project approval includes compliance with the specific requirements of the Dark Sky Area.

Structure Development Permit Compliance:

The proposed structure would not exceed 16 feet in height above the pre-existing grade. Therefore, the Applicants are not required to obtain a Structure Development Permit. The project plans show the maximum structure height would be 15.96 feet measured above the proposed grade or 213.57 feet above MSL.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the structure would not exceed 16 feet from the pre-existing grade.

Variance (SBMC Chapter 17.68.020):

As previously stated, the Applicants are requesting Council approval of a VAR to reconstruct an existing legal nonconforming structure that encroaches approximately 4.5 feet into the required 25-foot front-yard setback. Pursuant to SBMC Section 17.08, a "yard" is defined as "an open space on a parcel of land, other than a court, unobstructed and unoccupied from the ground upward." According to SBMC 17.68.020(B)(3), a VAR may be approved in conjunction with a DRP, provided the following required findings can be made:

1. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the general plan and intent of this title.

2. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the same zone.
3. That strict or literal interpretation and enforcement of the specified regulation would deprive the Applicants of privileges enjoyed by the owners of other properties in the same zone.
4. That the granting of the variance will not be detrimental to the public health, safety, welfare, or materially injurious to properties or improvements in the vicinity.

The Applicants' explanation and justification for the VAR is included in Attachment 4.

If the above findings can be made by Council, Staff shall incorporate the findings into the draft Resolution included in Attachment 1. If the above findings cannot be made, the Council shall deny the VAR.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on February 13, 2020. Staff has not received correspondence about the proposed development.

Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the Resolution of Approval.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15302 of the State CEQA Guidelines. Section 15301 is a Class 1 exemption for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Examples of this exemption include additions to existing structures that would not increase the floor area by more than 50 percent (e). Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2020-024.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and VAR.
- Approve the DRP to construct the proposed residence and deny the request for the VAR.
- Deny the project if all required findings for the DRP and/or VAR cannot be made.

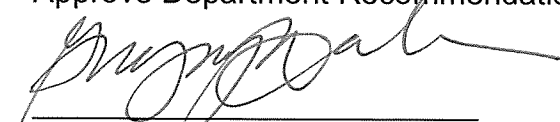
DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and VAR. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2020-024 conditionally approving a DRP and VAR to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2020-024
2. Project Plans
3. View Analysis
4. Variance Request

RESOLUTION 2020-024

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT AND VARIANCE TO RECONSTRUCT A SINGLE-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED GARAGE, CONSTRUCT A SINGLE-STORY ADDITION, AND PERFORM ASSOCIATED IMPROVEMENTS AT 675 GLENMONT DRIVE, SOLANA BEACH

**APPLICANTS: DEAN ROEMMICH AND
CHRISTINE NOTTINGHAM
APPLICATION: DRP19-004 VAR19-001**

WHEREAS, Dean Roemmich and Christine Nottingham (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) and Variance (VAR) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on February 26, 2020, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15302 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP and VAR to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, is conditionally approved based upon the following Findings and subject to the following Conditions:
- III. FINDINGS
 - A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Density Residential, which allows for a maximum of three dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the LR Zone and cited by SBMC Section 17.020.030.

The project is consistent with the provisions for minimum yard dimensions (i.e., setbacks), except for the front-yard setback, maximum allowable floor area, maximum allowable building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020 should the request for the VAR be granted to encroach into the required 25-foot front yard setback. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability

of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, SAOZ, and Dark Sky Area and found to be consistent with those regulations. The project is also located within the Coastal Zone. As a condition of project approval, the Applicants shall obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building and Grading Permits.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicants will reconstruct a single-story, single-family residence with an attached two-car garage, construct a single-story addition, and perform associated improvements including improvements to the driveway and perimeter fencing. The project will maintain the general site configuration of the existing development with the residence located within the existing footprint and on the existing building pad on the southern portion of the property. Driveway access will be maintained from Canyon Drive at the southeast corner of the front (south) property line. The replacement roof will change the low pitch (1.5:12) roof to a more modern 5:12 pitch gable roof design.

The single-story residence will consist of: an open-concept entry area, living room, and dining room; a kitchen with access to the two-car garage and separate access to the proposed pantry and laundry room addition; an office with a full bathroom; a powder room; and a master suite. The project will include reconstruction of the existing a 1,768 square-foot residence, 399 square-foot attached two-car garage, and 35 square-foot covered entry, as well as construction of a 211 square-foot addition of living area. The subtotal of the proposed floor area for the project will be 2,413 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The existing garage included obstructions (door swings and mechanical equipment) in both parking spaces. However, the project includes reconfiguration of the garage, which will result in one of the spaces being obstructed by a door swing and mechanical equipment while the second space will be unobstructed. Since

one of the garage spaces will be unobstructed, the project is afforded a 200 square-foot exemption from floor area. With the exemption, the total proposed floor area is 2,213 square feet, which is 2,422 square feet below the maximum allowable floor area for the 15,600 square-foot lot located in the SROZ.

The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,575 ft ²
0.1 for 15,000 to 20,000 ft ²	60 ft ²
Maximum Allowable Floor Area:	4,635 ft²

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is exempt from the water efficient landscaping regulations of SBMC Chapter 17.56 because the project will not modify more than 500 square feet of landscape area. However, a separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants are proposing to reconfigure an existing attached garage to provide one obstructed parking space and one unobstructed parking space. The garage will be accessed by a driveway on the southeastern side of the property from Canyon Drive. Two additional parking spaces will be located in the driveway. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide one 9-foot by 19-foot parking space that is clear of obstruction. Therefore, 200 square feet of

garage area is exempt from the project's total floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project proposes grading in the amount of 11 cubic yards of cut for the excavation of footings to construct the proposed addition.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the reconstruction of and addition to a single-story, single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of

approval, the Applicant will be required to pay the City's Park Impact Fee.

- III. *All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including a Variance, are being processed concurrently with the Development Review Permit.

- IV. *If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicants are required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.

- B. In accordance with Section 17.48.020 (Scenic Area Overlay Zone) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *Building Characteristics. All development shall be compatible with the topography, vegetation and colors of the natural environment and with the scenic, historic and recreation resources of the designated areas.*

The project, as shown in the view analysis, will increase the pitch of the existing roof over the single-story residence and raise the main roof ridge. Existing public scenic views of the Pacific Ocean down Canyon Drive will be maintained. Existing vegetation along the front property line screens the property from Canyon Drive. The project has been conditioned to be constructed with exterior colors that are natural dark or earth toned to the extent feasible.

- II. *Building Structure and Placement. The placement of buildings and structures shall not detract from the visual setting or obstruct significant views, and shall be compatible with the topography of the site and adjacent areas. In prime viewshed areas designated in the general plan, building and structures should not be placed along bluff-top silhouette lines or on the adjacent slopes within view from a lagoon area, but should be clustered along the bases of the bluffs and on the mesa tops set back from the bluff-top silhouette lines. Buildings and structures should be sited to provide unobstructed view corridors from the nearest scenic highway, or view corridor road. These criteria may be modified when necessary to mitigate other overriding environmental considerations such as protection of habitat or wildlife corridors.*

The subject property is not located in any of the prime viewshed areas designated in the General Plan. There are existing westward ocean views down Canyon Drive that will not be impacted by the project. The project will expand the footprint of the existing structure to the northeast within the buildable area of the lot.

- III. *Landscaping. The removal of native vegetation shall be minimized and the replacement vegetation and landscaping shall be compatible with the vegetation of the designated area. Landscaping and plantings shall be used to the maximum extent practicable to screen those features listed in paragraphs (F)(4), (5) and (6) of this subsection. Landscaping and plantings shall not obstruct significant views, either when installed or when they reach mature growth.*

The project would not significantly modify the existing landscaping on site.

- IV. *Roads, Pedestrian Walkways, Parking and Storage Areas. Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas shall be screened from view, to the maximum extent feasible, from either the scenic highway or the adjacent scenic, historic, or recreational resource. Acceptable screening methods shall include, but are not limited to, the use of existing topography, the strategic placement of buildings and structures, or landscaping and plantings which harmonize with the natural landscape of the designated area.*

The project would maintain the footprint of the existing driveway and revise the driveway apron to meet City standards.

- V. *Aboveground Utilities. Utilities shall be constructed and routed underground except in those situations where natural features prevent undergrounding or where safety considerations necessitate aboveground construction and routing.*

The Engineering Department has placed a condition on the project that requires any new utility services shall be undergrounded.

- VI. *Grading. The alteration of the natural topography of the site shall be minimized and shall avoid detrimental effects to the visual setting of the designated area and the existing natural drainage system. Alterations of the natural topography shall be screened from view from either the scenic highway or the adjacent scenic, historic, or recreational resource by landscaping and plantings which harmonize with the natural landscape of the designated area, except when such alterations add variety to or otherwise enhance the visual setting of the designated area. However, design emphasis shall be placed on preserving the existing quality of scenic resources rather than concealment of disturbances or*

replacement in kind. In portions of the scenic area overlay zone containing sensitive lands, grading may be severely restricted or prohibited.

The proposed grading includes 11 cubic yards of cut for the excavation of footings. The project will not alter the existing topography of the lot.

- VII. *Signs. Off-site signs shall be prohibited in areas subject to the scenic area overlay zone, except temporary real estate signs pursuant to SBMC 17.64.060. The number, size, location, and design of all other signs shall be consistent with the Comprehensive Sign Ordinance (Chapter 17.64 SBMC) and shall not detract from the visual setting of the designated area or obstruct significant views.*

The project consists of the reconstruction of and addition to a single-family residence, with an attached garage, and associated site improvements; therefore, signs are not proposed as part of the development.

- VIII. *Lighting. The interior and exterior lighting of the buildings and structures and the lighting of signs, roads and parking areas shall be compatible with the lighting permitted in the designated area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

- C. In accordance with Section 17.68.020 (Variance) of the Solana Beach Municipal Code, the City Council finds the following:
- I. *That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the general plan and intent of this title.*

(To be updated with Council Findings.)

- II. *That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the same zone.*

(To be updated with Council Findings.)

- III. *That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties in the same zone.*

(To be updated with Council Findings.)

- IV. *That the granting of the variance will not be detrimental to the public health, safety, welfare, or materially injurious to properties or improvements in the vicinity.*

(To be updated with Council Findings.)

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on February 26, 2020, and located in the project file with a submittal date of February 19, 2020.
- III. Prior to requesting a framing inspection, the Applicants shall submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with the plans as approved by the City Council on February 26, 2020, and will not exceed 16.0 feet in height from the pre-existing grade.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance

of Building and Grading Permits.

- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- VIII. Due to the property's location within the Dark Sky Area, the outside illumination for aesthetic or dramatic purposes of any building or surrounding landscape, including environmentally sensitive habitat areas (public or private) is prohibited.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.

B. Fire Department Conditions:

- I. **ACCESS ROAD MINIMUM DIMENSIONS:** Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- III. **FUEL MODIFICATION ZONES/FIRE BREAKS:** The Applicants shall

provide and maintain fire/fuel breaks to the satisfaction of the Solana Beach Fire Department. Fire/fuel breaks size and composition shall be determined by the Fire Department and shown on the improvement /grading plans and final map and building plans.

- IV. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.
- V. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- VI. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. The Applicant shall provide a scaled drawing prepared by a registered Civil Engineer, Licensed Land Surveyor, or Licensed Architect that clearly shows the proposed public & private improvements prior to construction.
- II. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 prior to any work being done in the public right-of-way. These include, but are not limited to:
 - a. Construction of the 9"X9"X12" mountable curb.
 - b. Construction of the SDRSD G-14 driveway approach.
- III. The Applicant shall underground all new utility services, including but not limited to electrical and telephone.
- IV. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.

- V. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
- VI. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.

VII. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VIII. EXPIRATION

The Development Review Permit and Variance for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

IX. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the

provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 26th day of February 2020, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

JEWEL EDSON, MAYOR

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

FIRE DEPARTMENT NOTES:

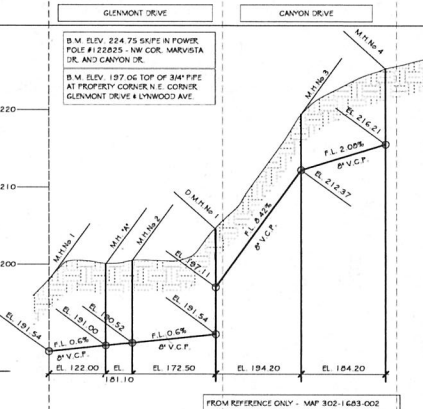
- ACCESS ROAD MINIMUM DIMENSIONS: FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 20 FEET, CURB LINE TO CURB LINE, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. EXCEPTION: SINGLE FAMILY RESIDENTIAL DRIVEWAYS, SERVING NO MORE THAN TWO SINGLE FAMILY DWELLINGS, SHALL HAVE MINIMUM OF 16 FEET, CURB LINE TO CURB LINE, OF UNOBSTRUCTED IMPROVED WIDTH. ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF NOT LESS THAN 75,000 POUNDS AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
- DISTRIBUTION OF ROADWAYS DURING CONSTRUCTION: ALL ROADWAYS SHALL BE A MINIMUM OF 20 FEET IN WIDTH DURING CONSTRUCTION AND MAINTAINED FREE AND CLEAR, INCLUDING THE PARKING OF VEHICLES, IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AND THE SOLANA BEACH FIRE DEPARTMENT FUEL MODIFICATION ZONING ORDINANCES. THE APPLICANT SHALL PROVIDE AND MAINTAIN TEMPORARY BARRIERS TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT. FIRE PUMP BREAKS SIZE AND CONSTRUCTION SHALL BE DETERMINED BY THE FIRE DEPARTMENT AND SHOWN ON THE IMPROVEMENT DESIGN PLANS AND FINAL MAP AND BUILDING PLANS.
- ADDRESS NUMBERS: STREET NUMBERS, APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLANS VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SUCH NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 3/4" HIGH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 6" HIGH WITH A 1" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEMAND NECESSARY BY THE FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS.
- AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
- FIRE RESISTIVE CONSTRUCTION REQUIREMENTS FOR WILDLAND/URBAN INTERFACE AREAS: STRUCTURES SHALL MEET ALL WILDLAND/URBAN INTERFACE STANDARDS TO THE SATISFACTION OF THE FIRE DEPARTMENT. STRUCTURES SHALL COMPLY WITH CURRENT CALIFORNIA BUILDING CODE CHAPTER 7A CLASS "A" ROOF. ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT.

GENERAL SITE NOTES

LIVING AREA:	
(I) LIVING =	1,760
(I) ENTRY =	35
(I) IN-LIVING =	203
TOTAL	2,018
GARAGE:	
(I) GARAGE =	339
TOTAL	339
HARDSCAPE:	
(I) HARDSCAPE =	2,600
(I) HARDSCAPE - NON IRRIGATED =	110
(I) COVERED AREA =	220
TOTAL	3,030
LANDSCAPE:	
(I) LANDSCAPE =	2,037
(I) LANDSCAPE - NON IRRIGATED =	710
(I) IRRIGATABLE =	321
TOTAL	10,160
TOTAL DISTURBANCE AREA =	321 SQ. FT.
EXISTING AMOUNT OF IMPERVIOUS AREA =	5,478 SQ. FT.
PROPOSED AMOUNT OF IMPERVIOUS AREA =	321 SQ. FT.
TOTAL IMPERVIOUS AREA =	5,432 SQ. FT.
IMPERVIOUS % INCREASE =	-1 %

IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALKS, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

VICINITY MAP



INDEX

- ARCHITECTURAL**
- A.1.1 SITE PLAN - DRP
 - A.1.2 IMPERVIOUS PLANS
 - A.1.3 FAR CALCULATIONS
 - A.2.1 EXISTING FIRST FLOOR PLAN
 - A.2.2 DEMO
 - A.3.1 FIRST FLOOR
 - A.4.1 EXTERIOR ELEVATIONS
 - A.4.2 EXTERIOR ELEVATIONS
 - A.4.3 PERSPECTIVES
 - A.5.1 BUILDING SECTIONS
 - A.6.1 ROOF PLAN
- Grand total: 11

GENERAL SITE NOTES

- CONCRETE DRIVE SHALL BE 4" THICK COLORED CONCRETE TO MATCH REAR PATIO AREA. SEE SOIL REPORT FOR SPECIFICATIONS.
 - PARKING AREA SHALL BE A MAXIMUM OF 6% SLOPE IN PARKING.
 - ALL FENCING INCLUDING FOOTINGS SHALL BE WITHIN THE PROPERTY LINE AND SHALL NOT ENOUGH INTO PUBLIC TOW OR ADJACENT PROPERTIES.
 - THE PROJECT PROPOSER IS TO REPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXCESS MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
 - SURFACE WATER SHALL DRAIN AWAY FROM BUILDING, GRADE SHALL FALL MIN. 6" WITHIN FIRST 10'
 - LANDSCAPE QUANTITIES
- | | | |
|---------------------|---|------------|
| A. PLANT QUANTITIES | = | 11,484 C/D |
| B. FILL QUANTITIES | = | 0 C/D |
| C. IMPORT/EXPORT | = | 0 C/D |
| D. MAX CUT DEPTH | = | 0 FT |
| E. MAX FILL DEPTH | = | 0 FT |
- SOIL DISPLACEMENT SHALL BE DISTRIBUTED AS TOP SOIL AROUND RESIDENCE
 - QUALITY OF GRADING
 - DEVIATION OF THE FOOTING OF NEW CONSTRUCTION = 11,484 C/D
 - REMOVAL AND RE-CONSTRUCTION FOR CONSTRUCTION = 0 C/D
 - Z-TOTAL GRADING (W/11.4) = 11,484 C/D

SEWER ELEVATION

3/8" = 1'-0"

PROJECT DATA

PROJECT ADDRESS:
675 GLENMONT DRIVE
SOLANA BEACH, CA 92075

SITE DATA:
APN #: 263-103-11-00
LEGAL DESCRIPTION: FOR LOT 21 BLK G TR 2706
LOT AREA: 15,600 SQ FT
YEAR BUILT: 1956

ZONING DATA:
ZONE = USA
SETBACKS (REQUIRED):
FRONT = 25'
SIDES = 5'
REAR = 25'
STREET SIDE = 25'
BACK YARD = 25'
FAR ALLOWED = 0 (0' - 15,600 SQ FT - 0')

OCCUPANCY:
DWELLING w/ ATTACHED GARAGE - R
OVERLAY DISTRICT:
SCALED RESIDENTIAL OVERLAY ZONE (SRDZ)
STEEP HILLSIDE
COASTAL OVERLAY ZONE
DARK SKY AREA
SCENIC AREA OVERLAY ZONE

CONSTRUCTION TYPE:
TYPE VB - DWELLING w/ ATTACHED GARAGE

FIRE SPRINKLED = NO, WILL NEED FIRE SPRINKLERS INSTALLED

BUILDING DATA:

FIRST FLOOR:	
EXISTING LIVING AREA	= 1,760 SQ FT
PROPOSED ADDITION AREA	= 211 SQ FT
TOTAL PROPOSED LIVING	= 1,971 SQ FT
GARAGE:	
EXISTING GARAGE	= 339 SQ FT
PROPOSED ADDITION	= 0 SQ FT
TOTAL GARAGE AREA	= 339 SQ FT
TOTAL OF AREA	= 2,378 SQ FT

	EXISTING AREA (SQ FT)	TOTAL AREA (SQ FT)	
NON-LANDSCAPED AREA*	5,648	5,552	204 S.F.
NON-IRRIGATED LANDSCAPE*	2,115	2,108	134 ESC/LV/N INCL. INCLUDED
IRRIGATED LANDSCAPE	2,837	2,880	+228 = 567
WATER FEATURES*	0	0	
DECORATIVE HARDSCAPE*	0	0	
TOTAL	15,600	15,600	

	AREA OF WORK (SF)
IRRIGATED LANDSCAPE	0
WATER FEATURES*	0
DECORATIVE HARDSCAPE*	0
AGGREGATE LANDSCAPE AREA	0

* A landscaped area does not include the footprint of a building, deck, patio, walkway, driveway, parking lot, or other hardscape that does not meet the criteria in SBMC 17.5C.150

b. An area without impervious designated for redevelopment such as a degraded open space area with existing native vegetation.

c. A design element where open water performs an aesthetic or recreational function. A water feature includes a pond, lake, waterfalls, fountain, art/cultural stream, spa, and swimming pool.

d. Rock and stone or porous design features, with an decomposed granite ground cover, that are adjacent to a landscaped area.

e. Area of impervious and/or non-irrigated landscape, water features, and/or decorative hardscape associated with the project.

PROJECT DIRECTORY

OWNER: Dean Roemich & Christine Nottingham 675 GLENMONT DRIVE SOLANA BEACH, CA 92075	CONTRACTOR: JACKSON DESIGN & REMODELING 4797 WILSON STREET SAN DIEGO, CA 92111 619 441-6125 LIC # 600939
DESIGNER: JACKSON DESIGN & REMODELING 4797 WILSON STREET SAN DIEGO, CA 92111 CONTACT: 619 441-6125	TITLE 2.4.4: PACIFIC COAST DESIGNS 8704 BANNOCK 27306 ROWEN COURTNEY VALLEY CENTRE, CA 92082 760 781-9000
STRUCTURAL ENGINEER: VKE SURPRENANT AND ASSOCIATES 3975 BUSINESS PARK AVE. SUITE A SAN DIEGO, CALIFORNIA 92111	

SITE LEGEND

FERTILIZABLE DG	OVERHANG
CONCRETE HARDSCAPE	NEW INTERIOR REMODELED AREA
EXISTING FLOOR AREA AS NOTED	GRASS / TURF
PROPOSED 1/4" FLOOR AREA	GROUND COVER
SEWER LINE	PLANTED MATERIAL
METER	
ELEVATION POINT	

MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) CALCULATION
LOT SIZE 15,600 SQ FT

0.500 x 6,000 SF	3,000 SF
(0.500 x FIRST 6,000 SF OF LOT)	
0.175 x 3,000 SF	1,575 SF
(0.175 x 6,000 TO 15,000 SF OF LOT)	
0.100 x 600 SF	60 SF
(0.100 x 15,001 TO 20,000 SF OF LOT)	
MAXIMUM FLOOR AREA ALLOWED	4,635 SF

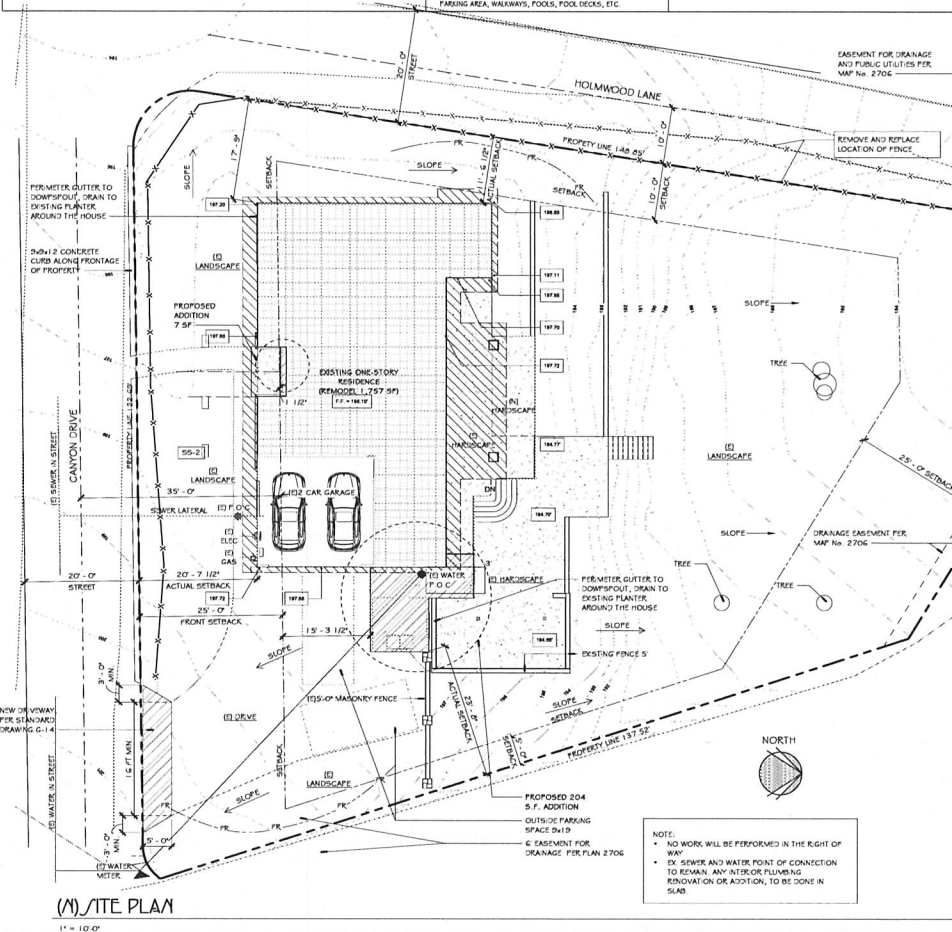
SEE A.1.4 FOR EXISTING FAR CALCULATION

PROJECT FAR CALCULATIONS

EXISTING FIRST FLOOR	1,760 SF
PROPOSED ADDITION	211 SF
EXISTING GARAGE	339 SF
COVERED AND ENCLOSED EXTERIOR AREA	35 SF
TOTAL	2,415 SF
GARAGE FAR DEDUCTION (1 PARKING SPAC)	-200 SF
TOTAL PROPOSED FLOOR AREA	2,215 SF
MAXIMUM FLOOR AREA ALLOWED	4,635 SF

NOTE:

- NO WORK WILL BE PERFORMED IN THE RIGHT OF WAY
- SEWER AND WATER POINT OF CONNECTION TO REMAIN. ANY INTERIOR PLUMBING RENOVATION OR ADDITION, TO BE DONE IN SLAB



#	Description	Date
1	REVISION TAG 1: MARKER	
	PROJECT STATUS	
	DRP FOURTH SUBMITTAL	02/17/2020

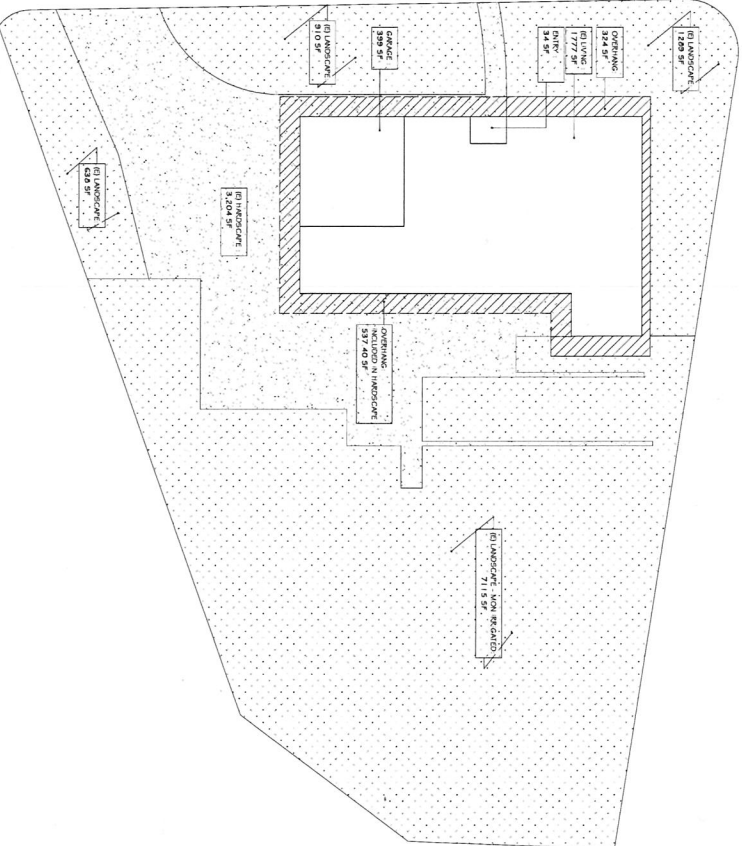
JACKSON
DESIGN & REMODELING
11111 WILSON STREET
SAN DIEGO, CA 92111
619 441-6125
www.jacksondesignremodel.com

Dean Roemich & Christine Nottingham
675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
SITE PLAN - DRP

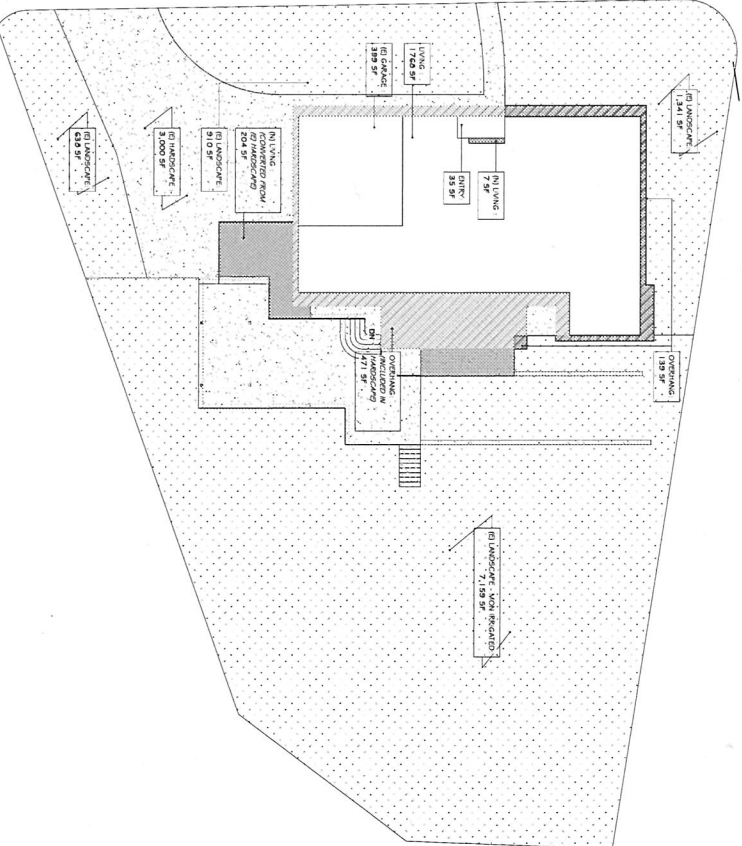
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DRAWN	JSK
CHECKED	JSK
MEASURE DATE	10/16/19
SCALE	as noted
JOB NAME	Roemich
SHEET	

A 1.1



EXISTING IMPERVIOUS PLAN
3/8" = 1'-0"



PROPOSED IMPERVIOUS PLAN
3/8" = 1'-0"

EXISTING BUILDING AREA ONLY

IMPERVIOUS, NON-REPAIRED AREA	
LIVING AREA	1,727
DECK	1,84
TOTAL	1,911
LANDSCAPE	
EXISTING LANDSCAPE	388
TOTAL	2,299 SQ. FT.
NON-REPAIRED AREA	
EXISTING LANDSCAPE	3,704
EXISTING IMPERVIOUS	1,436 SQ. FT.
TOTAL NON-REPAIRED AREA	5,140 SQ. FT.
REPAIRED AREA	
EXISTING LANDSCAPE	2,817
EXISTING IMPERVIOUS	2,882 SQ. FT.
TOTAL REPAIRED AREA	5,699 SQ. FT.

PROPOSED BUILDING AREA ONLY

IMPERVIOUS, NON-REPAIRED AREA	
LIVING AREA	1,724
DECK	75
TOTAL	1,799
LANDSCAPE	
EXISTING LANDSCAPE	388
TOTAL	2,187 SQ. FT.
NON-REPAIRED AREA	
EXISTING LANDSCAPE	3,704
EXISTING IMPERVIOUS	1,436 SQ. FT.
TOTAL NON-REPAIRED AREA	5,140 SQ. FT.
REPAIRED AREA	
EXISTING LANDSCAPE	2,817
EXISTING IMPERVIOUS	2,882 SQ. FT.
TOTAL REPAIRED AREA	5,699 SQ. FT.

LEGEND

SYMBOL	DESCRIPTION
[Pattern]	EXISTING LANDSCAPE
[Pattern]	EXISTING IMPERVIOUS
[Pattern]	EXISTING NON-REPAIRED
[Pattern]	PROPOSED LANDSCAPE
[Pattern]	PROPOSED IMPERVIOUS
[Pattern]	PROPOSED NON-REPAIRED
[Pattern]	EXISTING DRIVEWAY
[Pattern]	PROPOSED DRIVEWAY
[Pattern]	EXISTING PORCH
[Pattern]	PROPOSED PORCH
[Pattern]	EXISTING PATIO
[Pattern]	PROPOSED PATIO
[Pattern]	EXISTING DECK
[Pattern]	PROPOSED DECK
[Pattern]	EXISTING STAIRS
[Pattern]	PROPOSED STAIRS
[Pattern]	EXISTING FENCE
[Pattern]	PROPOSED FENCE
[Pattern]	EXISTING WALL
[Pattern]	PROPOSED WALL
[Pattern]	EXISTING WINDOW
[Pattern]	PROPOSED WINDOW
[Pattern]	EXISTING DOOR
[Pattern]	PROPOSED DOOR
[Pattern]	EXISTING ROOF
[Pattern]	PROPOSED ROOF
[Pattern]	EXISTING TERRACE
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[Pattern]	EXISTING BALCONY
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[Pattern]	PROPOSED ROOF
[Pattern]	EXISTING TERRACE
[Pattern]	PROPOSED TERRACE
[Pattern]	EXISTING BALCONY
[Pattern]	PROPOSED BALCONY

PRINT DATE: 11/11/2011 10:11:11 AM

DESIGN	JR
CHECKED	JR
SCALE	AS SHOWN
SHEET	108 OF 118
DATE	11/11/2011
PROJECT	675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
CLIENT	DEAN ROEMMICH & CHRISTINE NOTTINGHAM
ARCHITECT	JACKSON DESIGN & REMODELING
ADDRESS	4701 AVENUE 30, SAN DIEGO, CA 92111
PHONE	619-442-4155
FAX	619-442-4156
WWW	WWW.JACKSONDESIGNANDREMODELING.COM

A Home Remodel For:

Dean Roemmich & Christine Nottingham
675 GLENMONT DRIVE, SOLANA BEACH, CA 92075

Sheet Title:
IMPERVIOUS PLANS

JACKSON
DESIGN & REMODELING

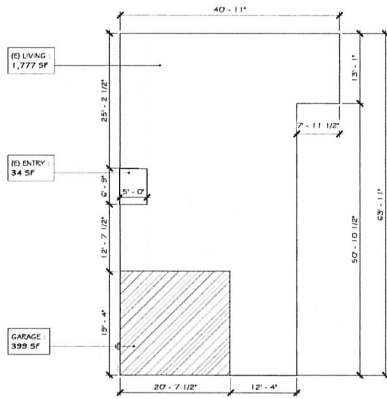
4701 AVENUE 30, SAN DIEGO, CA 92111
619-442-4155
619-442-4156
WWW.JACKSONDESIGNANDREMODELING.COM

PROJECT STATUS	PROJECT SUBMITTAL
DATE	11/11/2011

DATE	11/11/2011
TIME	10:11:11 AM

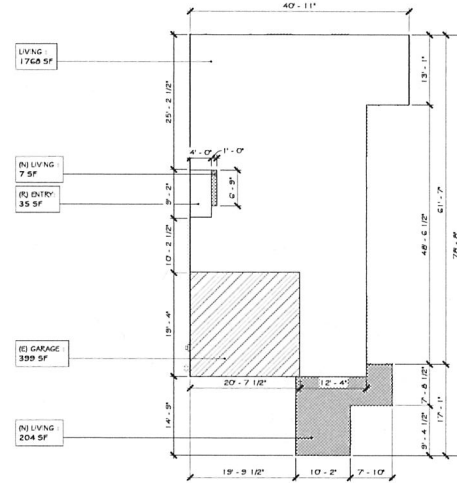
DATE	11/11/2011
TIME	10:11:11 AM

DATE	11/11/2011
TIME	10:11:11 AM



EXISTING FAR CALCULATION PLAN

3/8" = 1'-0"



PROPOSED FAR CALCULATION PLAN

3/8" = 1'-0"

EXISTING PROJECT FAR CALCULATIONS

MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) CALCULATION		
LOT SIZE 15,600 SQ FT		
0.500 x 6,000 SF	3,000 SF	
(0.500 x FIRST 6,000 SF OF LOT)		
0.175 x 9,000 SF	1,575 SF	
(0.175 x 4,001 TO 15,000 SF OF LOT)		
0.100 x 600 SF	60 SF	
(0.100 x 15,001 TO 20,000 SF OF LOT)		
MAXIMUM FLOOR AREA ALLOWED	4,635 SF	

FAR ALLOWED = 4,635

EXISTING PROJECT FAR CALCULATIONS

EXISTING FIRST FLOOR	1,777 SF +
PROPOSED ADDITION	0 SF +
EXISTING GARAGE	399 SF +
COVERED AND ENCLOSED EXTERIOR AREA	382 SF +
SUB-TOTAL	2,456 SF +
GARAGE FAR EXEMPTION (1 PARKING SPACE)	200 SF -
TOTAL PROPOSED FLOOR AREA	2,256 SF
MAXIMUM FLOOR AREA ALLOWED	4,635 SF

PROJECT FAR CALCULATIONS

MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) CALCULATION		
LOT SIZE 15,600 SQ FT		
0.500 x 6,000 SF	3,000 SF	
(0.500 x FIRST 6,000 SF OF LOT)		
0.175 x 9,000 SF	1,575 SF	
(0.175 x 4,001 TO 15,000 SF OF LOT)		
0.100 x 600 SF	60 SF	
(0.100 x 15,001 TO 20,000 SF OF LOT)		
MAXIMUM FLOOR AREA ALLOWED	4,635 SF	

FAR ALLOWED = 4,635

PROJECT FAR CALCULATIONS

EXISTING FIRST FLOOR	1,768 SF +
PROPOSED ADDITION	211 SF +
EXISTING GARAGE	399 SF +
COVERED AND ENCLOSED EXTERIOR AREA	38 SF +
SUB-TOTAL	2,413 SF +
GARAGE FAR EXEMPTION (1 PARKING SPACE)	200 SF -
TOTAL PROPOSED FLOOR AREA	2,213 SF
MAXIMUM FLOOR AREA ALLOWED	4,635 SF

LEGEND

	(E) LIVING
	(N) LIVING
	GARAGE
	LANDSCAPE

#	Description	Date

REVISION TAG / MARKER
PROJECT STATUS
FOURTH SUBMITTAL
02/17/2020

JACKSON
DESIGN & REMODELING
107 Harvey St., San Diego, CA 92111
Tel: (619) 251-6250
Fax: (619) 251-6250
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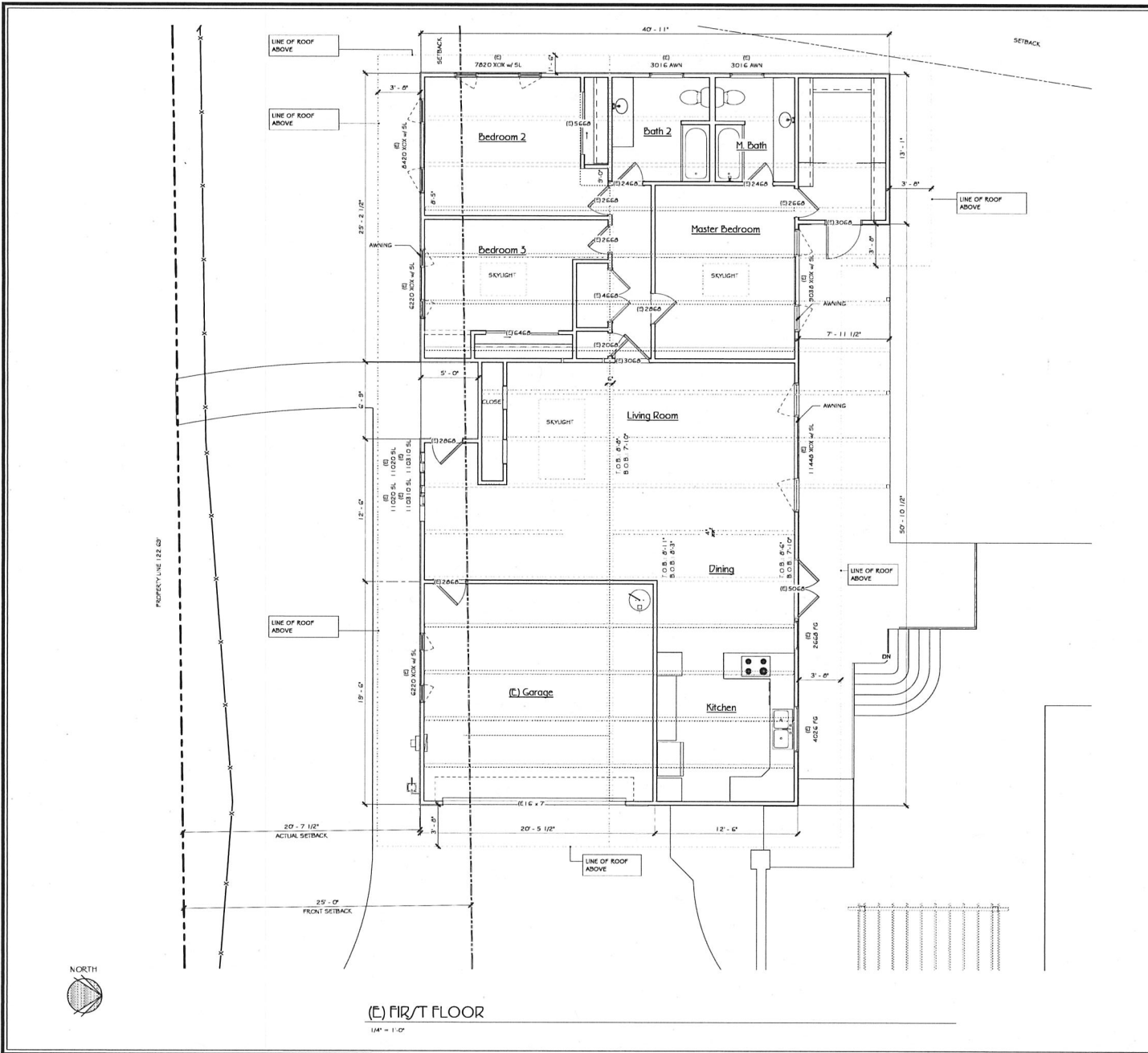
A Home Remodeler For
Dean Roemmich & Christine Nottingham
675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
Sheet Title: **FAR CALCULATIONS**

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DRAWN	JEX
CHECKED	JEX
MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

A-1.3

PRINT DATE: 2/18/2020 2:03:38 PM



(E) 1ST FLOOR

1/4" = 1'-0"

KEYNOTES

#	Description	Date

JACKSON
 DESIGN & MODELING
 1718 Mainway St., San Diego, CA 92111
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 Fax: (619) 582-2239
 www.jacksondesignmodeling.com
 1-800-515-5648

A Home Remodeler For
Dean Roemnick & Christine Nottingham
 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
 Sheet Title:
EXISTING FIRST FLOOR PLAN

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MEASURE DATE	10/16/16
SCALE	as noted
JOB NAME	Roemnick
SHEET	

A-2.1

SYMBOL	REMARKS
⊕	SINGLE POLE SWITCH
⊖	110 VOLT OUTLET
⊕	4" LED CAN LIGHT
⊕	FAN
⊕	MAIN ELECTRICAL PANEL

GENERAL NOTES

1. PRIOR TO DEMOLITION, A JOB WALK WITH THE CLIENT/OWNER SHALL BE PERFORMED TO VERIFY ALL ITEMS AND MATERIALS TO BE REMOVED AND KEPT. VERIFY LOCATION OF WHERE SAVED ITEMS AND MATERIALS SHALL BE STORED.
2. ITEMS NOT KEPT SHALL BE RECYCLED PER THE CAL GREEN CODE.

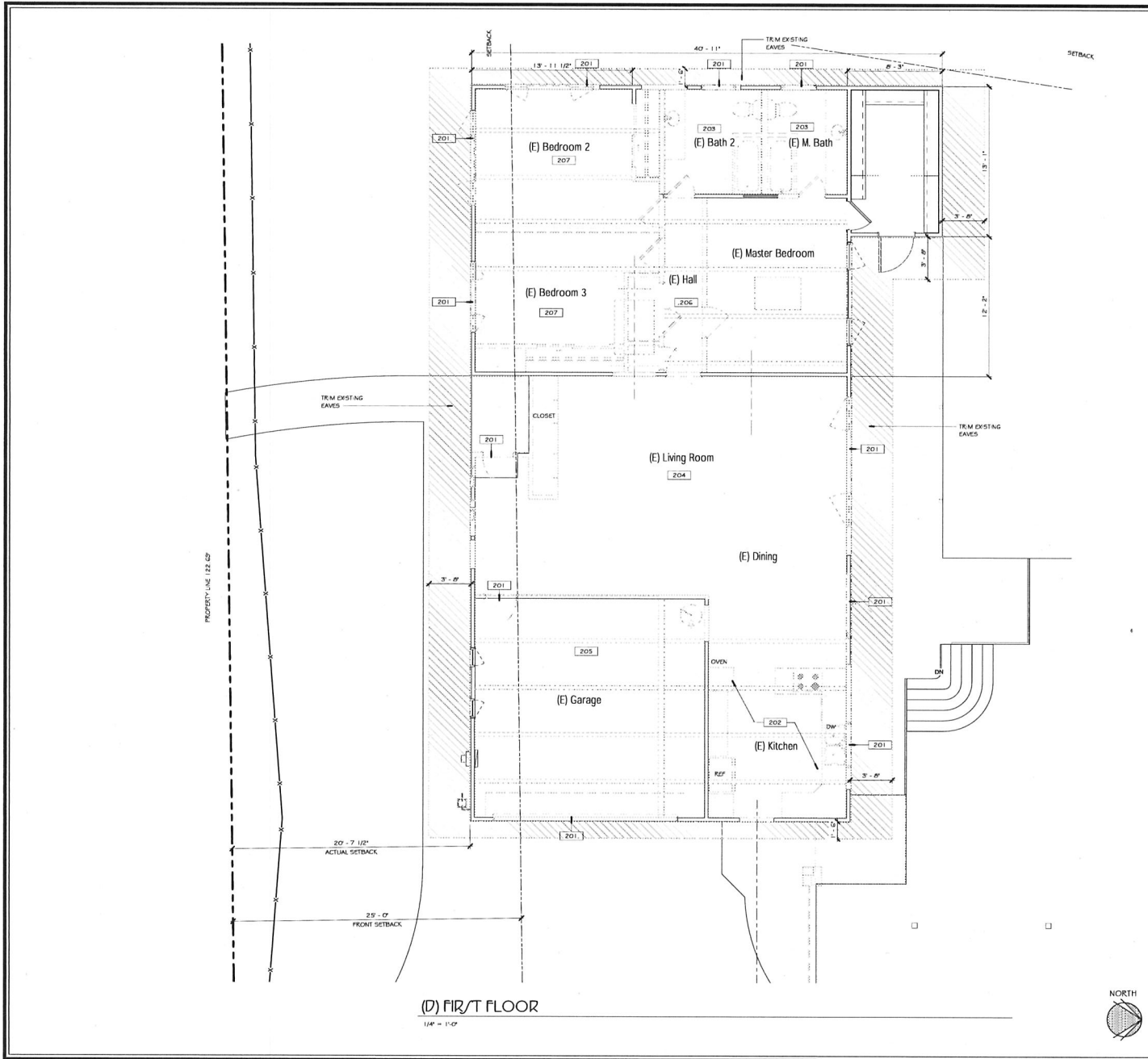
WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED (E.N.O.)
	PROPOSED 2x4 STUD WALL
	PROPOSED 2x4 STUD WALL
	CMU WALL

ABBREVIATIONS

(E)	- EXISTING NOTED FEATURE
(R)	- EXISTING NOTED FEATURE TO BE DEMOLISHED
(N)	- PROPOSED NOTED FEATURE
(R)	- REMODELED ROOM / AREA
(R, R)	- REMOVE AND REPLACE NOTED FEATURE

PRINT DATE: 2/28/2017 10:58 AM



PLAN KEYNOTES

- 201 DEMO DOOR/WINDOW WALL
- 202 DEMO KITCHEN IN ITS ENTIRETY
- 203 DEMO BATH IN ITS ENTIRETY
- 204 FAMILY ROOM: REMOVE ALL PLASTER DOWN TO STUDS. REMOVE STUCCO MATERIAL FROM FIREPLACE STACK AND WOOD BURNING STOVE. REMOVE CHIMNEY STACK STRUCTURE COMPLETE. DEMO DROPPING ENTRY FRAMING WALL.
- 205 GARAGE: REMOVE ALL CABINETS, LIGHT FIXTURES AND WALL MATERIAL DOWN TO STUDS COMPLETE. REMOVE WATER HEATER AND GARAGE DOOR INCLUDING TRACK AND MOTOR.
- 206 HALLWAY: REMOVE CLOSET TRIM, BUILT IN LINEN CABINET AND PLASTER AND WOOD PANELING COMPLETE FROM ENTIRE HALL.
- 207 REMOVE ALL NON-STRUCTURAL INTERIOR FRAMING. REMOVE CLOSET DOORS, CLOSET TRIM AND SHELVES/PULVES.

GENERAL NOTES

1. PRIOR TO DEMOLITION, A JOB WALK WITH THE CLIENT/OWNER SHALL BE PERFORMED TO VERIFY ALL ITEMS AND MATERIALS TO BE REMOVED AND KEPT. VERIFY LOCATION OF WHITE SAVED ITEMS AND MATERIALS SHALL BE STORED.
2. ITEMS NOT KEPT SHALL BE RECYCLED PER THE CAL GREEN CODE.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED (E.N.D.)
- PROPOSED 2x4 STUD WALL
- PROPOSED 2x6 STUD WALL
- CMU WALL

ABBREVIATIONS

- (E) - EXISTING NOTED FEATURE
- (N) - EXISTING NOTED FEATURE TO BE DEMOLISHED
- (N) - PROPOSED NOTED FEATURE
- (R) - RENOVATED ROOM / AREA
- (R & R) - REMOVE AND REPLACE NOTED FEATURE

#	Description	Date

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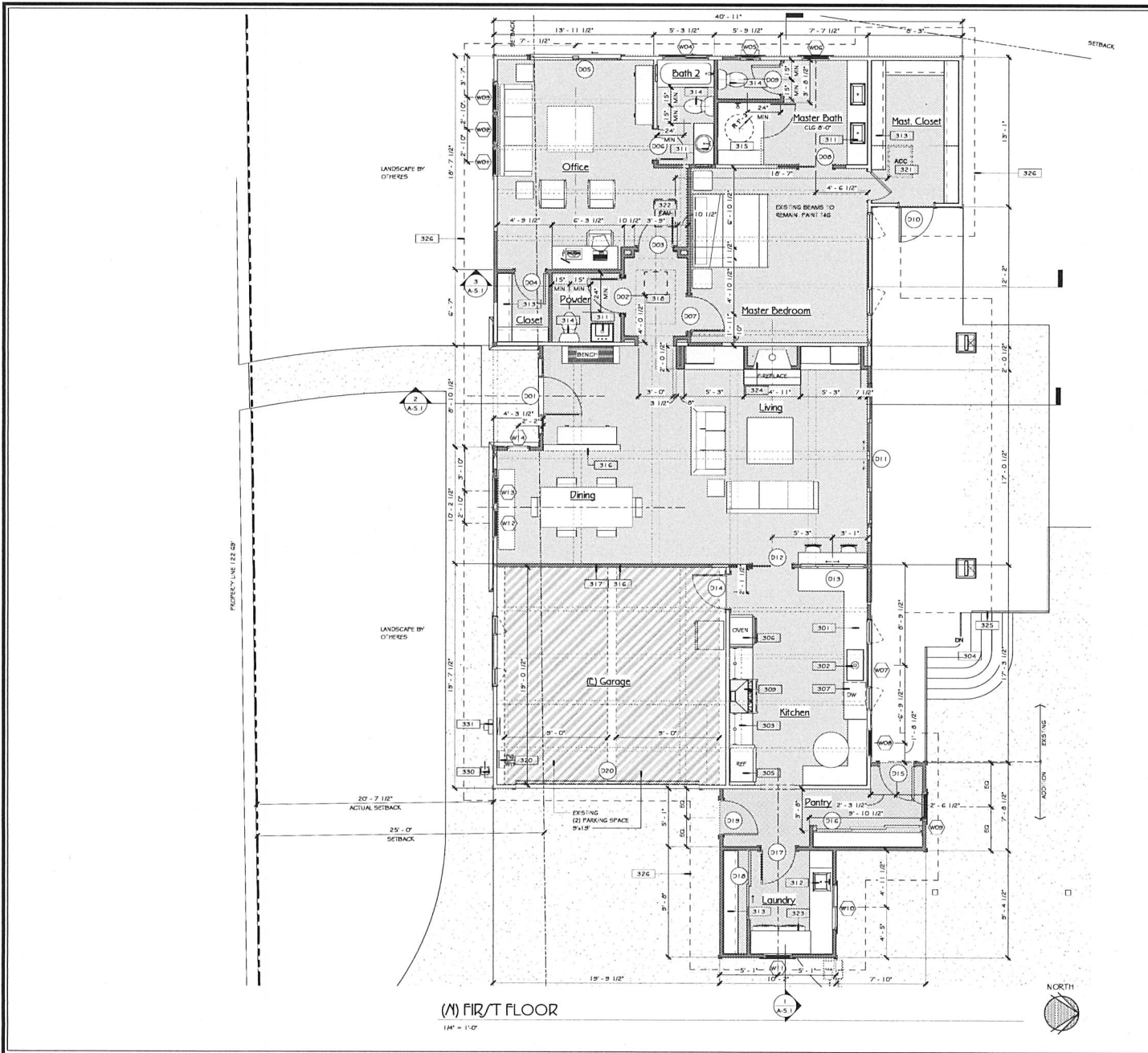
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MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

A-2.2

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- ### KEYNOTES
- 301 COUNTERTOP WITH BASE CABINETS BELOW
 - 302 KITCHEN SINK WITH DISPOSAL
 - 303 UPPER CABINETS FOR INTERIOR DESIGN
 - 304 CONCRETE STEPS, 7/8" MAX RISE AND MIN 1" OF TREAD
 - 305 REFRIGERATOR WITH COLD WATER HOOGUP
 - 306 MICRO OVER OVEN FOR INTERIOR DESIGN
 - 307 BUILT IN DISHWASHER
 - 308 42" HIGH WALL WITH CONCRETE CAP TO MATCH COUNTER TOP
 - 311 SINK WITH OVERFLOW FOR INTERIOR DESIGN BOOK
 - 312 UTILITY SINK
 - 313 KOOL AND SHELVE
 - 314 LOW FLOW TOILET
 - 315 FULL HT. TILED SHOWER WITH TEMP GLASS ENCLOSURE. SEE INT. DESIGN BOOK FOR MORE INFORMATION
 - 316 42" HIGH WALL W/CAP
 - 317 PROVIDE MIN 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALLS SEPARATING THE GARAGE FROM THE DWELLING AND ATTIC
 - 318 RETURN AIR GRILLE (RAG)
 - 320 NEW WALL MOUNTED EXTERIOR TANKLESS WATER HEATER. RINNALDO RUC30 (RUC30R34PLUSUS) 150,000 BTU. FLOW RATE IS 0.7 GPM. 1/2" WATER FLOW RATE RANGE 0.2G - 9.0 gpm. PROVIDE 120 VOLT RECEPTACLE WITHIN 3FT OF HEATER AND A CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS FOR GRAVITY DRAINAGE. THE 3" VENT INSTALLED IN A STRAIGHT POSITION FROM THE ROOM CONTAINING THE WATER TO THE ROOF TERMINATION FOR FUTURE POSSIBLE SERVING FOR HIGH EFFICIENCY HEATER VENTING. GAS PIPING SIZES BASED UPON A MIN. INPUT OF 200,000 BTU/HK.
 - 321 EXISTING ATTIC ACCESS 22"x37". MUST BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF MECHANICAL EQUIPMENT
 - 322 NEW 115,000 BTU, 5 TON, ARMSTRONG BY LENNOX FAU IN ATTIC. 48"X72" CLEAR PLATFORM IN FRONT OF THE UNIT TO SERVE THE NEW ADDITION. PASSAGEWAY TO THE MECHANICAL EQUIPMENT MUST NOT BE CONSTRUCTED. FANT CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE, AND BE NOT MORE THAN 20" IN LENGTH FROM THE ACCESS OPENING TO THE APPLANCE
 - 323 WASHER & DRYER. PROVIDE HOT & COLD WATER W/ RECESSED DRAIN. FLOOR DRAIN AND PAN UNDER WASHER. PROVIDE 4" VENT WITH BACKWART AND VENT DRYER TO EXTERIOR. MAX RUN SHALL BE 14' WITH NO MORE THAN 2-90 DEG BENDS
 - 324 INSTALL (1) 3"X3" PRE-FAB SINGLE-SIDE METAL FIREPLACE BOX WITH INTERIOR BRICK VENEER PANELS WITH GLASS DOOR, LOG KIT AND AUTOMATIC IGNITER. MAKE: TOWN & COUNTRY MODEL: TCR600 AND (2) 150-2014 KCA 2-22-2014.
 - 325 PROVIDE A HANDRAIL ON AT LEAST ONE SIDE OF STAIR FLIGHT WITH FOUR OR MORE RISERS
 - 326 PROPOSED ROOFLINE
 - 330 EXISTING GAS METER
 - 331 EXISTING 200AMP ELECTRIC METER

- ### GENERAL NOTES
1. SEE SHEET GN-1.1 FOR FLOOR PLAN AND ELECTRICAL NOTES
 2. SEE SHEET GN-1.2 FOR FLOOR PLAN AND ARCHITECTURAL NOTES
 3. A HEIGHT CERTIFICATION COMPLETED BY A LICENSED LAND SURVEYOR FOR ALL PROJECTS THAT INCLUDE CONSTRUCTION ABOVE 1.5 FEET IN HEIGHT. THIS IS REQUIRED AT FRAMING INSPECTION, AFTER THE BUILDING PERMIT IS ISSUED.

WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED (R.N.C.)
	PROPOSED 2-4 5/8" UO WALL
	PROPOSED 2-6 5/8" UO WALL
	CMU WALL

ABBREVIATIONS

(R)	- EXISTING NOTED FEATURE
(D)	- EXISTING NOTED FEATURE TO BE DEMOLISHED
(N)	- PROPOSED NOTED FEATURE
(R)	- REMOVED ROOM / AREA
(R & R)	- REMOVE AND REPLACE NOTED FEATURE

#	Description	Date

REVISION TAG / MARKER
PROJECT: 514145
FOURTH SUBMITTAL
02/17/2020

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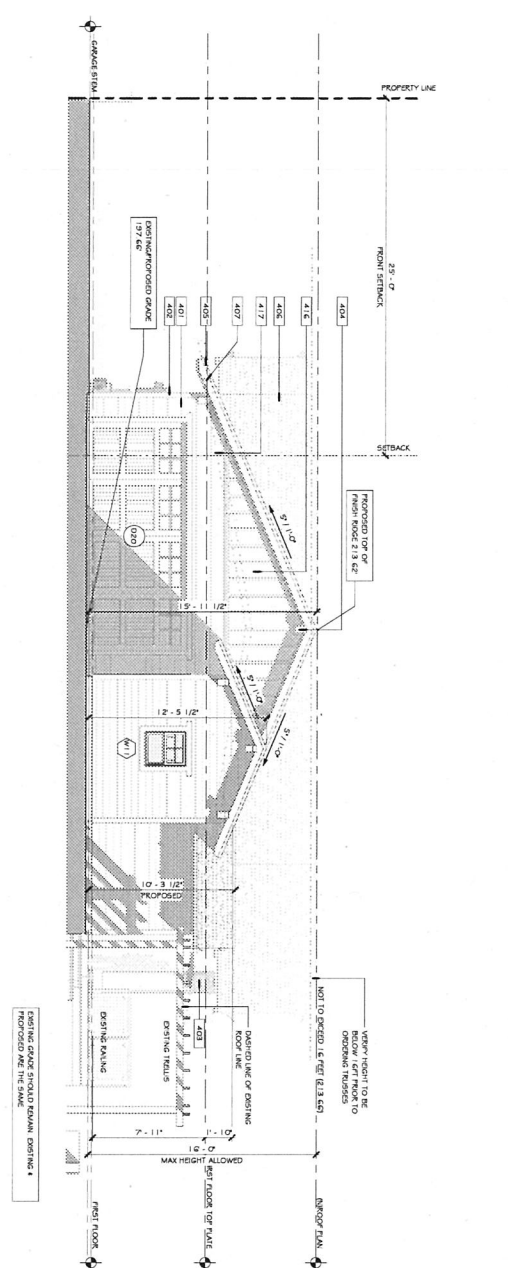
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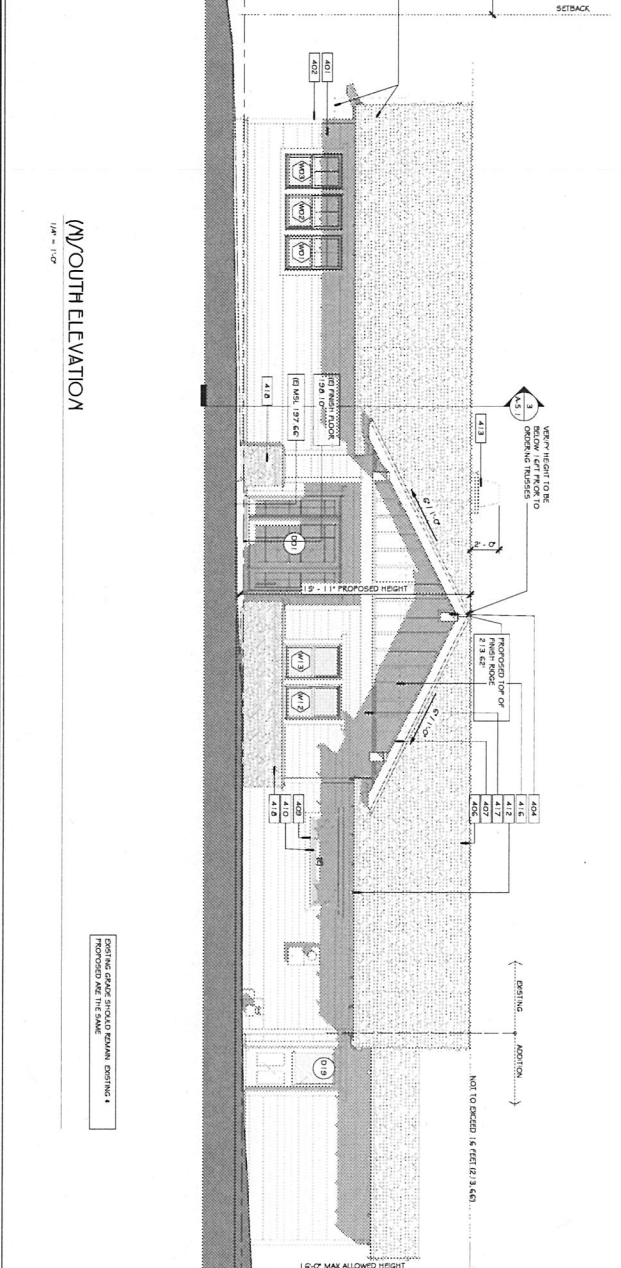
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CHECKED	JEK
MEASURE DATE	10/16/16
SCALE	as noted
JOB NAME	Roemmich
SHEET	

A-3.1

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(W) WEST ELEVATION
1/4" = 1'-0"



(S) SOUTH ELEVATION
1/4" = 1'-0"

- KEYNOTES**
- 401 INSTALL 1x TYPICAL EXISTING BATT AND BOUND SHEATHING
 - 402 INSTALL 1x EXISTING PLAT FIBER AT CORNERS
 - 403 INSTALL EXISTING BOUNDARY COLLARS AT BATT FIBER
 - 404 1x METAL DIRT EDGE
 - 405 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 406 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 407 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 408 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 409 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 410 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 411 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 412 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 413 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 414 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 415 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 416 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 417 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL
 - 418 1x4 WINDOW AND DOOR ROOFING, FLASHING AND SILL
 - 419 2x6 BATT ROOFING OVER EXISTING INSULATION AND SILL

ELEVATION NOTES

1. FIELD VERIFY ALL DISTANCE FROM TO CORNER OR CENTER OF WORK. IF A CORNER IS IDENTIFIED, THE CENTER OF THE WINDOW OR DOOR SHALL BE USED TO DETERMINE THE DISTANCE FROM TO CORNER OR CENTER OF WORK.
2. THE CENTER OF THE WINDOW OR DOOR SHALL BE USED TO DETERMINE THE DISTANCE FROM TO CORNER OR CENTER OF WORK.
3. THE CENTER OF THE WINDOW OR DOOR SHALL BE USED TO DETERMINE THE DISTANCE FROM TO CORNER OR CENTER OF WORK.
4. THE CENTER OF THE WINDOW OR DOOR SHALL BE USED TO DETERMINE THE DISTANCE FROM TO CORNER OR CENTER OF WORK.

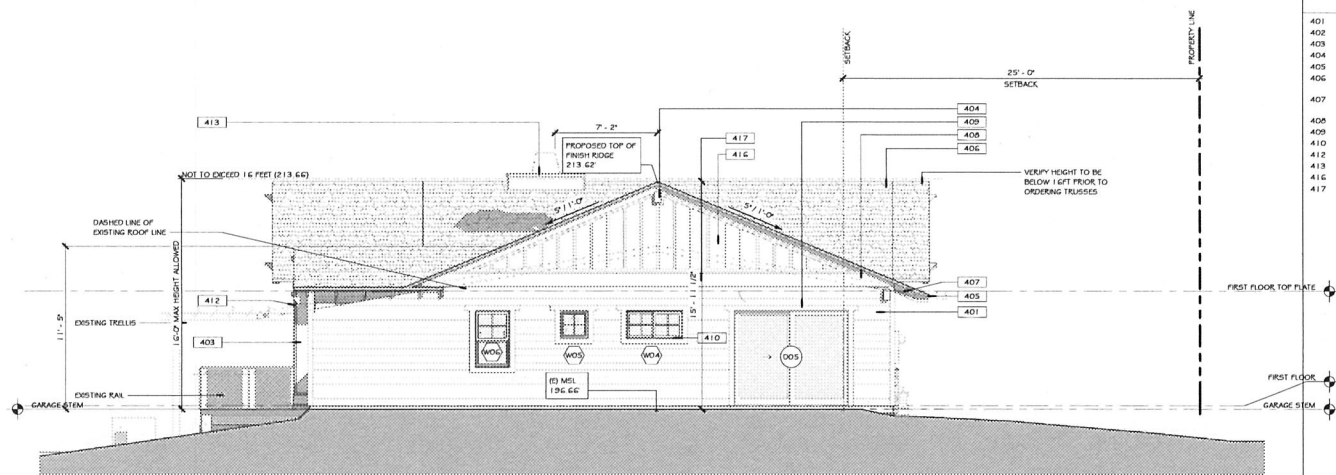
WALL LEGEND

	PLASTER/STUCCO		LINTEL/JAMB
	HORIZONTAL WOOD SIDING		KEYNOTE
	VERTICAL WOOD SIDING		DOOR SYMBOL
	FLUSH WOOD		WINDOW SYMBOL

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Dean Roemmich & Christine Nottingham
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 Sheet Title:
EXTERIOR ELEVATIONS

PROJECT DATE: 02/22/2010
PRINT DATE: 02/22/2010
SCALE: 1/4" = 1'-0"
JOB NAME: Remodeling
SHEET: A-4.1



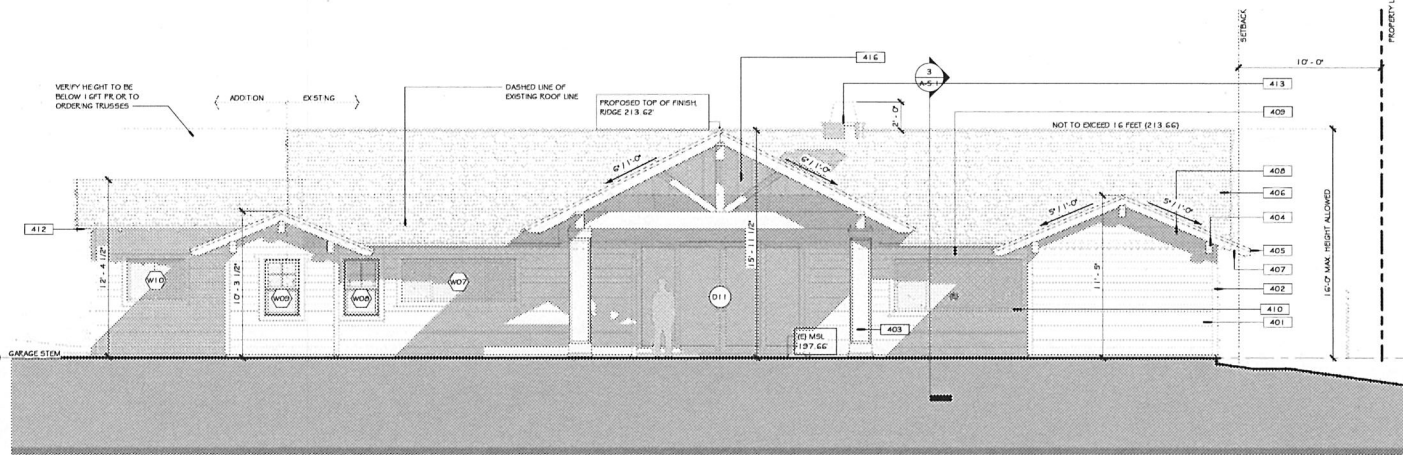
(W)WEST ELEVATION
1/8" = 1'-0"

KEYNOTES

- 401 INSTALL 1/2" HORIZONTAL CEMENT BATT AND BOARD SIDING
- 402 INSTALL 1X CEMENT PLAT TRIM AT CORNERS
- 403 INSTALL DETAIL ANCHOR (2) COLUMNS AT REAR PATIO
- 404 4x OUTLOOKERS
- 405 G.I. METAL DRIP EDGE
- 406 OWENS CORNING COMP. ROOF SHINGLE CLASS 'A' MIN. TWILIGHT BLACK OR EQUAL, ESR-3329
- 407 2x6 BARGE BOARD WRAP TILE OVER EDGE AND PROVIDE EDGE DRIP METAL
- 408 G.I. FLASH ALL WALL TO ROOF CONNECTIONS
- 409 1x4 WINDOW AND DOOR BORDER, HEADER AND SILL
- 410 JIFFY SEAL OVER ALL HORIZONTAL SURFACES
- 412 EXPOSED 2x6 RAFTER TAILS
- 413 SPARK ARRESTOR PER ICC
- 416 VEHICLE SIDING OVER TYVEK BUILDING WRAP
- 417 1X1 OVER 1X1 2 TRIM BOARD, FLASH

ELEVATION NOTES

1. FIELD VERIFY ALL SETBACKS PRIOR TO COMMENCEMENT OF WORK. IF A CONFLICT ARISES THE ARCHITECTURAL DESIGNER SHALL BE NOTIFIED
2. THE INTENT OF THESE ILLUSTRATIONS ARE TO SHOW DESIGN INTENT AND THE SPIRIT OF THE ARCHITECTURE. IF ANY CHANGES ARE REQUIRED OR REQUESTED BY THE OWNER WHICH AFFECTS THE DESIGN INTENT, THE CONSTRUCTOR SHALL NOTIFY THE ARCHITECTURAL DESIGNER OF THE CHANGES AND A REVIEW SHALL BE DONE



(N)NORTH ELEVATION
1/8" = 1'-0"

WALL LEGEND

- PLASTER / STUCCO
- LEVEL / HEIGHT
- HORIZONTAL WOOD SIDING
- # KEYNOTE
- HORIZONTAL WOOD SIDING
- (D) DOOR SYMBOL
- FINISH WOOD
- (W) WINDOW SYMBOL

#	Description	Date

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EXTERIOR ELEVATIONS

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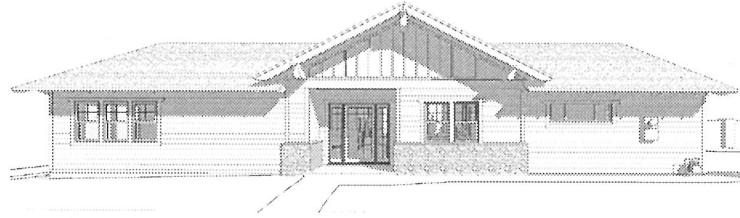
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EXTERIOR ELEVATIONS

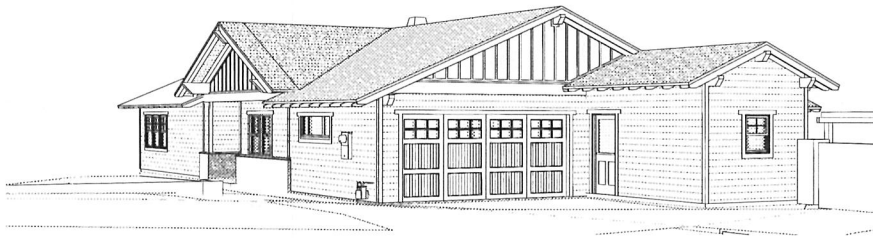
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SCALE	as noted
JOB NAME	Roemmich
SHEET	A-4.2

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Front View



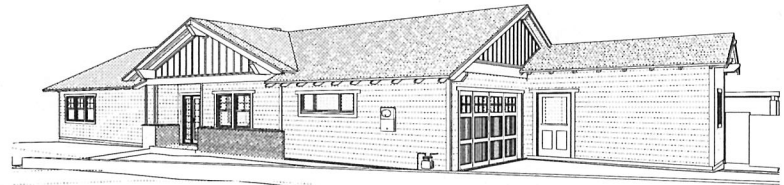
Entry walk at Garage



Front Court



West View



Front View

#	Description	Date

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 PROJECT STATUS
 FOURTH SUBMITTAL
 02/17/2020

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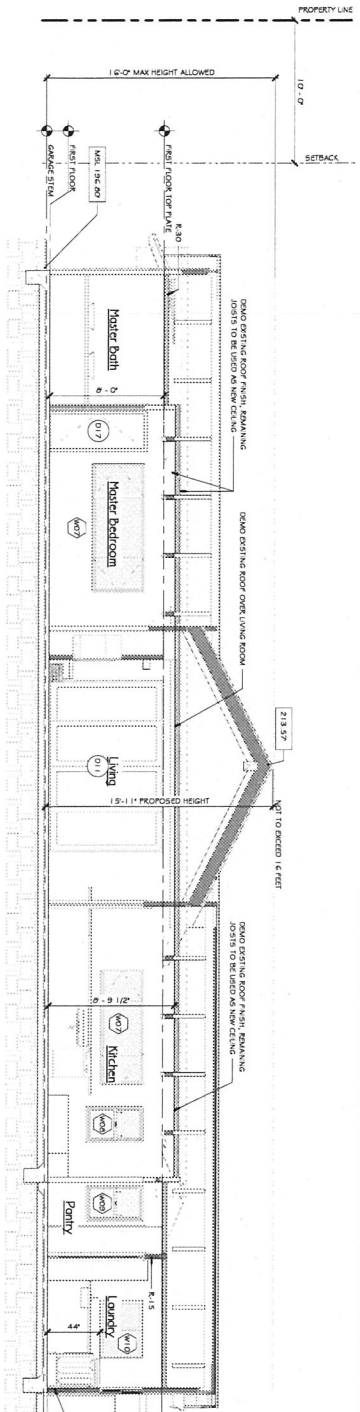
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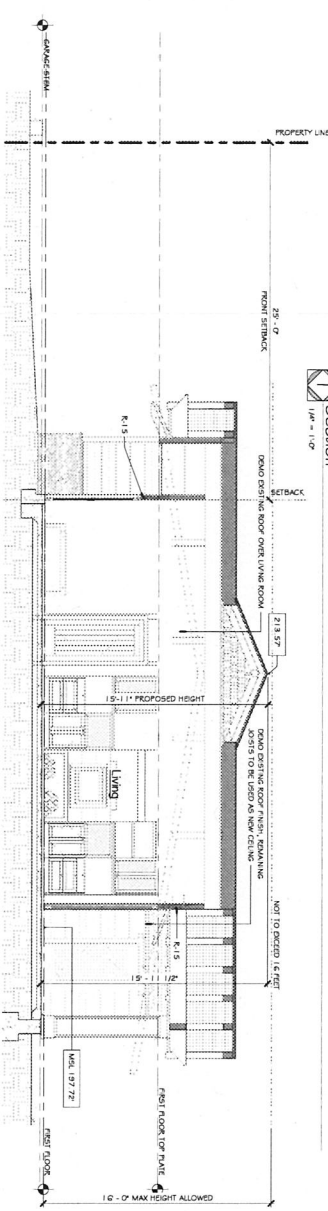
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MEASURE DATE	10/1/2018
SCALE	as noted
JOB NAME	Roemmich
SHEET	

A-4.3

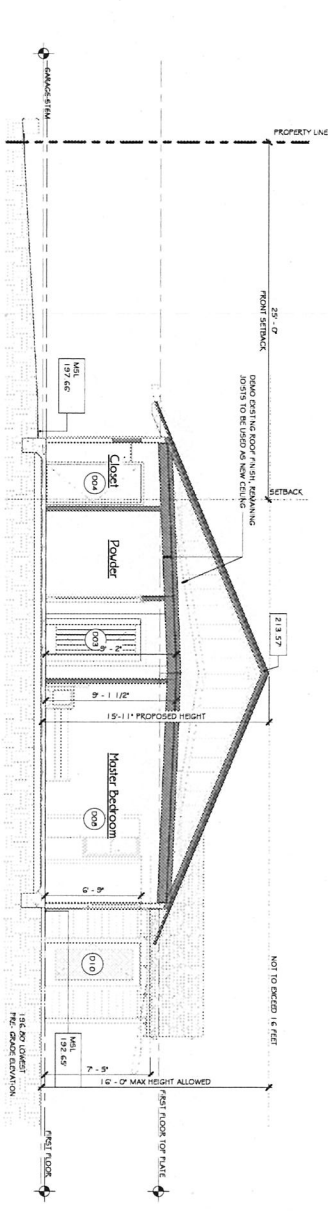
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Section 1
1/4" = 1'-0"



Section 2
1/4" = 1'-0"



Section 3
1/4" = 1'-0"

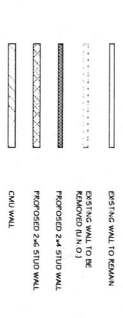
REMARKS

#	Description	Date

GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. CORRECT PLANS WITH EXISTING CONDITIONS AND NOTIFY ARCHITECT OF CORRECTIONS ASSESSING INTERIOR USES ON ROOMS FOR MORE DETAILED INFORMATION.
2. EXISTING ROOF PLYS, REMAINING JOISTS TO BE USED AS NEW CEILING.
3. EXISTING ROOF PLYS, REMAINING JOISTS TO BE USED AS NEW CEILING.

WALL LEGEND



ABBREVIATIONS

- EX - EXISTING INTERIOR FEATURE
- FR - EXISTING EXTERIOR FEATURE
- TO - TO BE DEMOLISHED
- NI - PROPOSED NOTED FEATURE
- RJ - REMODELED ROOM / AREA
- R, K, S - EXISTING AND STRIKE NOTED FEATURE

A Home Remodel For:
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 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075

Sheet Title:
BUILDING SECTIONS

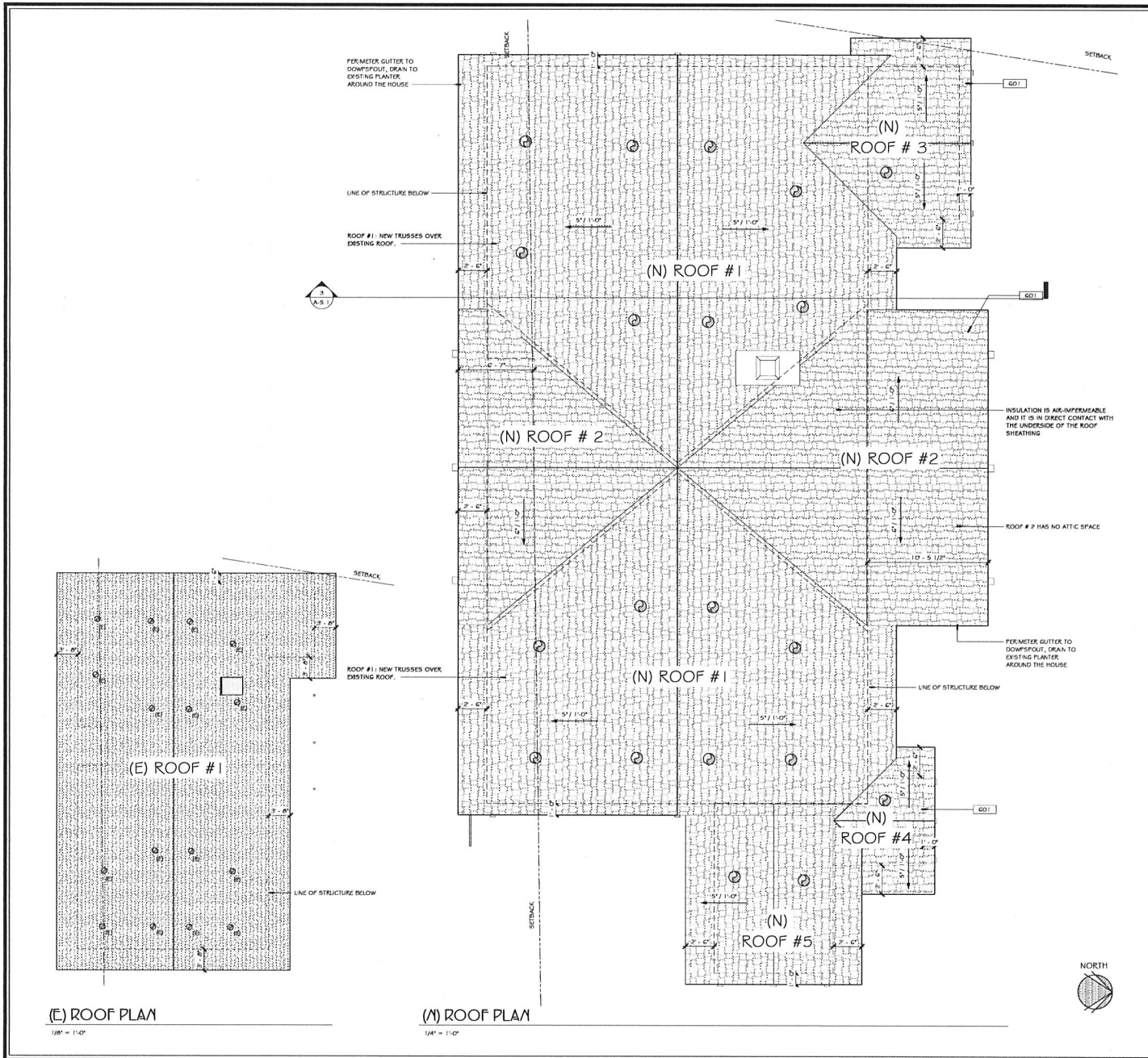
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PRINT DATE: 2022-02-19 10:19 AM

DESIGNER: JK
 CHECKED: JK
 MODIFIED DATE: 10/14/20
 SCALE: as noted
 JOB NAME: Remodeling
 SHEET: A-5.1



KEYNOTES

- GO1 NEW 2 PIECE CLAY TILE 1/8" TILE ICC ESR1017 OVER ROOFING FELTS, CLASS 'W' MIN.

GENERAL NOTES

- SEE SHEET GN-1 FOR FLOOR PLAN AND ELECTRICAL NOTES
- ALL GYP/DM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH FOR THE FINISH THEY ARE ANTICIPATED TO RECEIVE.
- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN. BUILDING SHELL COLUMNS, EXTERIOR WALLS, CORE AREAS, ETC. SEE BASE BUILDING ARCHITECTURAL.
- ALL HOLD OR 'YOUR' DIMENSIONS MUST BE MAINTAINED TO FINISH
- FRAME TO FIELD VERIFY ALL CONDITIONS AND COORDINATE WHERE LOW AND EXISTING FRAMING ALIGN. COORDINATE AND ALIGN WHEN POSSIBLE.

ATTIC VENT CALCULATION

NEW ROOF #1
 PROPOSED ATTIC AREA = 1,638 SQ FT
 ATTIC CALCULATION: $1,638 \times 144 = 235,872$ SQ IN. / 150 = 1,572 SQ IN.
 REQUIRED VENT AREA = 1,572
 VENT ARE PROVIDED = PROVIDE CHIGN. CLOAKED
 $1,572$ SQ IN. / (97.5 SQ IN) = 16 VENTS
 PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 1,572 SQ IN. OF VENTING. EVENLY SPACE THROUGH-OUT

NEW ROOF #3
 PROPOSED ATTIC AREA = 105 SQ FT
 ATTIC CALCULATION: $105 \times 144 = 15,120$ SQ IN. / 150 = 101 SQ IN.
 REQUIRED VENT AREA = 101
 VENT ARE PROVIDED = PROVIDE CHIGN. CLOAKED
 101 SQ IN. / (97.5 SQ IN) = 1 VENTS
 PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 101 SQ IN. OF VENTING. EVENLY SPACE THROUGH-OUT

NEW ROOF #4
 PROPOSED ATTIC AREA = 55 SQ FT
 ATTIC CALCULATION: $55 \times 144 = 7,920$ SQ IN. / 150 = 53 SQ IN.
 REQUIRED VENT AREA = 53
 VENT ARE PROVIDED = PROVIDE CHIGN. CLOAKED
 53 SQ IN. / (97.5 SQ IN) = 1 VENTS
 PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 53 SQ IN. OF VENTING. EVENLY SPACE THROUGH-OUT

NEW ROOF #5
 PROPOSED ATTIC AREA = 154 SQ FT
 ATTIC CALCULATION: $154 \times 144 = 22,176$ SQ IN. / 150 = 148 SQ IN.
 REQUIRED VENT AREA = 148
 VENT ARE PROVIDED = PROVIDE CHIGN. CLOAKED
 148 SQ IN. / (97.5 SQ IN) = 2 VENTS
 PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 148 SQ IN. OF VENTING. EVENLY SPACE THROUGH-OUT

ATTIC VENTILATION NOTES
 1. HALF OF REQUIRED ATTIC VENTILATION TO BE PROVIDED BY VENTS SERVING UPPER PART OF ATTIC.
 2. PROVIDE MIN. 8" HEIGHT DIFFERENCE BETWEEN HIGH AND LOW VENTILATION LOCATIONS.
 3. ATTIC VENTS TO BE LOCATED TO PROVIDE CROSS VENTILATION. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/2" MINIMUM TO 1/4" MAXIMUM OPENINGS.
 4. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.

SYMBOL LEGEND

- NEW ROOF VENT PER VENTILATION CALC (NY1)
- EXISTING ROOF VENT PER VENTILATION CALC (NY1)
- 3 1/2" : 12" PITCH AT ROOF SLOPE
- DIRECTION OF ROOF SLOPE

#	Description	Date

REVISION TAG / MARKER

PROJECT STATUS
FOURTH SUBMITTAL
09/17/2020

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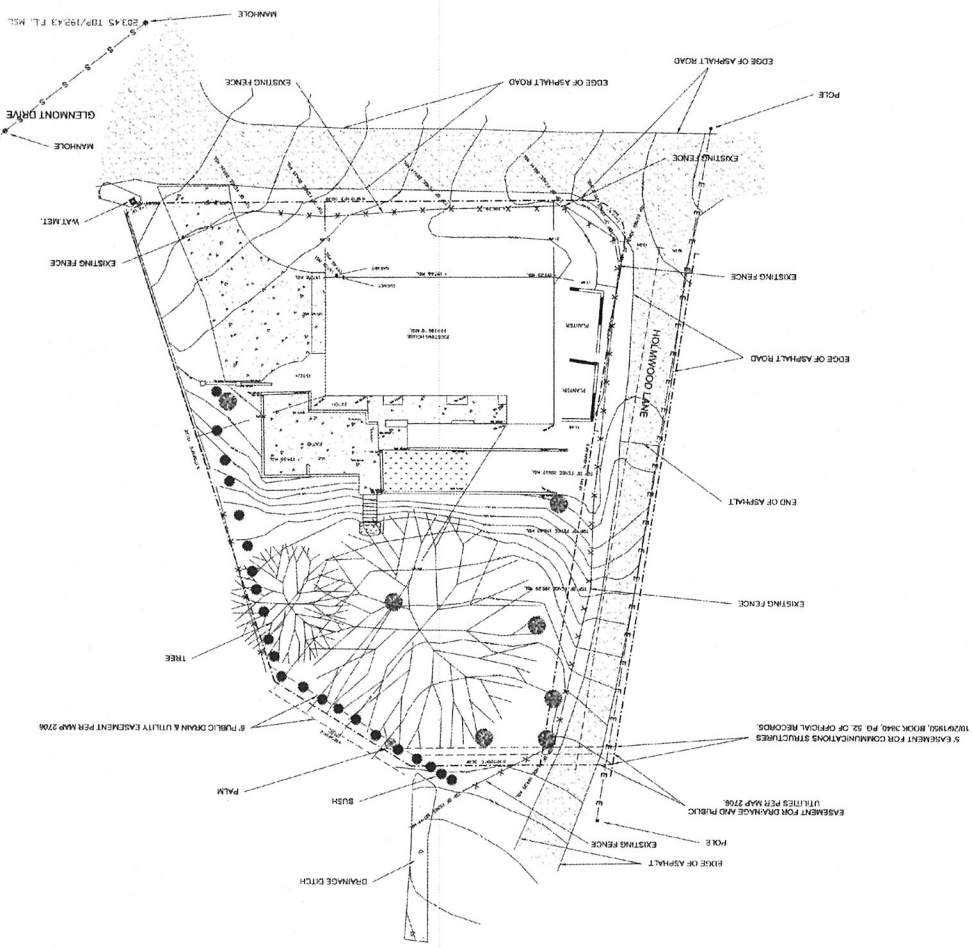
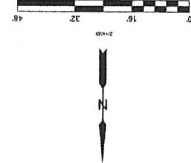
Sheet No. **ROOF PLAN**

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DRAWN	JEX
CHECKED	JEX
MEASURE DATE	10/14/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

A-6.1

PRINT DATE: 2/28/2020 2:18:39 PM



MANHOLE 20778 TOP/19358 F.L. M.S.L.

GLENMONT DRIVE
MANHOLE 30258 TOP/19278 F.L. M.S.L.

MANHOLE 30345 TOP/19943 F.L. M.S.L.

Robert S. Smith



BOUNDARY TIED TO RECORD OF SURVEY 1957A
ELEVATIONS TIED TO CITY OF SOLANA BEACH
BENCHMARK ENC-13 NAVD83 ELCA 67 MSL
PLOT BY SOLANA SURVEY, 858-755-8083



Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE. SOLANA BEACH, CA 92075



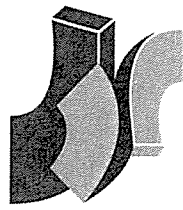
Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE. SOLANA BEACH, CA 92075



Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE. SOLANA BEACH, CA 92075



RECEIVED
OCT 30 2019
Community Development Dept.
City of Solana Beach

Findings for a variance
Re: DRP19004 V19-001 (675 Glenmont Drive, Solana Beach)

Project description:

This letter is being written to explain the findings in request for a variance. Due to the existing location of the residence on the property and the city setback requirements the homeowner is unable to renovate and add value to their property. The existing residence was built before the city of Solana Beach was incorporated and carries the previous development standards; the property is legal none conforming. We are asking for a variance to improve the front of the home by changing the roof pitch and roof composition. Due to the current development standards and the city prescribed imposed front setback we are being prohibited from making any such changes.

The residence is located on the side street Canyon Drive or better known as Holmwood Way. The site is pie shaped with the front of the residence, and long side of the house, facing Holmwood which is the wide portion of the pie. During the design process we met with Planning to discuss the front yard setback since the shape of the lot is ununiform in shape. Planning established that the front setback should be off Holmwood, 35' from center of street which places the existing front of the residence 4'-5 1/2" into the setback. The existing roof is a 1.5:12 pitch with an overhang of 3'-6". Therefore, with the building encroaching 4'-5 1/2" and the roof overhang of 3'-6" the total encroachment into the setback is 8'-0.

Our proposed project is to add new square footage which includes a laundry room on the east side of the home and a small sliver at the front entry. The proposed additions are within the buildable area, no proposed building encroachment into the setbacks. The existing portion of the remaining residence will be remodeled. The existing 1.5:12 roof, roof beams and T&G will remain as the interior ceiling and the existing 3'-6" overhang will be cut back to be flush with the walls. A new 5:12 sloped roof will be added on top of the existing ceiling rafters creating a new exterior look and adding volume to the interior of the residence.

Project findings:

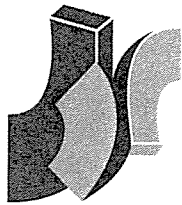
The code SBMC 17.16.050 states "where a nonconforming use exists on a lot, additional uses, structures or structural internal and external additions may be established on the lot; provided such additional uses, structures, or structural additions do not increase the size, degree, or intensity of the existing nonconformity." Planning referred to this code and denied the project stating, "The construction of new roof within the front yard setback constitutes an increase to the size, degree and intensity of the existing nonconformity and shall not be permitted." I disagree with this assessment of the above underlined statement. By reducing the overhang, we have decreased the intrusion and not increased the size, or intensity of the non-conformity. Regardless, we are moving forward with the variance application asking to allow the roof to be modified within the non-conforming area.

Finding #1:

"That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship in consistent with the objectives of the general plan and intent of this title."

Response: Due to the front yard setback established by planning, the front of the house sets 4'-5 1/2" forward into the setback. Based on planning's interpretation of code SBMC

ATTACHMENT 4



JACKSON

DESIGN & REMODELING

17.16.050 no work would be permitted in the encroachment area. This limits the homeowners' ability to renovate any portion of the front or street face of their home. This restriction also would prohibit the homeowner from adding interior volume to the existing spaces since no bearing loads would be allowed on the existing non-conforming walls. In order to gain volume a new roof needs to be installed since the existing roof is a low sloped and uninsulated. The non-conforming condition of the front of the home precludes us from doing anything to the entire length of the home which leaves the homeowner with few options for improvement.

This hardship would have a financial impact and will create a physical difficulty in improving the quality of their property.

Finding #2:

"That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to be intended use of the property, that do not apply generally to other properties in the same zone."

Response: The legal non-conforming residence sits within the established front setback the entire length of the front of the home. Base on the code stated above, SBMC 17.16.050, the homeowners would not be allowed to update the front of their property bringing it esthetically current. The rear of the property steps after the rear porch and continues to grade down slope from there creating a small buildable area. The difficulty with the home's location on this property is that the entire front face of the home is within the front setback. This is a very unusual site condition. Most lots in the area do not have non-conforming conditions the length of the entire home.

This hardship is caused by the location of the existing residence and the city development standard. Due to the location of the home, the lot area and the length of the non-conformity these homeowners do not have the same rights as other homeowners in the area.

Finding #3:

"That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owner of other properties in the same area."

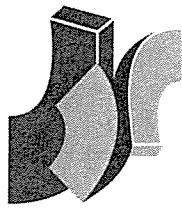
Response: Due to the location of the non-conformity as stated above the homeowners are being limited from improving their home. If improving the roof in the non-conforming area of the is not allowed the homeowners will not be able to upgrade the look or volume of their home. This would restrict them from adding value and esthetics to the property which other homeowners in the area are able to do.

This hardship is a direct relationship of the home location and the area in non-conformity. Most residents do not have this condition and have the ability to renovate and add beauty to their home.

Findings #4:

"That the granting of the variance will not be detrimental to the public health, safety, welfare or material injurious to properties or improvements in the vicinity."

Response: Our project proposes a roof pitch change and a reduction of the overhang of the existing roof. Due to the location of the home on the site, the existing vegetation, and the location of the adjacent neighbors, no views are being restricted or changed.



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DESIGN & REMODELING

This change is affecting the existing footprint and does not propose any health or safety issues.

This project will have little impact to the area and surrounding neighbors.

Conclusion: The granting of the variance to encroach into the front setback would allow us to improve the front façade of the home and allow us to add volume to the existing residence. The home is old and outdated and needs to be modernized for a multitude of reasons. With the future of green building and energy conservation this remodel will bring an inefficient structure into current regulations and will afford the homeowners a comfortable environment to live. The new esthetic will improve the area and will keep with the current eclectic vibe of Solana Beach.

Sincerely,

John E. Kavan
Architect



Jackson Design and Remodeling



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Finance
SUBJECT: **Council Consideration of Resolution No. 2020-026 Approving the Adoption of Mid-Year Budget Adjustments for Fiscal Year 2019/20**

BACKGROUND:

During the course of any year, as new budgetary information becomes available, Staff presents that information to the Council for consideration when adjustments are recommended to the Adopted Budget.

This item is before the City Council for consideration of Resolution No. 2020-026 (Attachment 1) approving the adoption of mid-year budget adjustments for Fiscal Year (FY) 2019/20.

DISCUSSION:

The City of Solana Beach's (City) Operating Budget Policies state that total expenditures of a particular fund may not exceed that which is appropriated by the City Council without a budget amendment. In addition, Section 3.08.040 of the Solana Beach Municipal Code limits the purchases by departments within the total departmental budget appropriations.

Staff is recommending that the City Council authorize the City Treasurer to amend the FY 2019/20 Adopted Budget for certain revenue and expenditure appropriations. The specific amendments to the FY 2019/20 Adopted Budget are discussed below in detail and categorized by General Fund and other funds.

General Fund Amendments

General Fund – Revenues

Staff analyzed revenues received by the City through December 2019. As part of the analysis, a comparison of revenues received against the annual budget for the first six months of this fiscal year was made as compared to the last fiscal year. Any variance between the two years that was greater than 10% was analyzed in detail. In a few cases, budget adjustments are being recommended based on other separate analyses.

CITY COUNCIL ACTION:

General Fund Appropriations – Revenues

- Franchise and National Pollutant Discharge Elimination System (NPDES) Fees

A payment due from AT&T for its cable TV franchise fee for the third quarter in FY 2018/19 was not received by the City until November 2019. The amount of the payment was \$16,000 and Staff is recommending Franchise Fee revenue be increased by this amount from \$818,800 to \$834,800.

The NPDES Fee due from EDCO for the fourth quarter in FY 2018/19 was not recorded in FY 2018/19 and instead was recorded in FY 2019/20. The amount of the payment was \$59,800 and Staff is recommending NPDES Fee revenue be increased by this amount from, \$262,000 to \$321,800.

- Real Property Transfer Tax

Collections for this revenue category are ahead through December as compared to previous fiscal years' collections at this point in the budget year by approximately twenty percent. Staff is recommending Real Property Transfer Tax revenue be increased by \$25,000 from \$180,000 to \$205,000

- Building Permits and Planning Application Fees revenue

Each year, the City tracks its revenue collection rates at different mid-points during the fiscal year and estimates projected revenue based on a rolling four-year average of those collection rates.

For Building Permits and Planning Application Fees revenue, actual collection rates through December 31, 2019 were higher than the four-year average collection rate at mid-year. Staff is proposing a budget increase to Building Permits of \$35,000 and to Planning Application Fees of \$100,000 based on this analysis. This adjustment would increase Building Permits budgeted revenue from \$246,000 to \$281,000 and Planning Applications Fees from \$184,500 to \$284,500.

- Building Plan Check Fees

In December, the City received Building Plan Check Fees of \$238,300 for the Solana Highlands project and \$71,000 for the Solana 101 project. These are considered one-time revenues in the revenue analysis. The revenue analysis also showed that this revenue category is projected to receive another \$35,000 through the end of the fiscal year. Staff is recommending Building Plan Check Fees be increased by a total of \$344,300 from \$221,400 to \$565,700.

- Interest Revenue

The adopted budget included \$95,000 for interest revenue that would be received on its investments held with the Local Agency Investment Fund (LAIF) and Chandler Asset Management. This revenue category is ahead of the expected budget at mid-year and Staff is recommending interest revenue be increased by \$50,000 to \$145,000.

- Motor Vehicle In Lieu
 The Adopted Budget appropriated \$1,715,500 for Motor Vehicle in Lieu revenue and the City has been notified by the County of San Diego that our actual revenue would be \$1,731,400. Staff is recommending an increase in this revenue category by \$16,000 to reflect this increase in anticipated Motor Vehicle in Lieu revenue.

- Community Grants
 Staff is recommending an increase in this revenue category by \$10,000 due to Community Grant funds committed to the City by Santa Fe Christian Schools.

A summary of the recommended changes for General Fund revenues are listed in the table below:

**Proposed Revenue Budget Adjustments
 General Fund - Mid Year
 Fiscal Year 2019/20**

<u>Account</u>	<u>Increases/ (Reductions)</u>
Franchise Fees	\$ 16,000
Real Property Transfer Tax	25,000
NPDES Fees	59,800
Building Permits	35,000
Motor Vehicle in Lieu	16,000
Interest Revenue	50,000
Planning Application Fees	100,000
Building Plan Check	
Non Solana Highlands/Solana 101	
Solana Highlands/Solana 101	344,300
Community Grants	10,000
	\$ 656,100

General Fund Appropriations – Expenditures

Staff has also analyzed expenditures through December 2019 against budgeted expenditures. Based on this analysis, Staff is recommending increases to General Fund expenditure accounts totaling \$502,700.

The largest expenditure adjustment is an increase of \$284,500 for building services. Building permit revenue is expected to increase by \$35,000 and total building plan check revenue is expected to increase by \$344,300 with the receipt of fees from Solana Highlands and Solana

101, for a total of \$379,300. Of this total revenue, 75% goes to EsGil, the City's on-call building plan check consultant

Staff is recommending Fire Department overtime costs be increased by \$120,000. Expenditures through the end of December 2019 equal \$330,942 as compared to an annual budget of \$500,000. Costs are running ahead of the budget on a year-to-date basis and additional overtime coverage is necessary from vacancies due to long-term worker compensation leave. Therefore, Staff is recommending an increase of \$200,000 from \$500,000 to \$620,000 to account for this increased cost. Staff is currently recruiting to fill a temporary firefighter position to help offset this overtime cost.

An appropriation of \$30,000 to the Planning department professional services category is being requested to provide funds to review the informational Draft Environmental Impact Report (DEIR) for the Marisol project being considered by the City of Del Mar.

On December 11, 2019, the City Council approved a new janitorial contract with California Office Cleaning, Inc. beginning January 1, 2020. The contract cost is greater than the amount budgeted for the City's previous janitorial contract and requires an appropriation of \$22,700 to the Maintenance of Building and Grounds account in the Public Facilities budget to cover the expected contract costs through the remainder of the fiscal year.

An appropriation of \$10,000 to Professional Services in the Public Facilities budget is needed to cover the expected costs of environmental testing and the installation of a new locking mechanism at City Hall. Increases of \$4,000 for Supplies and Minor Equipment are also being requested for the Public Facilities budget to pay for an Electric Vehicle (EV) charger at City Hall and for a new refrigerator and ice maker at La Colonia Community Center. The City's contract with Bob Hoffman for City Council meeting services was increased and an additional \$4,000 is needed in Community Television in the Information Systems budget.

The current Holiday Tree is at the end of its useful life. Staff has found a new Holiday Tree that has been discounted at an after-holiday sale and the cost is \$8,000. The Park and Recreation Reserve will be the source of funding for this purchase.

Salaries and benefits need to be reallocated from the Human Resources budget to reflect projected costs for temporary employees due to the increase in the minimum wage and the addition of a Senior Civil Engineer classification in the management salary schedule at \$3,200 and \$3,000, respectively. Additionally, changes in costs and budget allocations with other General Fund budget units and non-General Fund budget units, such as the Self-Insurance and Sanitation funds are also needed. These changes will result in a net zero impact to the General Fund.

A summary of the recommend changes for General Fund expenditures are listed in the table on the following page:

**Proposed Expenditure Budget Adjustments
 General Fund - Mid Year
 Fiscal Year 2019/20**

<u>Account</u>	<u>Increases/ (Reductions)</u>
Fire Department	
Overtime	\$ 120.000
Salary and Benefits	
Human Resources	(10.300)
City Manager	4.600
Community Services	200
Engineering	1.900
Environmental Services	200
Marine Safety	2.500
Recreation	900
Professional Services	
Building	284.500
Public Facilities	10.000
Marine Safety	1.500
Planning	30.000
Supplies/Minor Equip	
Public Facilities	4.000
Community Television	
Information Systems	4.000
Vehicle Maintenance	
Marine Safety	1.800
Community Grants	
City Council	15.000
Equipment Maintenance	
Fire	(1.200)
Public Facilities	1.200
Marine Safety	1.200
Recreation	
Holiday Tree	8.000
Maintenance of Building & Grounds	
Public Facilities	22.700
Total Adjustments	\$ 502,700

Other Fund Amendments

The following amendments increasing expenditures to other funds are also recommended:

#	Fund Name	Description	Amount
125	Workers Comp	Salaries and Benefit	\$ 300
135	Asset Replacement	Marine Safety-Street LG Software/Equipment	4,700
		Fire - Lights, Siren & PA for Chief's vehicle	1,300
		Fire - Motorola 800 MHZ Radios	1,500
		Fire - kitchen table chairs	3,100
202	Gas Tax	State Regulatory Signs	6,000
203	Highway 101 MID	Maint of Building/Grounds (Landscaping)	5,100
211	Street Lighting	Salaries and Benefits	500
509	Sanitation	Salaries and Benefits	3,200
550	Solana Energy Alliance	Salaries and Benefits	2,200
Total Adjustments			\$ 27,900

The Salaries and Benefits to be appropriated to the funds listed in the above table are the non-General Fund funds associated with the "General Fund Appropriations – Expenditures" section of this Staff Report.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

If Council approves Staff recommendations, the "General Fund – Adopted Budget Plus Changes" net surplus balance reported at each Council meeting would be updated as follows:

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES					
As of February 26, 2020					

Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
Reso 2019-085	Adopted Budget	19,357,000	(19,141,500)	(151,100) (1)	\$ 64,400
Reso 2020-026	Mid-Year Budget Adjustments	656,100	(502,700)		217,800
(1) Transfers to:					
	Debt Service for Public Facilities		151,100	151,100	

The General Fund's projected budget surplus for FY 2019/20 would then increase by \$153,400 from \$64,400 to \$217,800.

WORK PLAN:

Fiscal Sustainability

OPTIONS:

- Approve Staff Recommendation
- Deny Staff Recommendation

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council adopt Resolution No. 2020-026 revising appropriations in the Fiscal Year 2019/20 Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution No. 2020-026

RESOLUTION 2020-026

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, REVISING APPROPRIATIONS IN THE FISCAL YEAR 2019/20 BUDGET AND AUTHORIZING THE CITY TREASURER TO AMEND THE BUDGET ACCORDINGLY

WHEREAS, during the course of the fiscal year, new information becomes available to Staff which require adjustments to be made to the adopted budget; and

WHEREAS, Section 3.08.040 of the Solana Beach Municipal Code limits the purchases by departments within the total departmental budget appropriations; and

WHEREAS, the City's Operating Budget Policies state that total expenditures of a particular fund may not exceed that which is appropriated by the City Council, without a budget amendment; and

WHEREAS, the City Manager, in coordination with the Finance Manager, reviewed and analyzed the expenditures of the Fiscal Year 2019/20 Adopted Budget and recommend certain amendments be made to the General Fund as well as other funds.

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of Solana Beach, California, does hereby resolve as follows:

1. That the above recitations are true and correct.
2. That the City Treasurer is authorized to amend appropriations in the 2019/20 fiscal year budget as further set forth in the attached Exhibit A.

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PASSED, APPROVED AND ADOPTED by the City Council of the City of Solana Beach, California, this 26th day of February 2020, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

**Exhibit A
Resolution 2020-026**

GENERAL FUND

Revenues

Account

**Additions/
Deletions**

Franchise Fees	\$ 16,000
Real Property Transfer Tax	25,000
NPDES Fees	59,800
Building Permits	35,000
Motor Vehicle in Lieu	16,000
Interest Revenue	50,000
Planning Application Fees	100,000
Building Plan Check	344,300
Community Grants	15,000

Total General Fund

\$ 661,100

Expenditures

Building	Professional Services	\$ 284,500
City Council	Community Grants	15,000
City Manager	Salary and Benefits	4,600
Community Services	Salary and Benefits	200
Engineering	Salary and Benefits	1,900
Environmental Services	Salary and Benefits	200
Fire Department	Equipment Maintenance	(1,200)
Fire Department	Overtime	120,000
Human Resources	Salary and Benefits	(10,300)
Information Systems	Community Television	4,000
Marine Safety	Equipment Maintenance	1,200
Marine Safety	Professional Services	1,500
Marine Safety	Salary and Benefits	2,500
Marine Safety	Vehicle Maintenance	1,800
Planning	Professional Services	30,000
Public Facilities	Equipment Maintenance	1,200
Public Facilities	Maintenance of Building & Grounds	22,700
Public Facilities	Professional Services	10,000
Public Facilities	Supplies/Minor Equip	4,000
Recreation	Salary and Benefits	900
Recreation	Equipment	8,000

Total General Fund

\$ 502,700

OTHER FUNDS

Expenditures

Workers Comp	Salaries and Benefits	\$ 300
Asset Replacement	Marine Safety-Street LG Software/Equipment	4,700
	Fire - Lights, Siren & PA for Chief's vehicle	1,300
	Fire - Motorola 800 MHZ Radios	1,500
	Fire - kitchen table chairs	3,100
Gas Tax	State Regulatory Signs	6,000
Highway 101 MID	Maint of Building/Grounds (Landscaping)	5,100
Street Lighting	Salaries and Benefits	500
Sanitation	Salaries and Benefits	3,200
Solana Energy Alliance	Salaries and Benefits	2,200

Total Other Funds

\$ 27,900



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: City Manager
SUBJECT: **Council Consideration of Resolution 2020-021 Adopting a Revised Climate Adaptation Chapter Amending the 2017 Climate Action Plan and Receive the 2019 Climate Action Plan Update**

BACKGROUND:

In 2017, the City adopted a Climate Action Plan (CAP) to mitigate local actions that contribute toward the emissions of Greenhouse Gases (GHG). The CAP is comprised of five chapters: 1) Introduction; 2) Greenhouse Gas Emissions Inventory, Forecasts, and Reduction Targets; 3) Greenhouse Gas Reduction Strategies and Measures; 4) Climate Adaptation; and 5) Implementation and Monitoring.

When Chapter 4 regarding Climate Adaptation was first drafted, the Climate Action Commission (Commission) believed it could be improved upon and they formed a Climate Adaptation Subcommittee to accomplish that. After significant effort researching climate adaptation strategies being proposed or implemented regionally and statewide, the Climate Adaptation Subcommittee has completed a new Chapter 4 (Attachment 1) which outlines specific strategies the City can follow to mitigate the effects of climate change.

In addition, the CAP calls on Staff to update City Council on progress toward implementing the measures identified in the CAP every two years. This update is provided as a report entitled Climate Action Plan Update, 2019 (Attachment 2).

This item is before the City Council to review the revised Climate Adaptation chapter and consider whether to incorporate it as an official part of the City's CAP by adopting Resolution 2020-021 (Attachment 3). This item is also before the City Council to receive the 2019 CAP Update report.

CITY COUNCIL ACTION:

DISCUSSION:

The climate in Solana Beach is changing as it is around the globe. Increasing GHG emissions are considered to be the primary cause of dramatic climate shifts and governments worldwide are trying to adopt policies to decrease the level of GHG emissions in an attempt to slow down global warming trends. This is important to do, but at the same time, the climate is already changing and governments must also implement adaptation strategies to manage many of the issues associated with global warming and climate change that we are already experiencing today. These issues are broken down into nine categories in the revised Climate Adaptation chapter with specific strategies identified for each category.

The nine categories are as follows:

- Increase in Temperatures and Extreme Heat;
- Variable Water Supplies;
- Increased Risk of Wildfire;
- Coastal Erosion and Sea Level Rise;
- Flooding;
- Increased Energy System Demand;
- Threats to Public Health and Safety;
- Coastal Habitat; and
- Climate Justice.

In the future, Council may choose to take action on any of the proposed strategies by incorporating them into the Council Work Plan or into a formal City policy or action.

The last category is significant because most other CAPs in the region include a section about climate justice whereas there was no mention of it in the City's original CAP. Climate justice is the idea that local actions have negative impacts on the environment that disproportionately harm disadvantaged communities. For example, hazardous, toxic and polluting industries are often located near disadvantaged communities, so when affluent communities consume more goods that require disposal or use more energy or resources, the disadvantaged communities bear the burden of the adverse health effects associated with such activities.

Some additional items that are updated in the newly proposed Adaptation chapter when compared to the original Adaptation chapter include expanded text to incorporate the most current data and science regarding climate threats as well as additional strategies identified to address those threats. The formatting was also updated to more clearly link specific strategies to the threats they intend to mitigate.

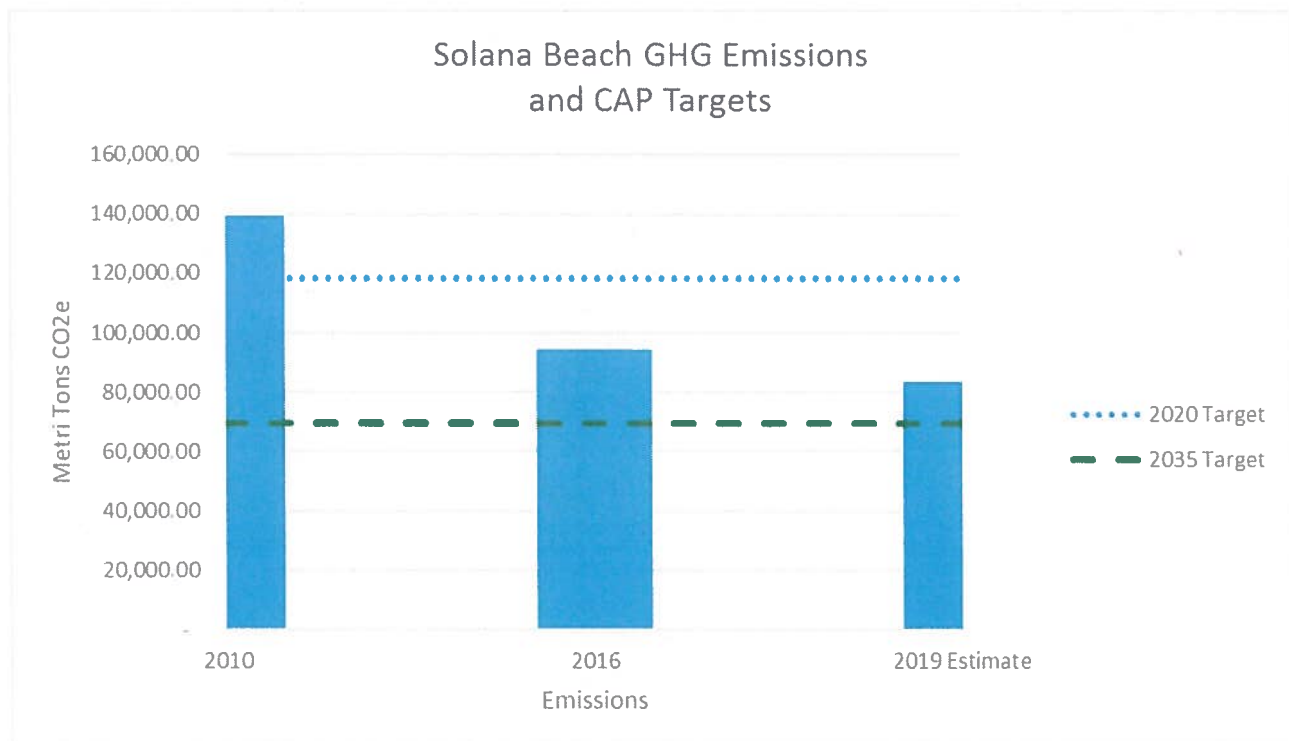
The Climate Adaptation Subcommittee presented the revised chapter to the Commission on February 19, 2020 which voted to make a formal recommendation to Council to consider adopting the revised chapter as the new Chapter 4 in the City's CAP.

Climate Action Plan Update

Every two years Council will receive an update on the City's progress on goals and measures outlined in the CAP. Recently, the San Diego Association of Governments (SANDAG) coordinated the completion of a regional GHG inventory to help cities assess their progress toward GHG emissions targets. In addition, the City has made significant progress on several key measures identified in the CAP to reduce GHG emissions most notably with the establishment of Solana Energy Alliance (SEA), the region's first Community Choice Energy program which launched on June 1, 2018.

According to the latest GHG Inventory completed by SANDAG in conjunction with the Energy Policy Initiatives Center (EPIC), which is a nonprofit academic and research center of the USD School of Law, emissions in the City have dropped below the 2020 target set in the CAP and are trending toward the 2035 goal.

EPIC completed the inventory based on data available during the 2016 calendar year, so it is important to note that the reductions just mentioned occurred before the City adopted its CAP in 2017 and before the City established Solana Energy Alliance (SEA). Since its establishment in 2018, SEA has provided the Solana Beach community with additional green energy options that contribute further to GHG reductions and those estimated benefits are included in the 2019 emissions figure below.



The City's total GHG emissions can be distributed into six categories of activities that cause the emissions. These categories include:

Emissions Category	2016 (metric tons CO ₂ e)	Distribution (%)
On-Road Transportation	56,600	60%
Electricity	20,000	21%
Natural Gas	13,100	14%
Solid Waste	3,200	3%
Water	900	1%
Wastewater	600	0.6%
Total Emissions	94,300	100%

The latest GHG inventory shows a downward trend in GHG emissions and related activities when compared to the inventory completed in 2010. Overall, from 2010-2016:

- ↓ Emissions due to **transportation** decreased;
- ↓ Consumption of **electricity** decreased and the percentage of renewable content increased;
- ↓ The consumption of **natural gas** decreased; and
- ↓ **Wastewater** produced decreased.

Water consumption and the production of solid waste were the two areas that fared a little worse in 2016 with slight increases.

Emissions Category	Recalibrated 2010 (metric tons CO ₂ e)	2016 (metric tons CO ₂ e)	Reductions	Percentage Change
On-Road Transportation	82,193	56,600	25,593	-31%
Electricity	27,182	20,000	7,182	-26%
Natural Gas	15,504	13,100	2,404	-16%
Solid Waste	3,095	3,200	(105)	3%
Water	831	900	(69)	8%
Wastewater	693	600	93	-13%
Total Emissions	129,498	94,400	35,098 Total Reductions	

The 2019 CAP Update report summarizes this progress to date in greater detail and articulates some challenges that still lay ahead.

CEQA COMPLIANCE STATEMENT:

This action is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15321 of the State CEQA Guidelines.

FISCAL IMPACT:

There is no anticipated fiscal impact to the City as a result of this report. Any actions recommended to implement from the CAP will be brought before Council for direction or to be included in the Council Work Plan. The fiscal impacts will be considered at these times.

WORK PLAN:

Item A.1 of the Environmental Sustainability Priorities of the FY 2019/20 Work Plan.

OPTIONS:


- Approve Staff recommendations.
- Provide direction or propose revisions to the Adaptation chapter.
- Do not approve Staff recommendations.
- Provide direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2020-021 and receive the 2019 CAP Update report.

CITY MANAGER'S RECOMMENDATION:

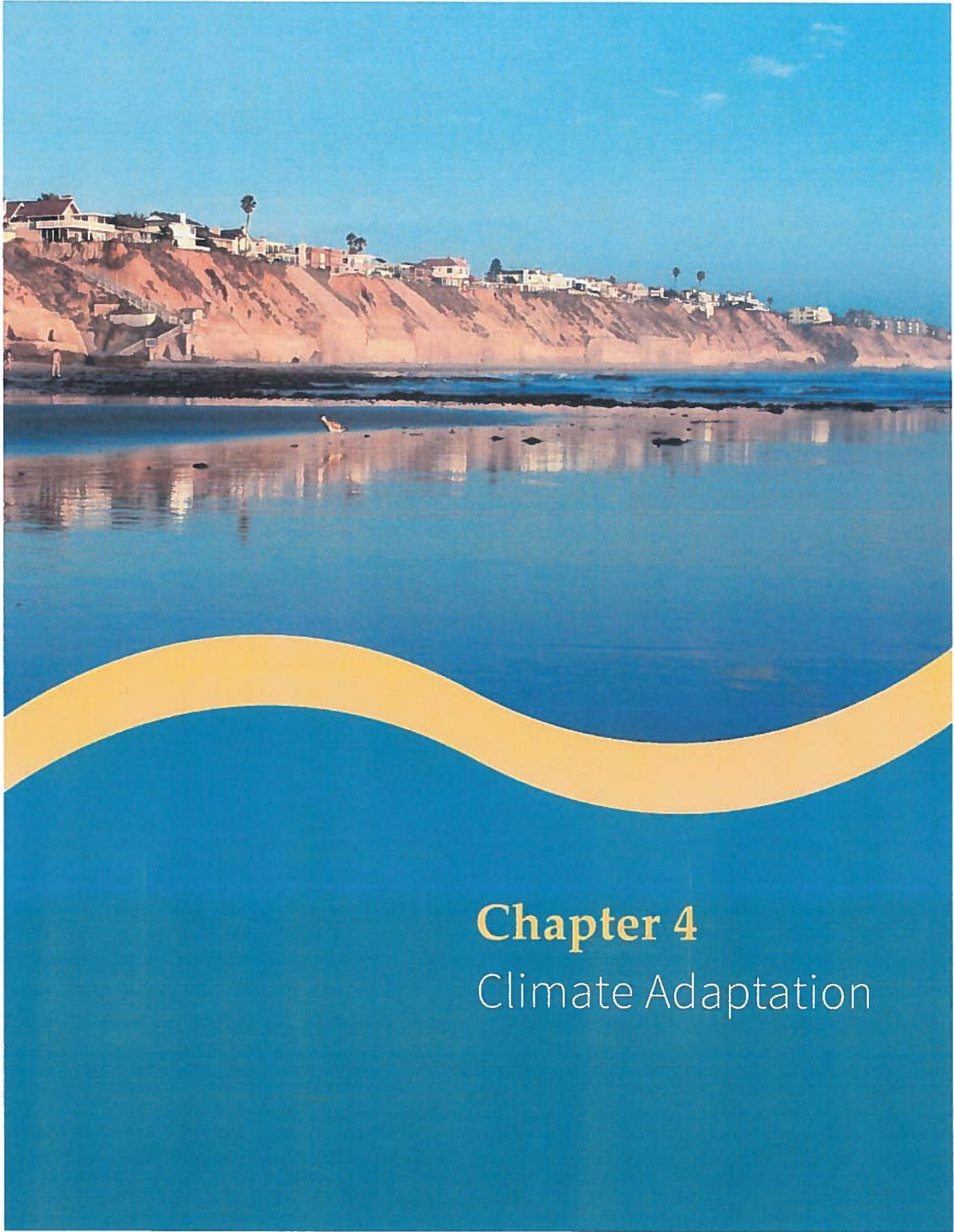
Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Chapter 4: Climate Adaptation
2. 2019 CAP Update
3. Resolution 2020-021



Chapter 4

Climate Adaptation

4.1 Introduction

Climate change is a global phenomenon that over the long-term has the potential for a wide variety of impacts on human health and safety, economic continuity, water supply, ecosystem function, and the provision of basic services. Locally, climate change is already affecting and will continue to affect the physical environment throughout California, the San Diego region, and the City of Solana Beach (City). As a result of Executive Order (EO) S-13-08, the California Natural Resources Agency (CNRA) developed the [SafeGuarding California Plan](#) (California Natural Resources Agency, 2018), which integrates the State's climate adaptation strategy with public and private entities at the local, regional, state and federal levels. However, because impacts of climate change vary by location due to physical, social and economic characteristics, it is important to identify the projected severity these impacts could have in the City.

Periodic scientific examinations of the potential impacts of climate change in California are carried out by [California's Climate Change Assessments](#) (Climate Change California, 2019). The 4th and most recent assessment includes findings for nine regions and different communities, including the San Diego Region and Coast and Ocean Communities. For the San Diego region, these key findings are summarized in Appendix 1. Some of the climate change effects in this report refer to this [4th California Climate Change Assessment](#) (Climate Change California, 2019) and references therein. Additional references are as noted. Furthermore, [Cal-Adapt](#) (Cal-Adapt, 2019) a climate change scenario planning tool, was used to acquire city and location specific information which was not available in the Assessment. Using Localized Constructed Analogs (LOCA) Cal-Adapt downscales global climate simulation model data to local and regional resolution for two possible climate change projections, one in which emissions peak around 2040 and then decline (Representative Concentration Pathway (RCP) 4.5) and another in which emissions continue to rise throughout the 21st century (RCP 8.5) in a business-as-usual scenario.

4.2 Climate Effects and Solana Beach Adaptation Strategies

This section describes how the regional climate change effects highlighted in Appendix 1 could be felt locally. It also defines the specific steps necessary to prepare for the future effects of a changing climate. These adaptation strategies build upon current efforts to be proactive, more sustainable and resilient. It is important to note that many of these strategies also have the potential to provide other important co-benefits to the community. The City's General Plan already contains a number of policies aimed at maintaining balanced land use throughout the City's recreational and residential areas; promoting the protection, maintenance, and use of natural resources; preserving and rehabilitating neighborhoods and commercial areas; and achieving and sustaining a high quality of life for citizens and visitors.

The City's climate adaptation strategies are grouped into the nine categories listed below. The effect of these categories on public health and safety will be collectively described in the Public Health and Safety section.

- Increase in Temperatures and Extreme Heat;
- Variable Water Supplies;
- Increased Risk of Wildfire;
- Coastal Erosion and Sea Level Rise;
- Flooding;
- Increased Energy System Demand;

- Threats to Public Health and Safety;
- Coastal Habitat; and
- Climate Justice.

4.2.1 Increase in Temperatures and Extreme Heat

Climate change will impact regional temperatures in a number of ways including average temperatures, highs and lows, geographic patterns and extreme heat events. Annual temperatures in the San Diego region are projected to climb steadily. By the end of the century, yearly average temperatures are expected to increase by 4-6 °F (~2.2-3.3 °C) under RCP 4.5, the low emissions scenario, and by 7-10 °F (3.6-5.8 °C) under RCP 8.5, the high emissions scenario.

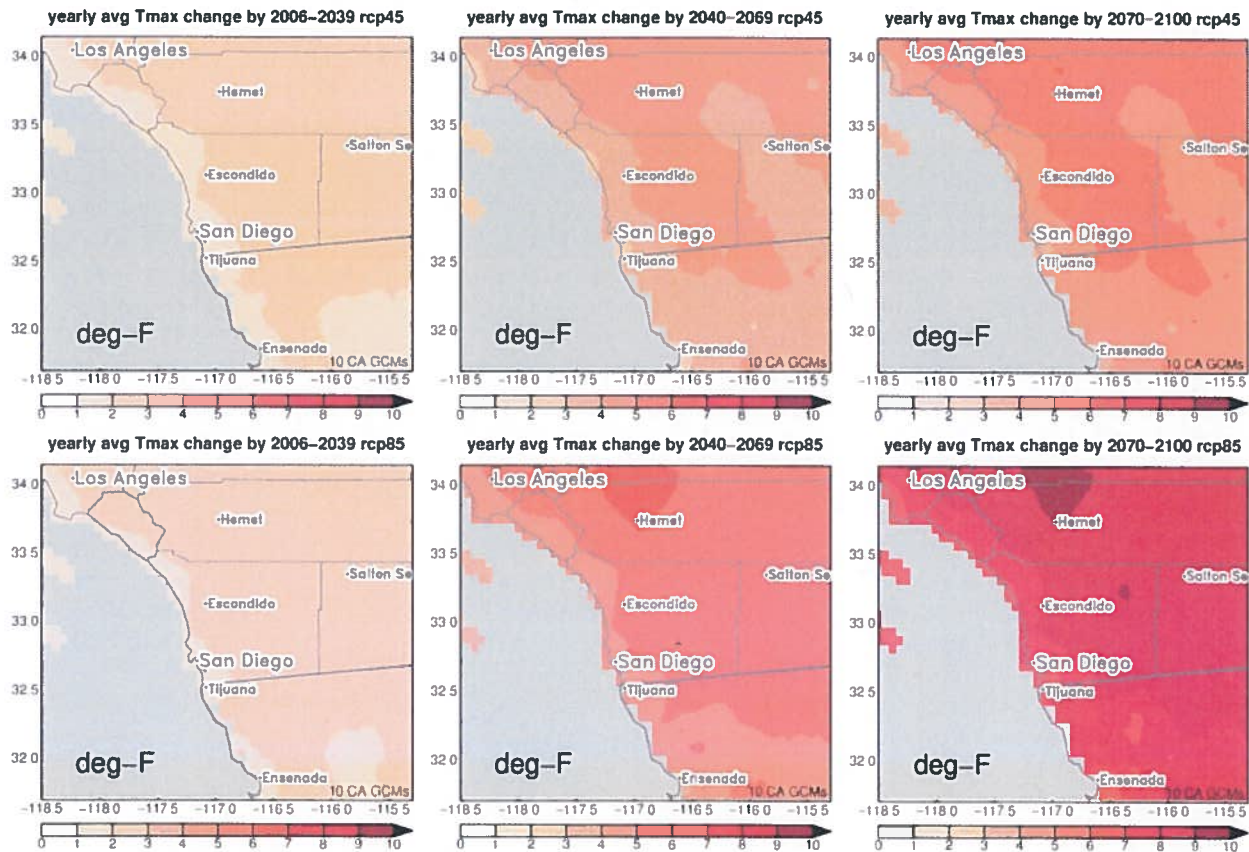


Fig. 1 A map showing the average Tmax increase at early, mid and end of century relative to 1976-2005 climatology for RCP 4.5 (top) and RCP 8.5 (bottom). (Kalansky, et al., 2018)

Increase in lows and highs. In addition to the average temperature, average annual low and high temperatures are also projected to increase, with lows typically associated with nighttime temperatures. Average historical low and high temperatures for Solana Beach over the period of 1961 – 1990 are 53.4 °F and 73.4 °F respectively. Cal-Adapt calculations for the period 2070 – 2099 projects an annual average increase in low temperatures from 53.4 to 58.1 (RCP4.5) and 61.2 (RCP8.5) and an annual average high temperature increase from 73.4 to 77.8 (RCP4.5) and 80.6 (RCP8.5) accordingly.

Geographic temperature variations. Atmospheric temperatures vary from the coast to inland areas usually because of prevailing winds bringing cooler oceanic air masses and marine cloud

layers. As the planet warms, the amount of summer warming in the interior regions of San Diego County is projected to exceed that along the immediate coastal margin by more than 32.9 °F by mid-21st century. At the end of the century (2070-2100), under RCP 8.5, the average hottest day per year is projected to increase from 90-100 °F to 100-110 °F near the coast and from 105-115 °F to 110-125 °F in the deserts (Guirguis, et al., 2018).

Increase in extreme heat events and heat waves. Climate change is also expected to result in an increase in extreme heat events (i.e. days per year when the maximum temperature is above the extreme heat threshold of 92.1 °F.) Historically, Solana Beach has experienced an average of 5 extreme heat days over the years of 1961- 1990. Using LOCA downscaling for Solana Beach, Cal-Adapt projections show average number of extreme heat days increasing to 12 and 31 for RCP 4.5 and RCP 8.5 scenarios respectively, over the period between 2070 and 2099. Similarly, the maximum duration or longest stretch of consecutive extreme heat days is also expected to increase.

Four consecutive extreme heat days is considered to be a heat wave. Although the relationship between background warming and probability of a heat wave occurrence is currently not well understood (Guirguis, et al., 2018) , observations indicate that heat waves in the region have become more humid, with warmer nighttime temperatures (Gershunov, et al., 2009) (Gershunov & Guirguis, 2012). High humidity can exacerbate the impacts of heat on health. Heat Waves, which historically started in late June and ended in mid-October, are also projected to occur both earlier and later in the season.

There are some existing measures in place, regionally, to address the negative impacts of increased temperature. For example, the county has established [regional cool zones](#) (San Diego County Government, 2019) to provide residents a refuge during extreme heat events. The Solana Beach Library is the closest cooling zone. As increasingly humid heat waves drive up nighttime temperatures, it will also be important to identify cool zones that may be open at night. A number of other measures relating to human health and energy resources, for example, are addressed in other sections.

STRATEGIES TO PREPARE FOR INCREASE IN TEMPERATURES AND EXTREME HEAT

Strategy 1: Coordinate response with relevant agencies. Coordinate response with relevant agencies to better plan and prepare emergency services associated with extreme heat events including an influx of visitors to the beach. Efforts should include improving Heat-Health Alert Warning Systems and identifying key vulnerable populations and individuals within the City.

Strategy 2: Reduce urban heating and promote passive cooling. Incorporate green infrastructure strategies into new and existing infrastructure to mitigate the effects of extreme heat events by reducing the area of heat-absorbing paved surfaces and increasing landscaping. Examples include 1) climate-appropriate landscaping like shade trees, 2) green and cool roofs, and 3) heat-reflective surfaces and materials and 4) promoting solar carports on new and existing parking lots which both mitigates heat absorption and increases shaded areas.

Strategy 3: Incentivize energy efficient cooling. Use the California Building Standards Code (CalGreen) voluntary measures for residential and nonresidential buildings to improve energy efficiency (e.g. air sealing improvements, whole house fans, energy efficient air-conditioning units).

Strategy 4: Prepare population for extreme heat events. Educate City residents on the health risks associated with extreme heat events and strategies including advertising local cooling zones. Particular focus should be given to educating vulnerable populations including children, those with pre-existing conditions and the elderly. The City should identify organizations who already connect with these individuals to facilitate outreach and education.

Strategy 5: Protect worker safety. Work with local and regional employers to ensure worker protection measures are in place for extreme heat events. Measures may include assurance of adequate water, shade, rest breaks, and training on heat risks for all employees working in the City.

4.2.2 Variable Water Supplies

While projections generally show little change in total annual precipitation in California or the Southwestern United States, climate change is projected to increase temperatures, evapotranspiration and the variability of precipitation in the region leading to periods of prolonged drought and extreme rain events both of which can have significant negative impacts to the City. A decrease in rain will impact local water supplies, habitat, and an increase in wildfire risk whereas an increase in rainfall could lead to localized flooding.

Fresh water is supplied to the City by the Santa Fe Irrigation District (SFID). Only a small proportion of this water supply (10-20%) comes from local sources which are dependent upon local precipitation and, consequently, is highly variable. The majority of water provided by the SFID comes from the San Diego County Water Authority (SDCWA). SDCWA sources most of its water from outside the county, predominantly from the Colorado River. Colorado River water is either provided via the Metropolitan Water District of Southern California (MWDSC) or via water transfer agreements with the Imperial Irrigation District. Additionally, there is a smaller external supplement to the SDCWA from the Sierra snowpack water through the MWDSC. Consequently, water availability to the City is linked both to local and regional changes in precipitation and weather patterns. All of these natural water supplies are projected to decrease due to a combination of the warmer climate in the region, changes in precipitation patterns, increased evapotranspiration, especially in the Colorado River watershed, changes in river flow timing caused by rainfall instead of snow at higher elevations, especially in the Sierras, and more frequent and severe periods of drought in the region. Future water supplies from the Sierras are also expected to be affected by the CALFED program, which is trying to balance water supplies with environmental goals for the Sacramento-San Joaquin River Delta, as well as the amount, timing, and availability of freshwater associated with the Sierra snowpack. Thus, the City will face increasing challenges providing adequate water supplies and users could face shortages in normal or dry years.

In preparation for a reduced and less predictable water supply, local water authorities are working to find alternative sources and diversify the water supply. In 2015 the Poseidon desalination plant in Carlsbad was opened and is currently producing 50 million gallons of water per day in the San Diego County Water Authority supply, which is about 10% of its total. Local water authorities are also moving towards purifying wastewater for potable reuse. The San Diego County Water Authority aims to increase potable reuse to 17% of the county water supply by 2035. Potable reuse is typically less expensive than desalination and is considered an important drought-proof compliment to a portfolio of water sources.

Some adaptation programs targeting variable water supplies are already in place at the City. Solana Beach and Encinitas operate the San Elijo Water Reclamation Project (SEWRP) through the San Elijo Joint Power Authority (SEJPA). Currently, some of the wastewater stream is processed into grey water that can be used for landscaping, agriculture, gardening, etc. by the surrounding communities in place of potable water. Other programs which may be accessed from the City's website include an online water waste reporting form; a City app with a feature to report water waste; information about the potential to capture and use graywater for irrigation; and requirements that new homes use drought tolerant landscape alternatives.

STRATEGIES TO PREPARE FOR VARIABLE WATER SUPPLIES

Strategy 1: Drought related public education. Educate the public about water conservation programs including graywater systems; methods to report water waste; rainwater catchment systems; and provide resources for the conversion to drought tolerant landscaping including type of vegetation and low flow irrigation systems.

Strategy 2: Increase local recycled water supplies. The SFID purchases recycled water from the SEJPA which is jointly owned by the City and its neighbor Encinitas. The City should advocate for increasing recycled water supplies with specific emphasis on the development of potable reuse.

Strategy 3: Enhance recycled water infrastructure and distribution. Increase recycled water distribution infrastructure throughout the City to maximize the use of recycled water that is produced at the SEJPA facility. As part of its 2019-2020 Workplan, the City will analyze the ability to bring recycled water further into the City for potential commercial properties, park/medians and for all City facilities. It will also encourage private properties to hook up to recycled water where it is available.

Strategy 4: Conduct study of stormwater capture and reuse options and costs. Quantify stormwater capture potential and coordinate with SFID and the SEJPA to determine the desirability and feasibility to incorporate rainwater into the City's water supply. Explore centralized versus distributed stormwater capture possibilities. Evaluate costs/benefits of potential projects.

4.2.3 Increased Risk of Wildfire

Drought conditions and rising temperatures associated with climate change have already increased the likelihood of large wildfires. Wildfires in the San Diego region now occur throughout the year, but primarily during late summer and early fall. An increased incidence of wildfires contributes to property damage, direct injuries and mortality, and indirect health effects from air pollution. One of the main areas of concern is the Urban Wildland Interface. In Solana Beach this is the interface along the northern and eastern edge where the City abuts San Elijo Lagoon, San Dieguito Park, and Rancho Santa Fe.

There are a number of entities within and adjacent to the City that have developed strategies to mitigate increased wildfire risk. The village of Rancho Santa Fe has completed a Forest Health Study and is working with adjacent groups, such as the San Dieguito River Park, as well as its residents to remove dead or dying trees and brush on private property or county land, especially in the river valleys, and replant with more sustainable varieties. The Nature Collective (formerly the San Elijo Lagoon Conservancy), in cooperation with the local Fire Department, works with residents to thin excessive vegetation from areas near homes and maintain defensible space.

The San Diego Gas and Electric utility maintains a real time county wide meteorological and wildfire monitoring system (see [“Everything in Our Power” video](#) on YouTube produced by SDGE) to suppress wildfire potential and improve response time to fire initiation (www.alertwildfire.org). They also actively remove or trim the trees and other vegetation in the vicinity of the transmission lines and facilities that are part of its electrical grid. As a last resort, SDGE can also cut power to communities to avoid wildfires. Finally, the Solana Beach Fire Department has a list of strategies and goals to both reduce GHG and reduce and plan for increased wildfire risk.

In January 2009, the City along with the United States Fish and Wildlife Service (USFWS), California Department of Fish and Wildlife (CDFW), County of San Diego and the San Elijo Lagoon Conservancy prepared the [San Elijo Lagoon Vegetation Management Plan](#) and signed a second more specific MOU for the purpose of establishing a vegetation management program for the lands in and adjacent to the lagoon. This program maximizes the protection of natural resources and minimizes the risk from wildfire in the City at the wildland-urban interface along the San Elijo Lagoon. Fire hazard related policies are consolidated in [Chapter 4](#) of the City’s Land Use Plan (LUP) (City of Solana Beach, 2019).

STRATEGIES TO PREPARE FOR INCREASED RISKS OF WILDFIRE

Strategy 1: Increase fire resistance through landscaping and building materials. Conduct a health survey of trees and vegetation within the city boundaries. Promote the use of fire-resistant building design, materials, and landscaping, including defensible space, and provide associated educational materials to residents and those seeking permits. Explore low or no cost incentives. This should include the identification and removal of dead and dying trees and vegetation especially from the wildland-urban interface and replacement with more drought tolerant and appropriate species wherever possible.

Strategy 2: Continue to update the Multi-jurisdictional Hazard Mitigation Plan (MHMP). Update the [MHMP](#) (San Diego County, 2020) every five years as required and work to implement all strategies in the City’s current MHMP.

Strategy 3: Coordinate with relevant agencies and adjacent communities. Coordinate with agencies including Office of Emergency Services (OES), the California Department of Forestry and Fire Protection (CAL FIRE), the Solana Beach Fire Department, and San Diego Gas and Electric, as well as adjacent communities, such as Escondido, Encinitas, Del Mar, and Rancho Santa Fe on the development of a wildfire action plan, the mapping of areas at a high risk of experiencing wildfire impacts, mitigating risk (fuel reduction strategies) where possible, and protecting vulnerable populations and businesses during scheduled power outages for wildfire threats.

Strategy 4: Increase citizen participation in the Community Emergency Response Team (CERT). Promote and encourage citizens to enroll in the CERT program which educates citizens about disaster preparedness for hazards and trains them in basic disaster response skills.

Strategy 5: Fire prevention awareness. Educate the public on fire prevention and preparedness including 1) mitigation strategies to reduce loss of life, property damage, and impacts to natural resources, 2) evacuations and early warning systems, 3) large animal evacuations, 4) fuel/vegetation management; 5) hardening of structures and 6) ignition source reductions.

4.2.4 Coastal Erosion and Sea Level Rise

One consequence of climate change that will disproportionately impact coastal communities is sea level rise. Sea level rise is primarily caused by the addition of water from the melting of land based ice sheets and glaciers and the expansion of water from warming. While future projections vary, especially because of uncertainties in the rate of ice loss in the major ice sheets of the world, the recent report developed by the California Ocean Protection Council (OPC) projects that by the year 2100, sea levels may rise by approximately 2.4 to 6.9 feet, with the potential for an extreme scenario of 10.2 feet of sea level rise caused by more rapid ice sheet loss in Greenland and Antarctica (Ocean Protection Council, 2018). While the California coast regularly experiences erosion, flooding, and significant storm events, sea level rise will exacerbate these natural forces, leading to significant social, environmental, and economic impacts. The state encourages the use of the more extreme scenarios for local planning of projects with a lifetime greater than 50 years.

Since the City of Solana Beach does not include the estuaries that form the northern and southern boundaries of the City, we focus only on the issues associated with the beaches and bluffs. Solana Beach has 1.7 miles of narrow beach, backed by 75-foot-tall bluffs, of which more than 50 percent are protected by some type of shoreline protection device (e.g., seawall) and nearly all have houses or condominiums built on top. While bluff erosion is a natural process, it has accelerated in Solana Beach over the last several decades due, in part to, the damming of rivers and armoring of bluffs which historically contributed to the natural sand supply. Sea level rise is expected to further accelerate this erosion. One recent USGS study projects that coastal cliffs from Santa Barbara to San Diego may crumble at more than twice the historical rate by the year 2100 as sea levels rise (Limber, et al., 2018).

In recognition of existing and future bluff erosion as a significant concern, the City has taken a number of steps to manage its actively eroding shoreline. For example, it has worked with the California Coastal Commission (CCC) for over a decade to approve its Local Coastal Program (LCP) Land Use Plan (LUP). The City is currently working on the associated Implementation Plan (IP), which is needed before the CCC will certify the LCP. This LUP outlines policies incorporating the best available science to address proposals for improvements to and redevelopment of the existing blufftop homes. These proposals and improvements include long-term shoreline and blufftop development standards that; 1) deter the complete armoring and hardening of the City's bluffs, 2) require alternatives analysis and site reassessment when considering any approval or reauthorization of lower, mid or upper bluff protective work, 3) restrict additions and improvements to non-conforming structures that perpetuate an inappropriate line of development in a hazardous location; and 4) clarify what legitimate repair/maintenance activities can continue on non-conforming blufftop residences (City of Solana Beach Land Use Plan Amendment, 2014).

In addition, the City and Encinitas have been working for almost two decades as the local sponsors of a 50-year U.S. Army Corps of Engineers (USACE) [Coastal Storm Damage Reduction Project](#) (US Army Corps of Engineers, 2020). A full array of structural and non-structural measures including, but not limited to, managed retreat, breakwaters, artificial reefs, and seawalls were evaluated to determine if they met the project objectives and were economically justified given different sea level rise scenarios. The preferred alternatives were then evaluated to determine if implementation would result in environmental impacts. Beach nourishment with sand from offshore borrow sites was determined to be the least environmentally damaging and practical alternative. While the plan and environmental permitting have been completed, the City is now awaiting a decision on funding from the federal government. The City recognizes that while beach

replenishment is a good option for the short-term, in the long-term other options such as managed retreat will need to be more seriously explored. This is especially true as land reclamation, industrialization, population growth and urbanization also continue to fuel explosive growth in the demand for sand, prompting many to question the sustainability of this valuable global resource ([2019 UN Special Report](#)).

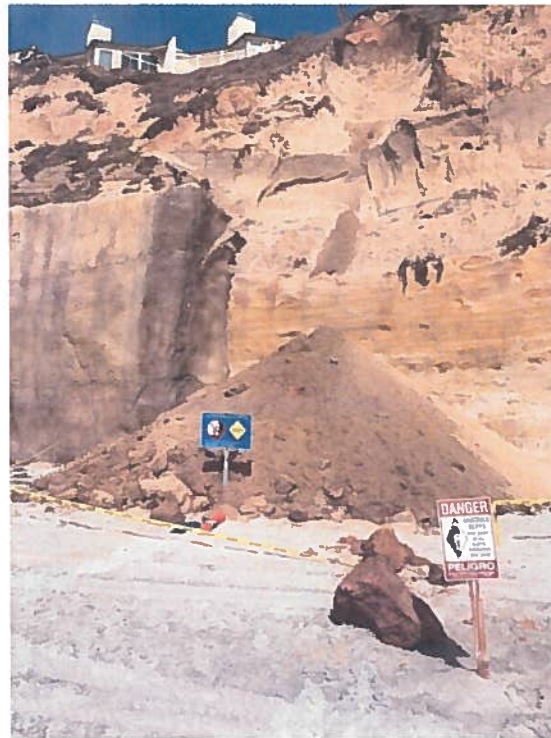


Fig. 2 Bluff Collapse in Solana Beach September 13, 2019

STRATEGIES TO PREPARE FOR COASTAL EROSION AND SEA LEVEL RISE

Strategy 1: Infrastructure protection. Incorporate the best available coastal research into long-term, capital improvement projects, such as improvements to public access stairways and the Marine Safety Building.

Strategy 2: Beach replenishment. Implement and expand upon the short- and long-term sediment management programs identified in the Solana Beach & Encinitas Coastal Storm Damage Reduction Project to preserve shorelines and coastal habitat through beach replenishment and nourishment to address impacts of sea-level rise on shorelines. As a part of this process both continue to pursue federal funding and examine other funding mechanisms for beach replenishment, e.g., special taxes or bonds.

Strategy 3: Stakeholder education & outreach: Extend efforts to both coastal and inland communities to maximize opportunities for all stakeholders to participate in and inform coastal planning processes that affect public recreational resources. Attempt to warn the maximum number of people about coastal bluff safety. Inform the City's residents and businesses about projected sea level rise and the implications of storm surges, etc. For example, use visual

presentations and installations, including signs and displays in the coastal parks and beaches that show expected sea levels and possible surges.

Strategy 4: Regional coordination. Join with other coastal cities in the region to share information and collaborate on adaptation measures and simultaneously monitor coastal erosion and sea level rise science, e.g., OPC 2018 sea level rise projections for La Jolla and risk aversion guidance and adaptation options.

4.2.5 Flooding

Climate change in the region is predicted to modify the frequency, intensity, and duration of extreme storm events. Extreme rain events may be associated with atmospheric rivers of warm, moist, tropical air masses forming narrow streams of warm, concentrated precipitation often resulting in the deposition of considerable rainfall over a short period of time. Under higher emissions scenarios, the intensity and magnitude of atmospheric rivers are expected to become more severe, resulting in increased regional and localized flooding (Dettinger, et al., 2011) (Gershunov, et al., 2019). Currently, the City experiences localized flooding during heavy rainfall in the area around Stevens Creek due to inadequate drainage.

While flooding in urban areas can occur as a result of the natural topography associated with creeks, rivers or coastal areas, “urban flooding” refers specifically to flooding that occurs in urban areas when rainfall, and not an overflowing body of water, overwhelms the local stormwater drainage capacity of a densely populated area. This happens when rainfall runoff is channeled from impervious surfaces such as roads, parking lots, buildings, and rooftops to storm drains and sewers that cannot handle the volume. In many places, swales or bioswales are replacing the traditional concrete curbs and gutters for managing stormwater. Swales are gradually sloping depressions or trenches, often lined with gravel and/or planted with vegetation, that allow rainwater to infiltrate the ground and replenish ground water. Other types of green infrastructure to minimize urban flooding might include multilevel parking lots instead of sprawling single level ones, narrower streets and green islands which also beautify the community and other possibilities. Alternative materials and designs should also be considered for building parking lots, driveways, sidewalks and roads to increase infiltration of rainwater.

Currently, the city is taking a number of steps to reduce urban runoff. Bioswales are required on new residential developments and the amount of impermeable hardscape is limited. In addition, Solana Beach has incorporated green islands in the redevelopment of roadways on Stevens and Coast Highway and proposed them for portions of Lomas Santa Fe Drive.

STRATEGIES TO PREPARE FOR INCREASED FLOODING

Strategy 1: Assess infrastructure risk. Coordinate with relevant agencies such as OES and the Public Works Department to map and identify all critical facilities and infrastructure that may be compromised by increased flood risk including storm and wastewater systems. This should include the Steven’s Creek region. The City should plan accordingly for upgrades to infrastructure and coordinate with the City of Del Mar as needed.

Strategy 2: Mitigate flood risk from extreme rain events. Continue efforts for storm water catchment and water reserve system.

Strategy 3: Incentivize green infrastructure. Explore incentives for private residents, businesses and schools to implement elements such as cisterns, rain barrels, or create rain gardens and swales that would help clean stormwater runoff and direct it to landscaping or capture basins. The City should implement green infrastructure additions as part of City projects.

Strategy 4: Increase permeable/pervious pavement surfaces. When feasible, the City should consider using pervious pavement options for City projects. The City should also incentivize the use of pervious pavement options for residential and commercial projects.

4.2.6 Increased Energy System Demand

Changes in temperatures, precipitation patterns, extreme events, wildfire and sea-level rise have the potential to decrease the efficiency of thermal power plants and substations, decrease the capacity of transmission lines, render hydropower less reliable, and put energy infrastructure at risk of flooding and wildfire. According to a study of SDGE's electricity infrastructure, as part of the 4th Climate Assessment (Bruzgul, et al., 2018), thousands of electric substations, transformers, power lines, and other equipment are potentially exposed to damage under scenarios of sea level rise of 0.5 and 2.0 m (1.6 and 6.6 ft.) for both annual and 100-year storm events. The greatest potential of direct physical impacts to assets are damage to 4 substations in the Mission Bay and San Diego Bay areas.

Furthermore, extreme and prolonged high temperatures also threaten local energy supply due to high demand for electricity. A surge in energy use in the City and the San Diego region has the potential to cause brownouts or blackouts. This effect may be exacerbated by a higher proportion of renewable energy such as solar or wind whose generation is variable. In an effort to mitigate some of these effects, in 2013, the California Public Utilities Commission mandated that all investor-owned utilities switch their customers over to Time-Of-Use (TOU) rate plans. Energy pricing in TOU plans vary according to the time of day, day of the week (weekend v. weekday) and season (e.g. summer v. winter). Higher rates are charged during the peak demand hours and lower rates during off-peak (low) demand hours. TOU rate structures provide price signals to energy users to shift energy use from peak hours to off-peak hours.

On December 13, 2017, The City established a Community Choice Aggregation (CCA) framework to procure its own energy consisting of a higher percentage of renewable energy electricity at lower rates than SDGE. This effort was consistent with the City's Climate Action Plan goals to reduce GHG emissions caused by electrical demand. In the Fall of 2019, the City decided to move beyond a Solana Beach-only CCA to enter into a Joint Powers Agreement (JPA) with other regional cities to create a larger CCA.

Ensuring that Utilities and CCA programs have adequate power to meet peak demand periods has been a primary concern of the California Public Utilities Commission (CPUC) since the energy crisis. The processes and methods to ensure Resource Adequacy (RA) by CCA's are still in the process of being determined and negotiated with the CPUC.

Adaptation measures to prepare for extreme heat events listed above, such as reducing urban heat islands and promoting passive cooling, will also help reduce electrical demand. Additional actions that the City will take to mitigate increased risk to the City's energy supply are listed below.

STRATEGIES TO PREPARE FOR INCREASED ENERGY SYSTEM DEMANDS

Strategy 1: Public education. Educate the public on how to become more energy efficient, reduce demand, and optimize time-of-use. Identify and publicize emergency solutions for vulnerable populations and infrastructure during extended power outages.

Strategy 2: Promote local energy generation and storage. Encourage and incentivize solar-based or other renewable energy sources to supplement the grid and reduce peak demand including the addition of energy storage.

4.2.7 Threats to Public Health and Safety

Climate change has been described as the biggest threat to public health this century (Costello, et al., 2009). In addition to the consequences listed in sections 4.2.1- 4.2.6, we will face new ecological challenges such as increases in vector- and water-borne diseases and food insecurity (Ebi, et al., 2018). Fig 3 (Federal Centers for Disease Control and Prevention) provides a graphic summary of some of these effects.

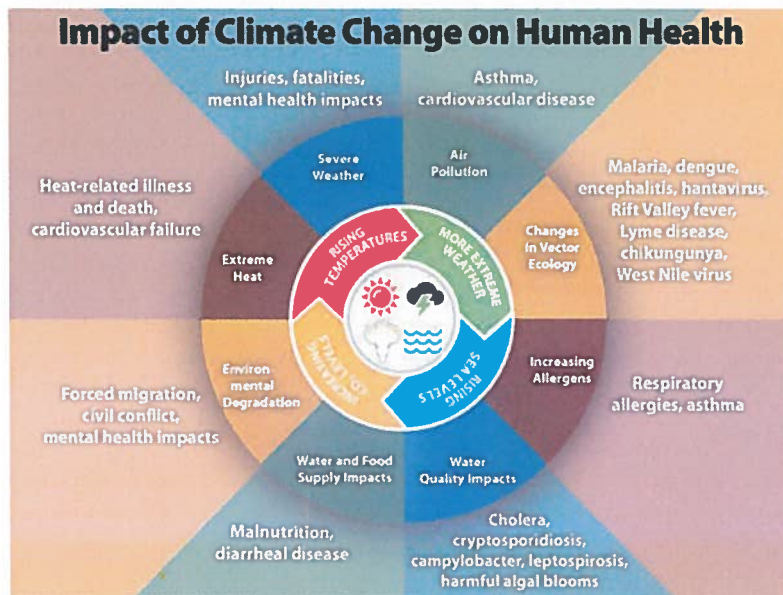


Fig 3 Human Health Impacts of Climate Change

Health impacts. In California, the strongest health impacts from recent heat waves have been found at the coast (Gershunov, et al., 2011) (Guirguis & Gershunov, 2014) (Knowlton, et al., 2009). These warming trends will pose challenges for Solana Beach where physiological acclimatization and air conditioning penetration are lower than the state average (Gershunov & Guirguis, 2012). The need for more air conditioning can stress supplies of electricity.

Prolonged or intense exposure to high temperatures can impact human health in a number of ways. Heat related illnesses include heat exhaustion, heat cramps, and heat strokes. Environmental impacts include a reduction in air quality due to increasing ozone levels and particulate matter concentrations, which can cause asthma and shortness of breath. Sensitive populations include the young, elderly and those with pre-existing health conditions. Outdoor

workers, such as construction and maintenance workers, are also more susceptible due to extended periods of exposure. The 2006 California heat wave resulted in 147 reported deaths, over 1200 hospitalizations, and over 16,000 emergency room visits (Knowlton, et al., 2009). In addition to effects on overall health, excessive heat has been shown to cause an increase in violent crime and mental illness. Studies have found that those living in microclimates that are hotter and less vegetated have higher risk of morbidity or mortality (Schinasi & De Roos, 2018).

Increased risks from wildfires pose both direct and indirect risks to public health. Smoke produced from wildfires can denigrate the air quality throughout the county and is associated with respiratory and cardiovascular disease. The health impacts of the 2015 California wildfires were greatest among adults ≥ 65 years, indicating that the health effects of climate change impact different population groups differently (Wettstein, et al., 2018).

Climatic change can alter the range, biogeography, and growth of insects, microbes and vector-borne diseases. Changes in aquatic environments may result in increases in harmful algal blooms which in turn lead to increases in foodborne and waterborne illnesses. For California, increased average temperatures can shift infectious diseases typically found in lower latitudes toward the north. Solana Beach is bounded by two estuaries, San Elijo Lagoon to the north and San Dieguito Lagoon to the south. These bodies of water can provide breeding grounds for mosquitos such as *Aedes aegypti* and *Aedes albopictus* (Figure 4).

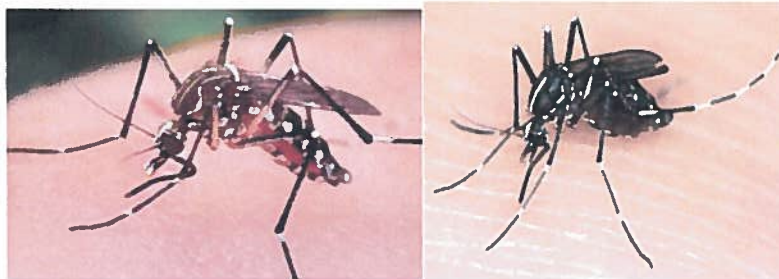


Fig. 4 *Aedes aegypti* and *Aedes albopictus*.

Both these species have the potential to transmit infectious diseases such as chikungunya, dengue, yellow fever and the Zika virus and both have been undergoing [massive expansion](#) as a result of climate change, human migration, and accelerating urbanization (Messina, et al., 2019).

Temperatures and pooling water are two critical factors in a mosquito's life cycle and, subsequently, their potential to spread disease. Warmer temperatures accelerate the life cycle of both the mosquito and the viruses they carry. Increased flooding leaves behind pools of water that provide abundant habitat for mosquitos to breed. Rising seawater levels and high tides can also create brackish water habitat in coastal areas in which certain adapted mosquitos can breed. While, the relationships are complex, the consensus is that mosquito-borne diseases will increase with climate change (Campbell-Lendrum, et al. 2015). Researchers (Kraemer, et al., 2019) concluded that by 2050, *Aedes aegypti* and *Aedes albopictus* will significantly expand their range, posing a threat to 49 percent of the world's population (Yale School of Forestry & Environmental Studies, 2019).

In addition to mosquitos, climate change may also cause a range expansion for ticks. Although Lyme disease carried by ticks is rare in San Diego County – found mostly in coastal and rural areas - the CDC has now determined it to be the most commonly reported vector-borne disease

in the United States since it was first identified in Connecticut in 1975. As of April 2019, the County has also found several ticks carrying Tularemia, a bacterial disease which can cause serious illness and even death in humans if not treated with antibiotics.

There are a number of programs already in place to deal with mosquito borne diseases. San Diego County maintains an active Vector Control Program (San Diego County Government, 2020) to mitigate the impacts of vector-borne diseases including spreading larvicide to limit mosquito numbers in critical areas such as San Elijo Lagoon. The County's Department of Environmental Health also includes an in-house diagnostic laboratory that can provide highly sensitive and rapid disease test results so that informed, data-driven control measures can be quickly established.

Mental Health. While most research and communications on the impacts of climate change have emphasized physical health effects, mental health effects are also far-reaching and complex (Clayton, et al., 2017). These range from minimal stress and distress symptoms to clinical disorders, such as anxiety, depression, post-traumatic stress disorders, substance abuse and suicidal thoughts.

The loss of property, homes and lives that occur during natural disasters elicit an increased sense of helplessness, hopelessness or fatalism. This can be accompanied by a feeling of loss regarding one's personal or occupational identity when treasured objects or personally important places are destroyed or disrupted by climate change. Research on adults seeking emergency disaster assistance after a wildland-urban interface fire, have found that a large percentage showed signs of PTSD and depression (Marshall, et al., 2007) (Eisenman, et al., 2015). Long-term drought and/or sea-level rise, unlike sudden extreme weather events, has a slow onset and long duration, interacting over time with multiple environmental and social stressors to disrupt lives and individual function. Prolonged drought can have visible and long-term impacts on landscapes and individual and community resilience, causing anxiety, depression and other mental illnesses.

As with physical health, the mental health impacts of climate change affect some communities or individuals more than others. For example, stress from climate impacts can cause children to experience changes in behavior, development, memory, executive function, decision-making, and scholastic achievement. Some patients with mental illness are especially susceptible to heat. Suicide rates vary with weather, rising with high temperatures (Burke, et al., 2018). Dementia is a risk factor for hospitalization and death during heat waves. Patients with severe mental illness, such as schizophrenia, are at risk during hot weather because their medications may interfere with temperature regulation or even directly cause hyperthermia. Individuals who use alcohol to cope with stress and those with preexisting alcohol use disorders are most vulnerable to increased alcohol use following extreme weather events.

Personal relationships and the ways in which people interact in communities and with each other are affected by a changing climate. Studies have linked extreme heat and increasing violence, aggressive motives, and/or aggressive behavior (Plante, et al., 2017) (Hsiang, et al., 2013). Increases from pre-disaster rates have been observed in interpersonal and domestic violence, including intimate partner violence, particularly toward women, in the wake of climate- or weather-related disasters. Signs of intergroup aggression and hostility have also emerged as climate refugees search for alternative homes.

According to a recent study, psychological responses to climate change, such as conflict avoidance, fatalism, fear, helplessness, and resignation are growing. Our ability to adapt and be

resilient is important since these responses may hinder the very efforts to properly address the core causes of and solutions for our changing climate (Clayton, et al., 2017)

Existing measures and new strategies to address health related concerns associated with increases in temperature and extreme heat events are addressed in section 4.2.1. Additional options to mitigate increased risk of vector borne diseases are listed below.

STRATEGIES TO PREPARE FOR THREATS TO PUBLIC HEALTH AND SAFETY

Strategy 1: Education for preventative measures. Educate businesses and residents about actions they can take to reduce mosquito habitat and disease transmission (e.g. elimination of stagnant water around residences).

Strategy 2: Education for protective measures. Urge people to remember to protect themselves and their pets when hiking by wearing insect repellent, proper clothing and by using insect control products on their pets that kill fleas and ticks.

Strategy 3: Encourage citizen participation. Mobilize residents to report mosquito breeding sites, increases in mosquito population, and sentinel dead bird species to the VCP.

Strategy 4: Coordinate efforts with other agencies. Work closely with local and state health agencies (e.g. VCP, San Diego County Dept. of Environmental Health, universities, and research centers) to mitigate vector-borne diseases.

Strategy 5: Support mental health well-being of individuals and the community. The City will assess and provide the community with information about available mental health resources and communicate about climate-mental health issues in order to build mental health resilience. In addition, the City will endeavor to maintain practices that foster optimism and provide a sense of meaning by providing connectedness to place, culture and community.

4.2.8 Coastal Habitat

San Diego County is rich in biodiversity and is one of the most biodiverse counties in North America. While Solana Beach is bounded by two estuaries, the City itself is almost entirely built out, with only a few pockets of native and/or naturalized vegetation remaining. A detailed description of ecosystems and species within the City including maps identifying their locations is included in Chapter 3 of the City's Local Coastal Program – Land Use Plan (LCP-LUP). Much of the information that follows regarding existing conditions comes from that report.

Developed lands in the City account for approximately 1,981 acres, or 90 percent of the City. These lands include paved roadways, parking lots, residences, commercial buildings, plant nurseries, schools, landscaped slopes, maintained yards, golf courses, mowed/maintained parks, and the railroad.

The largest areas of native vegetation communities occur in the northern portion of the City, in and adjacent to the San Elijo Lagoon Ecological Reserve, as well as on canyon slopes within the golf course and adjacent to San Andres Drive. San Elijo Lagoon is approximately 1,000 acres and is vitally important for birds as a stop on the Pacific Flyway, as nesting and foraging areas for endangered species, and as a fish hatchery. The San Dieguito coastal area is also a significant scenic resource for residents and visitors in Solana Beach, Del Mar, and San Diego County.

A 3-acre property at the gateway of Solana Beach and Cardiff-by-the-Sea was purchased by a conservation group in conjunction with the Nature Collective (formerly San Elijo Lagoon Conservancy). Named after a major donor, the Harbaugh Seaside Trails property improvements include the removal of invasive plant species for native plantings that will attract pollinators and link the habitat to San Elijo Lagoon Ecological Reserve.

Environmentally Sensitive Habitat Areas (ESHA) designations were established in the LCP-LUP including lands in the San Elijo Lagoon Ecological Reserve and contiguous areas supporting either functionally intact native vegetation communities or presence of rare species, as well as relatively large areas of southern maritime chaparral and coastal sage scrub communities near and along San Andres Drive.

Increasing temperature and precipitation extremes due to climate change will negatively impact native ecosystems and vegetation by affecting breeding patterns, moisture availability and other factors important to species generation, maintenance and migration. Development and expanding human land use can exacerbate climate change impacts by destroying remaining habitat and limiting species migration to and availability of future climate refuge. Detailed climate effects on various coastal Southern California Habitats are outlined in [vulnerability assessments and adaptation strategies](#) (EcoAdapt, 2020) completed by the California Landscape Conversation Partnership (CA LCP) as overseen by a non-profit group called EcoAdapt.

While not included in the ESHA, both the beaches and developed spaces within the City can provide important wildlife habitat. For example, beach wrack is an important part of the marine ecosystem. Beach wrack refers to the piles of seaweed and plant and animal remains that are washed ashore by waves. While this may be unsightly for some visitors, research has found that it is an important nutrient source and provides micro-habitat for a variety of organisms. Regular grooming of sandy beaches and either excavation or deposition of sand can destroy the wrack and degrade the nearshore habitat. These types of activities can also have negative impacts to grunion that deposit their eggs in the sand during high tides.

In addition, while open space in the City is limited, habitat can be created in residential and commercial landscaping in what is not traditionally considered wildlands. There are a number of organizations that promote bird and insect friendly vegetation for landscaping including [Xerces](#) (xerces.org) and [The National Wildlife Federation](#) (nwf.org). Plant selection, particularly trees, has the added advantage of increasing shade and reducing localized temperatures and can also reduce fire risk.

STRATEGIES TO PREPARE FOR THREATS TO COASTAL HABITAT

Strategy 1: Landscaping. Encourage the use of native landscaping. Educate the public on the LUP requirements to protect native trees including oak, manzanita, sycamore, cottonwood, willow and toyon trees.

Strategy 2: Protect and restore native habitat and ecosystem functioning. Increase public knowledge, engagement and cooperation to support climate-informed restoration. Support and explore the possibilities of activities such as restoring habitat along roadways, managing invasive and/or problematic species, and restoring native plant communities. Restore the open portions of the Stevens Creek drainage.

Strategy 3: Enable wildlife movement. Improve wildlife connectivity passages and riparian corridors and plant native plant species to attract local pollinators including bees and butterfly species.

4.2.9. CLIMATE JUSTICE

Climate Justice embraces “the concept that no group of people should disproportionately bear the burden of climate impacts or the costs of mitigation and adaptation” (Cooley, et al., 2012) (Roos, 2018). It is a term that accentuates the ethical and political issues of climate change in addition to environmental concerns. This is especially true since people who are the most vulnerable to the effects of climate change and have the fewest resources to adapt are also the least responsible for the world’s increases in greenhouse gas emissions. At its core, climate justice is fundamentally an issue of human rights and environmental justice that connects the local to the global. Increasingly, climate justice has evolved into a global civil rights movement, demanding action rather than mere discourse. This is evident from the millions of participants that turned out for youth-lead climate strikes around the globe.

Factors that contribute to the differential vulnerability of various populations to climate change include:

- Lack of access to financial resources & good health care
- Age – children and the elderly are more sensitive
- Race/Ethnicity
- Disparities in education and limited English proficiency
- Existing high rates of health issues such as chronic diseases and mental health conditions
- Disproportionate impacts from other pollutants (e.g. freeway derived particulate matter)
- Lack of access to air conditioning and transportation
- Lack of social capital: political involvement, civic representation, and isolation
- Citizenship and immigration status.

Strategies that address climate justice with respect to extreme temperature are included in section 4.2.1. Additional strategies are listed below.

CLIMATE JUSTICE STRATEGIES

Strategy 1: Identify at-risk populations. Determine which individuals or populations in Solana Beach would be sensitive to, and, therefore, vulnerable to extreme weather conditions resulting from climate change. Coordinate with groups currently engaging these populations.

Strategy 2: Target efforts towards at-risk populations. Ensure that vulnerable individuals have the means to respond in threatening climate-driven situations such as being able to evacuate in case of flooding or fires; and/or have the means to protect their respiratory health if a nearby wildfire degrades air quality.

Strategy 3: Perform more education and outreach. Emphasize the benefits and harm of local actions to vulnerable communities worldwide.

APPENDIX 1

California Climate Change Assessment v 4 Highlights for San Diego Region

San Diego County will be increasingly affected by climate change and has begun to prepare on multiple fronts for the panoply of climate related impacts to San Diego's residents, development, infrastructure, and ecosystems. In future decades, San Diego County and adjacent regions will be confronted with, among others, increasingly warmer average temperatures, more frequent and likely more intense heat waves, more intense droughts, occasionally increased heavy rainfall events and floods, continuing Santa Ana winds and wildfire threats. The impacts will play out in different ways across the complex terrain and differing climates within San Diego County. Communities along San Diego County's 70 miles of coastline are planning for substantial sea level rise, which will affect beaches, sea cliffs, real estate, infrastructure and other amenities. The region has many unique characteristics, such as narrow beaches backed by sea cliffs, large percentage of conserved lands, highly populated urban and sub-urban development, small farm dominated agriculture, and large solar power production; these characteristics, amongst others, all determine vulnerabilities to climate changes and related adaptation measures. Below are some highlights of climate impacts, adaptations and gaps.

- Temperature is projected to increase substantially, by 5°F to 10°F by the end of the 21st century. Along with average temperature, heat wave frequency will increase, with more intensity and longer duration. Marine layer clouds can help to mitigate the impacts of temperature change in the coastal regions, though these clouds are not well represented in climate models requiring further research.
- Precipitation will remain highly variable but will change in character, with wetter winters, drier springs, and more frequent and severe droughts punctuated by more intense individual precipitation events. Effects of an altered precipitation regime on ecosystems, water demand and supply, water quality and flooding emergencies are incompletely known and will benefit from cross-disciplinary investigation.
- Broadly, wildfire risk will likely increase in the future as climate warms. The risk for large catastrophic wildfires driven by Santa Ana wind events will also likely increase as a result of drier autumns leading to low antecedent precipitation before the height of the Santa Ana wind season (December and January).
- Sea level along the San Diego County coast is expected to rise approximately 1 ft by mid-21st century, and 3 ft or potentially much higher by 2100. For the next several decades, high tides combined with elevated shoreline water levels produced by both locally and distantly generated wind-driven waves will drive extreme events. Longer-term sea level will increase rapidly in the second half of the century and will be punctuated by short periods of storm-driven extreme sea levels that will imperil existing infrastructure, structures, and ecosystems with increasing frequency. San Diego is testing adaptation approaches, but sustained and improved observations in combination with physics based modeling are needed to evaluate these adaptations measures and guide future planning.

- Development in the San Diego County region is concentrated in the western third of the county with approximately 60% of the land remaining undeveloped. Climate change, along with development and fragmentation, will act as significant stressors to San Diego's natural lands, which are some of the most biodiverse in the United States. San Diego Association of Governments' (SANDAG's) regional planning emphasis on smart growth to concentrate urban development near city and transit centers supports conservation while also mitigating greenhouse gas emissions.
- The San Diego County Water Authority, the region's water wholesaler, continues to diversify its supply by developing and negotiating local and nearby imported sources, developing more recycled water and encouraging greater water conservation. There are several coordinated efforts in the region to build resilience to climate and holistic water management adaptations are becoming more prevalent throughout communities. Continued science and regional coordination to evaluate climate change impacts on future water supply, demand and quality are needed in order to inform adaptation to future climate changes.
- San Diego's energy supply is rapidly changing with renewable energy sources, mostly photovoltaic arrays, increasing by more than 30% since 2010, which introduces novel sensitivities to weather variation and evolving vulnerability to climate changes. San Diego Gas and Electric has installed a high density weather station network that provides a more detailed, real time awareness of weather conditions that could damage the energy system and/or produce unusual supply or demand.
- Recent work in San Diego showed that heat-related health impacts are observed at lower temperatures in the coastal region than in the inland and desert regions. This is in part due to coastal residents being less acclimated to heat and less likely to have air conditioning.
- Climate changes felt by San Diego County will also occur in northern Baja, Mexico. Binational coordination of climate adaptation measures present potential for significant benefit to communities on both sides of the border. However, to be effective the approaches must navigate the complexity posed by different governance and community structures.

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Climate Action Plan Update, 2019

The City of Solana Beach is committed to active implementation of its Climate Action Plan (CAP) adopted on July 12, 2017. The CAP states that every two years starting in 2019, City staff will prepare a report for City Council that reviews the status and progress of measures identified in the CAP. In the past two and a half years, City Council, City staff, the Climate Action Commission, and Solana Beach residents have taken significant actions to reduce greenhouse gas (GHG) emissions with promising results. In addition, City Council has included additional CAP measures into its 2019-2020 Council Work Plan to ensure the City stays on track to meet California's ambitious GHG reduction goals.

Summary

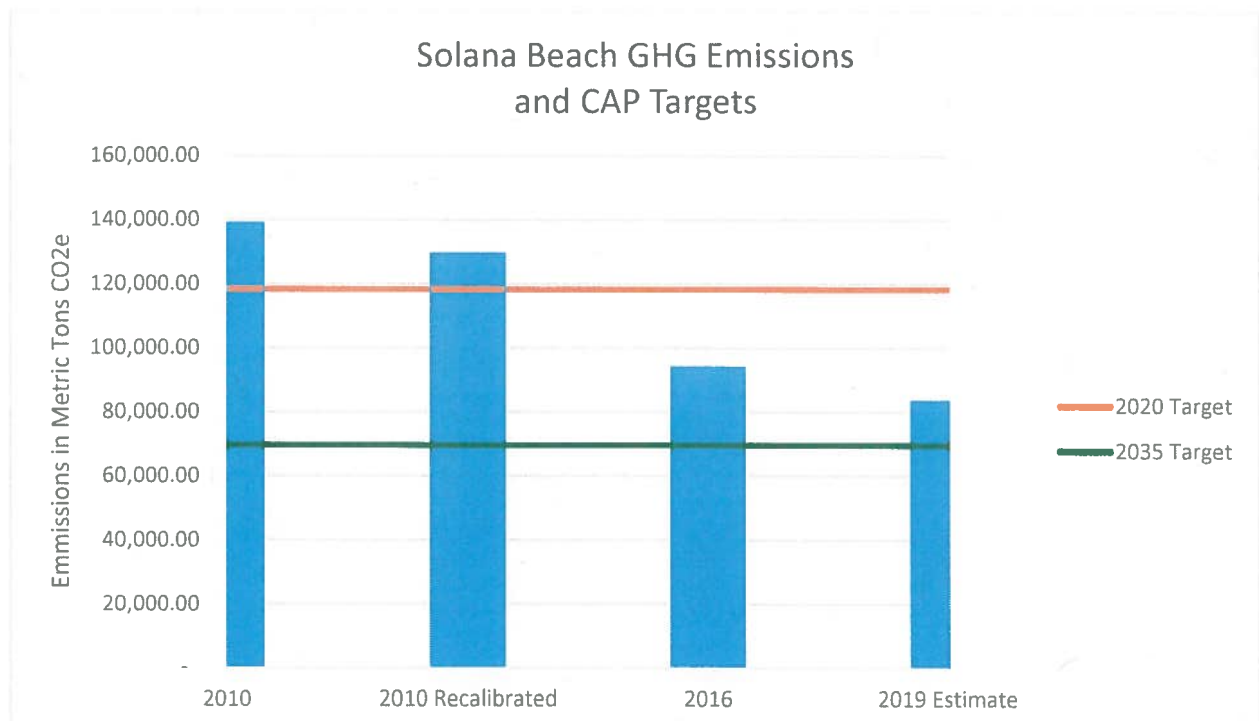
The United Nations issued a 2018 National Climate Assessment, which concluded that global GHG emissions have risen steadily for the past decade, however, local activity in Solana Beach runs counter to this global trend. According to the latest GHG Inventory completed by SANDAG in conjunction with the Energy Policy Initiatives Center (EPIC), which is a nonprofit academic and research center of the USD School of Law, **emissions in the City have dropped below the 2020 target set in the CAP and are trending toward the 2035 goal.**

EPIC completed the inventory based on data available during the 2016 calendar year, so it is important to note that the reductions just mentioned occurred before the City adopted its CAP in 2017 and before the City established Solana Energy Alliance (SEA).

SEA was the first Community Choice Aggregation (CCA) program in the San Diego region. Since its establishment in 2018, SEA has provided the Solana Beach community with additional green energy options that contribute further to GHG reductions and those estimated benefits are included in the 2019 emissions figure below.

Based on the 2010 inventory, in line with the ambitious State GHG reduction goals, the City's CAP set the following emissions reductions targets represented as horizontal lines on the graph below:

- Reaching 15 percent below 2010 levels by 2020 or a reduction of 20,882 MT CO₂e
- Reaching 50 percent below 2010 levels by 2035 or a reduction of 69,608 MT CO₂e



The inventory results look especially promising. However, some further analysis is required since the methods used to develop the 2010 inventory have been updated and modified for the 2016 inventory, such that a direct comparison between these years is not advisable unless the 2010 data is recalibrated using 2016 methodology (recalibrated data is represented in the first column of numbers in the chart below). Although direct comparisons between years may not be precise, it is still possible to observe general trends in the data.

The latest GHG inventory shows a downward trend in GHG emissions and related activities when compared to the inventory completed in 2010. Overall, from 2010-2016:

- ⇓ Emissions due to **transportation** decreased;
- ⇓ Consumption of **electricity** decreased and the percentage of renewable content increased;
- ⇓ The consumption of **natural gas** decreased; and
- ⇓ **Wastewater** produced decreased.

Water consumption and the production of solid waste were the two areas that fared a little worse in 2016 with slight increases.

Emissions Category	Recalibrated 2010 (metric tons CO ₂ e)	2016 (metric tons CO ₂ e)	Reductions	Percentage Change
On-Road Transportation	82,193	56,600	25,593	-31%
Electricity	27,182	20,000	7,182	-26%
Natural Gas	15,504	13,100	2,404	-16%
Solid Waste	3,095	3,200	(105)	3%
Water	831	900	(69)	8%
Wastewater	693	600	93	-13%
Total Emissions	129,498	94,400	35,098	Total Reductions

Measure Progress Highlights. Since the 2016 inventory was completed, the City has implemented several measures identified in the CAP that should result in further GHG reductions when the 2018 GHG inventory is completed by SANDAG and EPIC.

An ongoing highlight is the City’s pioneering role with CCA’s in the San Diego region. Following Solana Beach’s lead, other San Diego cities have organized to establish two new regional CCA’s. Solana Beach has been part of this effort and has become part of a North County-based Joint Powers Authority (JPA) CCA known as the Clean Energy Alliance (CEA) comprised of the cities of Solana Beach, Carlsbad and Del Mar.

The City also approved an ambitious single-use plastics ordinance in furtherance of the CAP’s zero-waste measures. The bulk of the ordinance will go into effect on November 1, 2020 and eliminates the sale and distribution of many single-use plastic items like

utensils, straws, and toothpicks; and it eliminates the sale and distribution of plastic bottles on City property. Moreover, restaurants will no longer be able to include food service ware accessories automatically with food orders unless requested by a customer. This should eliminate superfluous condiment packets, utensils, and napkins, among other items, from entering the waste stream and help decrease the amount of solid waste generated.

Planned Actions. The Council has prioritized the following CAP measures into its FY2019-2020 Work Plan:

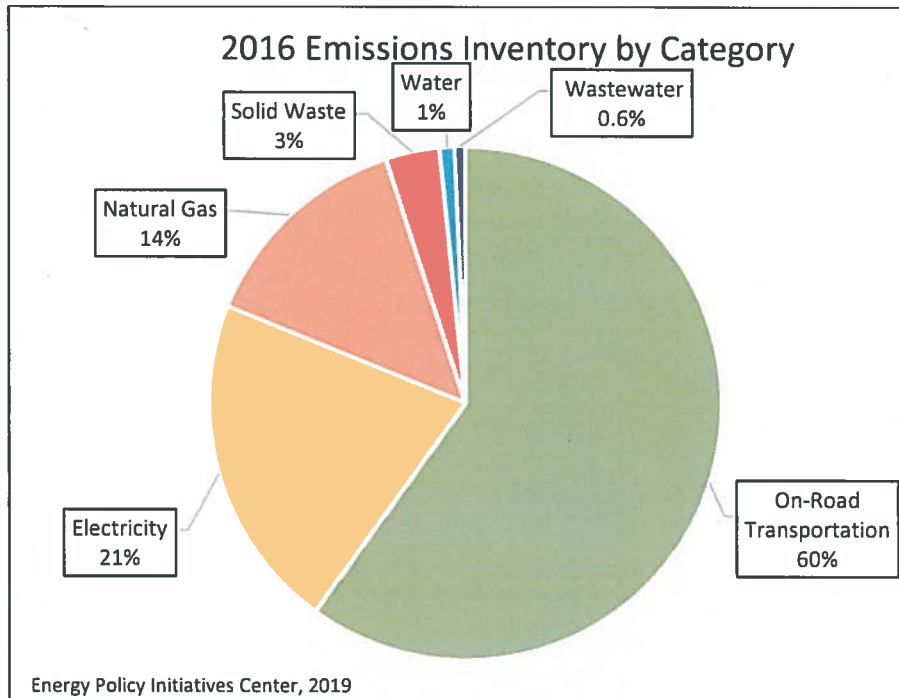
1. Explore implementation of clean energy building code updates/regulations;
2. Increase recycled water infrastructure;
3. Increase and facilitate the use of electric vehicles (EVs) by improving EV infrastructure and exploring incentives;
4. Implement urban tree policies to promote the use of trees to achieve sustainability goals including carbon sequestration; and
5. Implement and monitor the City's new single-use plastics ordinance that will go into effect November 1, 2020.

Revised Adaptation Plan and Climate Justice. In addition to progress on our CAP measures, another noteworthy CAP accomplishment is that the City is amending Chapter 4 of its Climate Action Plan to address vulnerabilities caused by climate change as well as to address climate justice, which the original plan did not address specifically. This revised chapter will serve as the City's Adaptation Plan and includes strategies to address:

- Extreme heat;
- Variable water supplies;
- Increased wildfire risk;
- Coastal erosion and sea level rise;
- Flooding,
- Increased energy system demands;
- Threats to public health and safety;
- Coastal habitat; and
- Climate justice.

This revised Adaptation Plan lists strategies that Council may prioritize and implement in future years.

Challenges Ahead. While the City has made significant gains to reduce GHG emissions, it will be a challenge to accomplish further reductions to achieve the 2035 emissions targets. This is, in large part, because the greatest source of emissions in Solana Beach comes from the transportation sector, which is consistent with California as a whole.



Local jurisdictions have limited authority to regulate the transportation sector directly, so instead of regulations, local governments can focus on actions to incentivize alternative modes of transportation. Residents might feel more impetus to change their method of transportation if the City creates streets and sidewalks that encourage safe biking and walking or if the City ensures a widely available EV charging network and provides favorable parking to encourage the use of electric vehicles. In addition, the City can help educate residents about rideshare and vanpool opportunities. Even if the City builds more bike and pedestrian options or encourages vanpooling, it is not a guarantee that residents will shift to these alternative modes of transportation.

The City is pursuing these sorts of measures nonetheless. However, the best transportation improvements will come from a collaborative regional approach and the City looks forward to collaborating with the rest of the region to facilitate alternative modes of transportation.

A note on Equity and Green Jobs. After adopting SEA, EPIC provided an informal estimate that the CCA would result in an additional reduction of 10,260 MT CO_{2e}. This equates to about 22 percent of the City’s total reduction goals for the electricity sector. This significant shift toward clean energy contributes toward the growth and stability of green sector jobs. It also shifts energy production away from more polluting forms of energy production that disproportionately impact lower-income communities. In addition, the CAP’s revised Chapter 4 includes strategies to address equity issues moving forward.

What Residents Can Do

Transportation:

- *Reduce trips you make alone in your vehicle.*
- *Use public transportation, bike, or walk to your destination.*
- *Carpool or vanpool to work.*
- *Purchase an electric or other clean-burning fuel vehicle.*

Electricity and Natural Gas

- *Conduct an energy audit of your home and perform energy efficiency upgrades.*
- *Install a photovoltaic system to power your home.*
- *Electrify your home by eliminating the use of natural gas.*
- *Install a solar hot water heating system at home.*

Waste and Water

- *Conserve water and install water efficiency upgrades.*
- *Install rainwater capture devices like cisterns on your property.*
- *Actively recycle, compost, and reduce waste overall by choosing reusable products whenever possible.*

Carbon Sequestration

- *Plant trees—preferably ones that are drought tolerant, native, fire safe, and/or offer habitat for native species.*
- *Maintain and care for trees already existing on your property.*

Progress Reported by Measure

The City of Solana Beach CAP is organized in the following manner:

- CAP Implementation is first organized by four **strategies**: 1) Transportation, 2) Renewable Energy and Buildings, 3) Waste and Water, and 4) Carbon Sequestration (Urban Tree Planting);
- Each strategy contains GHG-reducing **measures**. There are 25 measures identified in our CAP.

There are two ways a City can measure its progress toward climate action goals:

1. **Emissions** - by estimating actual GHG emissions impacts; or
2. **Activities** - by monitoring the City's progress on measures or activities expected to reduce GHG emissions.

This section will focus on progress on the 25 measures identified in the four different strategy areas and whether or not any actions have been taken toward implementing those measures. All measures are initiated in the City Manager's office at Council's direction and in coordination with other Departments.

COLOR	DESCRIPTION
	No Significant Progress Made
	Significant Progress Made

Strategy 1: Transportation

Our Transportation strategy contains 11 different measures. If they were all implemented our CAP estimates total GHG reductions of 19,632 MTCOC2e/year.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-1: Increase the Vehicle Miles Traveled by Electric Vehicles and Alternative Fuel Vehicles to 30 percent.	17,495
Performance Measures:	
<ul style="list-style-type: none"> • Number of public EV chargers = 29 • Number of zero emissions vehicles as a percentage of total vehicles = 2.5 % 	
T-1.1: Support public and private sector provisions of alternative fueling stations in the City and adjacent cities.	*Adopted Ordinance 480 to provide an expedited, streamlined EV charging station permitting process.
T-1.2 Require EV charging stations and EV charger-ready wiring in commercial/multi-family and residential structures.	*Adopted 2019 California Green Building Standards Code which requires EV charging for new construction *Reviewing further reach codes for potential implementation

T-1.3 Collaborate with SANDAG to increase EVs in the region.	* Continued on-going collaboration with SANDAG and other North Coastal Cities through the North County Energy Advisory Coalition (NCEAC) to identify opportunities to promote EV charging infrastructure in the region.
T-1.4 Provide incentives for the City's residents to increase use of EVs.	* Ordinance 480 effective October 2017 * Continued employee Commuter Incentive Program that rewards employees who carpool or take alternative modes of transportation to work, including driving zero emission vehicles as defined by CARB's Clean Vehicle Rebate Project *Collaborated with SDG&E to promote the Power Your Drive to local multi-family properties in the City * Encourage and oftentimes require commercial and mixed-use development projects to install/convert regular parking spaces to EV spaces during project approval stage *Considering adopting voluntary building code standard to require increased EV parking spaces over the numbers required by the State
T-1.5 Explore grant funding for EV chargers	* Collaborated with SDG&E to promote the Power Your Drive to local multi-family properties in the City *Monitoring grant opportunities through the California Electric Vehicle Infrastructure Project (CALeVIP).
T-1.6 Advocate for an EV car sharing fleet network to serve the City.	*Passed a Shared Mobility Ordinance (Ordinance 495) to set the groundwork for a shared mobility pilot program *Bike share vendor may include EV car fleet option
T-1.7 Explore barriers for EV charging for garage-free homes; install charging infrastructure integrated into streetlights; support use of electric bikes.	*City is working with other North Coastal Cities to develop and launch a bike share program. A vendor was chosen and launch was anticipated in the summer of 2019, however issues with bike supply due to China tariff issues has delayed launch. New expected launch date of Summer 2020

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-2: Increase commuting by vanpools to 20% of labor force	608
Performance Measures:	
<ul style="list-style-type: none"> Number of SANDAG vanpools to or from City = 0 	

T-2.1: Collaborate with SANDAG to identify the longest commute distances and associated employers to add vanpooling.	No action.
T-2.2 Collaborate with SANDAG on successfully implementing its North Coast TDM Plan (SANDAG 2013) and connect the City's employers and residents to travel-planning resources.	No action.
T-2.3 Review KPIs in SANDAG's TDM Implementation Plan (SANDAG 2012) at least once annually.	Unavailable.
T-2.4 Explore modifying the Solana Beach Municipal Code parking standard requirements to incentivize provision of parking stalls for carpool or vanpool vehicles as a credit toward parking requirements.	No action.
T-2.5 Advocate for Interstate 5 high-occupancy vehicle lanes at least to and from City on-ramps and off-ramps.	*Advocated. HOV lanes constructed in the center lanes of I-5.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-3: Reduce average commuter trip distance by 1 mile	464
Performance Measures:	
<ul style="list-style-type: none"> No performance indicator identified 	
T-3.1: Improve land use and transportation planning to provide a well-connected transportation network. Higher-density and mixed-use neighborhoods with complete street design provide infrastructure for vehicles, bicycles, and pedestrians, allowing a shift from single-occupancy vehicles.	*Higher-density, mixed use projects under review by the City. *Staff currently managing Lomas Santa Fe (LSF) Improvement project that would make LSF more pedestrian and bicycle friendly. LSF is the largest East-West connector in the City
T-3.2 Concentrate commercial, mixed-use, and medium to high density residential development along transit corridors and near activity centers that can be served efficiently by public transit and alternative transportation modes (Policy LU-3.1).	*Projects in progress near transit including the Solana 101 and Solana Highlands projects.
T-3.3 Enable residents to reduce their commutes by allowing and encouraging the creation of live/work units for artists, craftspeople, and other professions, promoting home occupations and telecommuting, and supporting other means of achieving a jobs/housing balance (Policy LU-3.2).	No action.
T-3.4 Identify and prioritize infrastructure improvements needed to support increased	Ongoing.

use of alternatives to private vehicle travel, including transit, bicycle, and pedestrian modes (Policy LU-3.3).	
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MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-4: Increase commuting by mass transit to 10% of labor force	429
Performance Measures:	
<ul style="list-style-type: none"> Passengers on and off transit per weekday-Bus: 675 (FY16), 541 (FY17) Passengers on and off transit per weekday-Coaster 496 (FY16) 	
T-4.1: Advocate for funding of bus enhancements (i.e., Express [limited stops]) or BRT on the 101 Coast Highway.	No action.
T-4.2 Advocate to NCTD and SANDAG to improve transit service and promote east-west shuttle on Lomas Santa Fe Drive. Support measures that prioritize mass transit over automobile projects.	*Expressed support of 5 Big Moves vision by SANDAG *Bike Share Program EV Shuttle
T-4.3 Collaborate with SANDAG on successfully implementing its North Coast TDM Plan and connect the City's employers and residents to travel-planning resources.	No action.
T-4.4 Improve connectivity (by public transit, bicycle infrastructure, and pedestrian walkways) to the Solana Beach train station for access to commuter rail.	Ongoing projects throughout City including the LSF Improvement Project.
T-4.5 Implement the General Plan's Circulation Element for a "Complete Streets" approach in designing streets, which considers every transportation mode and user for applicable arterial streets and incorporates multi-modal design and principles in all projects.	*Circulation Element implemented *Comprehensive Active Transportation Strategy (CATS) Implementation

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-5: Increase preferred parking for EVs and AFVs to 20% of eligible parking spots.	325
Performance Measures:	
<ul style="list-style-type: none"> Data not available at the time of report 	
T-5.1: Identify eligible on-street parking spots and spots in City-owned lots for conversion to preferred parking for EVs and AFVs.	*Ongoing. Electrify America Program.
T-5.2 Explore modifying the Solana Beach Municipal Code parking standard	*Under consideration and review as part of the process in reviewing which California Green

requirements to incentivize parking stalls for EVs and charging stations as a credit toward parking requirements.	Building voluntary measures and/or reach codes to adopt.
T-5.3 Install dedicated stalls for EV parking and charging stations at City facilities.	*Four chargers installed at City Hall. Electrify America Program consideration at the Train Station.
T-5.4 Conduct outreach and education for the City's businesses and commercial property owners to encourage the conversion of private parking spaces to EV and AFV preferred parking.	No action.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-6: Retime four traffic signals.	144
Performance Measures:	
<ul style="list-style-type: none"> Number of signals retimed = 0 	
T-6.1: Conduct a traffic study to identify candidate traffic lights along arterials that could be retimed.	*Signals in City are timed except for ones maintained by CalTrans
T-6.2 Retime identified traffic signals to reduce delays and vehicle idling.	*Signals along Lomas Santa Fe may be retimed as part of the Lomas Santa Fe Improvement project.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-7: Promote telecommuting to achieve 10% participation.	86
Performance Measures:	
<ul style="list-style-type: none"> No performance indicator identified 	
T-7.1: Collaborate with SANDAG on successfully implementing its North Coast TDM Plan (SANDAG 2013) and connect the City's employers and residents to travel-planning resources.	No action.
T-7.2 Review KPIs in SANDAG's TDM Implementation Plan at least once annually.	Not available.
T-7.3 Work with local office-based businesses to encourage telecommuting. Telecommuting should not impede on normal business practices and may not be suitable for businesses that require physical employee presence, such as retail storefronts and warehouses.	No action.
T-7.4 Conduct educational outreach to residents and businesses to disseminate information about resources, such as	No action.

SANDAG's iCommute program, to reduce commuter trips.	
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MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-8: Convert municipal gasoline-fueled vehicle fleet to EVs to achieve 50% gasoline reduction.	56
Performance Measures: <ul style="list-style-type: none"> • Number of City AFV passenger vehicles = 3 of 3 • Number of AFV pick-up or fire vehicles = 0 	
T-8.1: Replace the City's municipal fleet with EVs and AFVs to achieve the 50 percent reduction in gasoline consumption from current levels.	*All three of the City municipal cars are Hybrid vehicles. Public Works, Code Enforcement, Parks & Recreation, Fire, and Lifeguard trucks are still gasoline.
T-8.2 Adopt a clean vehicle purchasing policy for new fleet vehicles.	*Researching potential policies now.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-9: Increase commuting by walking to 5% of labor force.	16
Performance Measures: <ul style="list-style-type: none"> • No performance indicator measure available 	
T-9.1: Implement the General Plan's Circulation Element for a "Complete Streets" approach in designing streets, which considers every transportation mode and user for applicable arterial streets and incorporates multi-modal design and principles in all projects.	*Complete. *Comprehensive Active Transportation Strategy (CATS) Implementation
T-9.2 Implement the General Plan's Circulation Element and develop and implement a Pedestrian Master Plan that would comprehensively review and plan for pedestrian improvements and identify mobility linkages to promote walkability and safety for pedestrians..	*Complete. *Comprehensive Active Transportation Strategy (CATS) Implementation

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-10: Increase commuting by bicycling by achieving approximately 17 bike lane miles.	11
Performance Measures: <ul style="list-style-type: none"> • 2 (Class 1 Bicycle Path) • 7 (Class 2 Bicycle Lane) • 2 (Class 3 Bicycle Route) • 11 (Total) 	

T-10.1: Implement the General Plan's Circulation Element and continue to update and implement the City's Bicycle Transportation Plan that identifies optimal bicycle routes to optimal destinations in the City, connects the regional bicycle path network, and prioritizes effective bicycle path routes for implementation.	*Complete. *Comprehensive Active Transportation Strategy (CATS) Implementation
T-10.2 Adopt and implement the Comprehensive Active Transportation Strategy that provides the foundation for improved bicycle and pedestrian facilities within the City and connections to adjacent jurisdictions and greater regional networks over the next 15 years.	*Complete. *Comprehensive Active Transportation Strategy (CATS) Implementation
T-10.3 Make existing bike lanes more user-friendly.	*Ongoing as projects are completed
T-10.4 Increase the number of publicly available bike parking spaces in the City.	*Ongoing as part of development and implementation of bike-share program.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure T-11: Promote alternative work schedule (4days/week) to achieve participation from 1% of labor force.	9
The City has an alternative work schedule, but performance data for other City employers is not available at the time of this report.	
T-11.1: Identify employers in the City that could be candidates for alternative work schedules.	No action.
T-11.2 Collaborate with SANDAG to encourage alternative work schedules for the City's employers.	No action.
T-11.3 Conduct surveys for City residents to identify opportunities for alternative work schedules for commuters that work outside the City.	No action.
T-11.4 Collaborate with SANDAG on successfully implementing its North Coast TDM Plan and connect the City's employers and residents to travel-planning resources.	No action.
T-11.5 Review KPIs in SANDAG's TDM Implementation Plan at least once annually.	Not available.
T-11.6 Conduct educational outreach to residents and businesses to disseminate information about resources such as SANDAG's iCommute program to reduce commuter trips.	No action.

Strategy 2: Electricity and Natural Gas Measures

Our Electricity and Natural Gas strategy contains 8 different measures. If they were all implemented our CAP estimates total GHG reductions of 21,214 MT CO₂e/year. Here are some of the highlighted actions taken to date to implement these measures:

MEASURE DESCRIPTION	GHG Reductions (MTCO ₂ e/year)
Measure E-1: Implement a Community Choice Aggregation program, and provide 100 renewable energy by 2035.	10,466
CCA Implemented. 50% renewable and 75% carbon-free energy in 2019	
E-1.1: Continue with implementation of a CCA to achieve the 100 percent renewable energy goal, based on the technical analysis conducted previously.	*CCA implemented only including Solana Beach initially *50% renewable and 75% carbon free
E-1.2 Explore opportunities to collaborate with other cities in the region for a regional CCA for San Diego County.	*Complete. Creating a regional CCA with Carlsbad and Del Mar called the Clean Energy Alliance (CEA)
E-1.3 Explore opportunities to source renewable energy – whether via CCA or otherwise – from our region.	*Complete. Being done through CCA
E-1.4 Support statewide energy decarbonization, renewable energy, and similar initiatives and consider supporting the State call for federal carbon fee and dividend legislation, pending Council consideration and approval.	No action.

MEASURE DESCRIPTION	GHG Reductions (MTCO ₂ e/year)
Measure E-2: Achieve 10.8 MW residential rooftop solar photovoltaic systems.	5,858
Citywide PV capacity - all systems 2.6 MW (2016) 3.4 MW (2017) 4.0 MW (2018)	
E-2.1: Work with SDG&E and local non-profit organizations, or through the City's CCA, to reach 100 percent of households annually with targeted educational and marketing materials (e.g., website or e-blast).	No action.
E-2.2 Continue to provide expedited permitting incentives for installation of rooftop solar PV systems on residential buildings.	*SBMC 15.52 provides an expedited, streamlined solar permitting process.

E-2.3 Conduct educational outreach to residents about incentives available for installation of PV systems.	No action.
E-2.4 Explore the development of an ordinance requiring installation of solar PV systems for major remodel/renovation projects.	*In process as part of the reach code process to require solar PV for major remodel/renovation projects.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure E-3: Achieve 2 MW commercial rooftop solar photovoltaic systems.	1085
Citywide PV capacity - all systems 2.6 MW (2016) 3.4 MW (2017) 4.0 MW (2018)	
T-3.1: Work with SDG&E, or through a CCA, to reach 100 percent of businesses and schools annually with targeted educational and marketing materials (e.g., website or e-blast).	*All public schools with Solana Beach have installed solar photovoltaic systems.
T-3.2 Continue to provide expedited permitting incentives for installation of rooftop solar PV systems on commercial buildings.	*SBMC 15.52 provides an expedited, streamlined solar permitting process.
T-3.3 Conduct educational outreach to local businesses about incentives available for installation of PV systems.	No action.
T-3.4 Through the City's CCA, support the development of community solar projects that benefit all residents, including lower-income communities.	*In process of developing new JPA for CCA and projects may be identified by JPA.
T-3.5 Explore the development of a mandatory ordinance requiring "solar ready" or the installation of solar PV systems for new commercial development and major remodel/renovation projects, pending Council consideration and approval.	*In process of researching the feasibility to pursue a reach code to require solar PV on commercial development and major remodel/renovation projects.
T-3.6 Establish policies, programs, and ordinances that promote the siting of new onsite PV generation and energy storage, pending Council consideration and approval.	No action.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure E-4: Install solar hot water heating at 20 percent of existing commercial spaces.	2,811
Performance Measures:	

Data not available at the time of report	
E-4.1: Work with SDG&E, or through a CCA, to reach 100 percent of businesses annually with targeted educational and marketing materials (e.g., website or e-blast).	No action.
E-4.2 Promote the installation of SHWs by publicizing incentives, rebates, and financing options, such as PACE financing, CSIs, or CSI-Thermal Program, for existing commercial buildings by posting on the City's website or e-blast.	No action.
E-4.3 Explore the development of a mandatory ordinance requiring installation of SHWs for major remodel/renovation projects.	*In the process of researching the feasibility of a solar hot water heating reach code for major remodel/renovation projects.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure E-5: Install solar hot water heating at 25 percent of new homes and home retrofits.	539
Performance Measures: Data not available at the time of report	
E-5.1: Work with SDG&E, or through a CCA, to reach 100 percent of households annually with targeted educational and marketing materials (e.g., website or e-blast).	No action.
E-5.2 Promote the installation of SHWs by publicizing incentives, rebates, and financing options, such as PACE financing, CSI, or CSI-Thermal Program, for existing residential buildings by posting on the City's website or e-blast.	No action.
E-5.3 Explore the development of an ordinance requiring installation of SHWs for new homes and major remodel/renovation projects.	*In the process of researching the feasibility of a solar hot water heating reach code for major remodel/renovation projects.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure E-6: Reduce in non-space/water heating residential natural gas use by 15%.	359
Performance Measures: Data not available at the time of report	
E-6.1: Provide incentives to reduce 15 percent of non-space/water heating natural gas use, such as dryers, ovens, and cooktops, for new and existing residential buildings by 2035.	*Exploring electrification building code measures.

E-6.2 Provide expedited permitting incentives for replacement of natural gas space and water heaters.	No action.
E-6.3 Explore the development of an ordinance requiring non-natural gas appliances in new residential development.	*Researching electrification building code measures.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure E-7: Promote residential energy efficiency retrofits to achieve 15% reduction.	59
Performance Measures: Data not available at the time of report	
E-7.1: Provide incentives to reduce 15 percent of non-space/water heating natural gas use, such as dryers, ovens, and cooktops, for new and existing residential buildings by 2035.	*Researching electrification building code measures.
E-7.2 Provide expedited permitting incentives for replacement of natural gas space and water heaters.	No action.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure E-8: Promote commercial energy efficiency retrofits to achieve 15% reduction.	37
Performance Measures: Data not available at the time of report	
E-8.1: Work with SDG&E, or through a CCA, to reach 100 percent of businesses annually with targeted educational and marketing materials (e.g., website or e-blast).	No action.
E-8.2 Publicize incentives, rebates, and financing options, such as PACE Financing, CSI, or CSI-Thermal Program, for existing commercial buildings by posting on the City's website or e-blast.	No action.
E-8.3 Increase use of solar technology on municipal-owned buildings.	No action.
E-8.4 Develop a ZNE policy for municipal-owned buildings.	*Exploring development of RFP to perform updated analysis
E-8.5 Prepare and adopt an energy efficiency and reduction plan for municipal facilities.	No action.
E-8.6 Explore City government carbon accountability at the departmental level.	No action.

Strategy 3: Waste and Water Measures

Our Electricity and Natural Gas strategy contains 5 different measures. If they were all implemented our CAP estimates total GHG reductions of 4,184 MTCOC2e/year.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure W-1: Divert 90% of waste from landfills and capture 85% of landfill gas emissions.	3,389
Performance Measures: Data not available at the time of report	
W-1.1: Adopt a policy that requires all City-sponsored events (and City-funded non-profit events) to be zero-waste (e.g., use recyclable and compostable materials and provide corresponding waste receptacles), and promote zero-waste events to community organizations and businesses.	*Adopted single-use plastics ordinance to ensure materials are recyclable and compostable, but have not mandated zero-waste events.
W-1.2 Adopt a policy that requires a minimum of 75 percent of construction and demolition waste be recycled or re-used.	*Adopting CA voluntary measure to increase requirement to 65%. Lemon Grove facility generally achieves a 68% diversion rate for mixed C&D. San Marcos facility which gets a cleaner C&D mix achieves an 89% diversion rate.
W-1.3 Develop an Organics Diversion Program to eliminate organic waste from landfills.	*Will take effect when EDCO's anerobic digester goes online *Actions planned as part of AB 1383 compliance
W-1.4 Start and implement a pilot education program on organics recycling.	No action.
W-1.5 Develop a food waste prevention plan for restaurants in the City and collaborate with other municipalities to develop a regional plan.	*Provided info to map food waste generation into a regional GIS system in collaboration with the San Diego Food System Alliance and GIS students at San Marcos.
W-1.6 Explore City government carbon accountability at the departmental level.	No action.
W-1.6 Provide public education to promote textile recycling (e.g., mattresses, carpets, clothing, and other textiles).	No action.
W-1.7 Advocate to the agencies that own and operate landfills serving the City to encourage increased methane capture at the landfills.	*EDCO installing anaerobic digester to capture methane to power their trash trucks.
W-1.8 Explore creation of regional compost facility with other municipalities.	No action.
W-1.9 Expand opportunities for food production and neighborhood-scale distribution, including community gardens, especially for low-income communities.	No action.

W-1.10 Develop and implement a City Green Purchasing Plan and set targets to reduce carbon emissions associated with purchased goods and services.	No action.
W-1.11 Explore and support development of local and regional biogas resources, including anaerobic digestion of food scraps.	*EDCO installing anaerobic digester to capture methane to power their trash trucks.

MEASURE DESCRIPTION:	GHG Reductions (MTCO2e/year)
Measure W-2: Implementation of existing water rate and billing structure.	407
Complete	
W-2.1: Implementation of existing water rate and billing structure.	*No City actions, as reductions are already occurring under existing rate structure.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure W-3: Expand recycled water program to reduce potable water consumption by 10%.	292
Performance Measures: Data not available at the time of report	
W-3.1: Expand the current recycled water program and purple pipe infrastructure.	* In the 2019-2020 Work Plan

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure W-4: Capture 100 percent of emissions from wastewater treatment	66
Performance Measures: Data not available at the time of report	
W-4.1: Advocate to the San Elijo Wastewater Treatment Plant for 100 percent methane capture.	No action.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure W-5: Water conservation	66
Performance Measures: No performance indicator identified	

W-5.1: Implement PACE Programs in the City and continue to assess other efficiency financing tools for possible use in the community.	No action.
W-5.2: Educate property owners about eligibility for PACE financing.	No action.
W-5.3: Actively promote water efficiency rebate programs offered by San Diego County Water Authority and Metropolitan Water District.	*Links on website.
W-5.4: Maintain a water waste reporting public education and enforcement program to repair leaks and decrease over-irrigation.	*Link to reporting form on website and app available to report water waste.
W-5.5: Promote programs/resources to help customers convert to more water-efficient landscaping.	*Link on the Community Development page of the City website.
W-5.6: Encourage greywater use for landscaping.	No action.
W-5.7: Provide incentives for installation of rainwater catchment systems on roofs to use rainwater generated.	No action.
W-5.8: Work with the Santa Fe Irrigation District to track per capita water consumption in the City separately.	No action.
W-5.9: Support water rate structures that provide incentives to conserve and reuse water, including greywater use.	*Water rates set by SFID.
W-5.10: Continue to implement the City's outdoor landscaping ordinance.	*Ongoing

Strategy 4: Carbon Sequestration (Urban Tree Planting)

Our Carbon Sequestration strategy contains only one measure, which is to have 30 percent of the developed areas covered by an urban tree canopy by 2035. If implemented our CAP estimates total GHG reductions of 986 MTCOC2e/year. Currently, our City's tree canopy covers 22 percent of the area.

MEASURE DESCRIPTION	GHG Reductions (MTCO2e/year)
Measure U-1: The City will achieve 30 percent of developed areas covered by urban tree canopy (Urban Tree Planting Program).	986

Performance Measures: Data not available at the time of report	
U-1.1: Implement the Urban Tree Planting Program to achieve the City's goal to cover 2,107 acres of developed areas with urban tree canopy by 2035. The program would require new development to plant trees to achieve an equivalent canopy coverage. Furthermore, the City would plant trees at City-owned properties and public areas to achieve the same canopy coverage. Public areas would cover open space, streets, and parking lots.	*Incorporated into 2019-2020 work plan
U-1.2: Educate and encourage residents and businesses to maintain and care for existing trees and plant new trees.	*Agreement with Lumbercycle to assess the eco-benefits of municipal trees and identify list of trees to plant to increase eco-benefits
U-1.3: Continue to research and monitor developments of Blue Carbon for sequestration.	No action.

RESOLUTION 2020-021

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ADOPTING AND INCORPORATING A REVISED CLIMATE ADAPTATION CHAPTER INTO THE CLIMATE ACTION PLAN

WHEREAS, in 2017, the City adopted a Climate Action Plan (CAP) to mitigate local actions that contribute toward the emissions of Greenhouse Gases (GHG); and

WHEREAS, the plan is comprised of five chapters: 1) Introduction; 2) Greenhouse Gas Emissions Inventory, Forecasts, and Reduction Targets; 3) Greenhouse Gas Reduction Strategies and Measures; 4) Climate Adaptation; and 5) Implementation and Monitoring; and

WHEREAS, the City would like to update the Climate Adaptation chapter to reflect the latest scientific data regarding climate change locally and identify potential local hazards exacerbated by climate change including increases in temperature, variable water supplies, coastal erosion, flooding and sea level rise; and

WHEREAS, the City would like to identify strategies to mitigate those potential hazards locally; and

WHEREAS, the Climate Action Commission Adaptation Subcommittee was formed to revise the Adaptation Plan and finished its work in 2020 and submitted it to the Climate Action Commission for review and consideration; and

WHEREAS, the Climate Action Commission voted on February 19, 2020 to recommend Council consider adoption of the revised Adaptation chapter and its incorporation into the City's Climate Action Plan.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.

2. That the City Council adopts the Climate Adaptation Plan revised as of 2020 by the Climate Action Commission Adaptation Subcommittee and as recommended by the Climate Action Commission as the new Chapter 4 of the City's Climate Action Plan.

PASSED AND ADOPTED this 26th day of February 2020, at a regular meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: City Manager's Office/City Attorney's Office
SUBJECT: **Introduce (1st Reading) Ordinance 513 – Adding Chapter 6.18 to the Solana Beach Municipal Code to Prohibit the Sale and Distribution of Flavored Tobacco Products**

BACKGROUND:

Despite progress in reducing smoking, tobacco use is still the leading cause of preventable death in the United States. Tobacco kills more than 480,000 people in this country annually. Secondhand smoke causes another 41,000 preventable deaths each year in nonsmoking persons, according to the Centers for Disease Control and Prevention ("CDC"). Smoking, and now vaping, continues to be a public health crisis.

Flavored tobacco products have become increasingly popular and are sold for cigars, cigarillos, smokeless tobacco, shisha or hookah tobacco, and liquid nicotine solutions used in electronic cigarettes (e-cigarettes) which are discussed more in depth below. Flavored tobacco products come in a variety of flavors such as chocolate, berry, cherry, apple, wintergreen and peach and are sold in colorful packaging, which can make them especially appealing to young people. In 2009, the United States Food and Drug Administration ("FDA") banned cigarettes with characterizing flavors other than menthol (e.g., cherry, chocolate). Currently, the FDA does not ban flavors from other tobacco products, although, according to the FDA, research suggests flavors may also make these products more enticing to youth and young adults. Data from FDA's Population Assessment of Tobacco and Health found that nearly 80 percent of youth ages 12-17 and nearly 75% of young adults ages 18-25 who were current tobacco users in 2014 reported that the first tobacco product they ever used was flavored.

E-cigarettes are battery-powered products, usually delivering nicotine, flavorings and other chemicals that are often used in addition to or as an alternative to tobacco cigarettes. The devices allow the user to inhale nicotine in varying doses down to a

COUNCIL ACTION:

zero dose. The liquid can contain flavoring with the nicotine or consist of just flavoring. E-cigarettes entered the marketplace around 2007, and since 2014, they have been the most commonly used tobacco product among youth in the United States. According to the Centers for Disease Control and Prevention (“CDC”), the number of middle and high school students who reported being current users of tobacco products increased 36%—from 3.6 million to 4.9 million students—between 2017 and 2018. This dramatic increase, which has erased past progress in reducing youth tobacco use, is directly attributable to a nationwide surge in e-cigarette use by adolescents. There were 1.5 million more youth e-cigarette users in 2018 than 2019, and those who were using e-cigarettes were using more often. Frequent use of e-cigarettes increased from 20% in 2017 to 28% in 2018 among current high school e-cigarette users. The FDA has reported, according to a 2013-2014 survey, 81% of youth e-cigarette users cited the availability of appealing flavors as the primary reason for use.

The widespread use of flavored tobacco products and e-cigarettes by youth (often referred to as “vaping”) has significant public health consequences. As stated by the Surgeon General, “Most e-cigarettes contain nicotine – the addictive drug in regular cigarettes, cigars and other tobacco products. Nicotine exposure during adolescence can harm the developing brain – which continues to develop until about age 25. Nicotine exposure during adolescence can impact learning, memory, and attention. Using nicotine in adolescence can also increase risk for future addiction to other drugs. In addition to nicotine, the aerosol that users inhale and exhale from e-cigarettes can potentially expose both themselves and bystanders to other harmful substances, including heavy metals, volatile organic compounds, and ultrafine particles that can be inhaled deeply into the lungs.”

In addition, there is a growing body of research concluding that there are significant health risks associated with e-cigarette use. For example, daily e-cigarette use is associated with increased odds of a heart attack. And the American Lung Association has warned that the inhalation of harmful chemicals through vaping may cause irreversible lung damage and lung disease. Most recently, the CDC released a health advisory on a multistate outbreak of severe pulmonary disease associated with using e-cigarette products. The CDC report 215 possible cases of severe pulmonary diseases have been reported from 25 states and additional reports of pulmonary illness are under investigation. Some of these cases of severe pulmonary diseases have resulted in death. On August 27, 2019 the California Department of Public Health issued a Health Alert for “Vaping-Associated Pulmonary Injury” stating 36 cases of vaping-associated pulmonary injury requiring hospitalization have been reported to the California Department of Public Health since June. According to the California Department of Public Health, teenagers and young adults make up about half of the e-cigarette or vaping-associated pulmonary lung injury cases hospitalized in California, and the only common linkage is e-cigarette use.

The CDC also reports that, in addition to creating an epidemic of nicotine addiction among youth, e-cigarettes have also led to an acute public health crisis called EVALI. An ingredient in illegal tetrahydrocannabinol (“THC”) e-liquids, vitamin E acetate, has

been indicated as a chemical of concern in the EVALI outbreak. According to the CDC, many of the chemicals used in nicotine e-liquids may cause lung injury, similar to vitamin E acetate. Additionally, while these chemicals are widely available because they are commonly used in food and household products, which are “Generally Recognized as Safe” by the FDA, the impact when inhaled is unknown or dangerous.

Currently, the e-cigarette device market is largely unregulated; however, on January 2, 2020, the FDA issued a policy prioritizing enforcement against certain unauthorized flavored e-cigarette products, including fruit, candy, mint and dessert flavors from small, cartridge-based e-cigarettes. But menthol and tobacco-flavored e-cigarettes will be allowed to remain on the market. The FDA flavor ban will also entirely exempt large, tank-based vaping devices. Importantly, the policy still permits all flavors to continue to be sold in devices that cannot be refilled and are designed to be disposed of after the flavored nicotine has run dry. This is causing youth users to simply switch to disposable e-cigarettes. Under the policy, companies that do not cease manufacturing, distributing, and the sale of unauthorized flavored cartridge-based e-cigarettes (other than tobacco or menthol) within 30 days risk enforcement actions by the FDA. It is not yet clear how the FDA will enforce this policy, but it is anticipated that enforcement at a local level may be requested.

The State has banned the sale of e-cigarettes to persons under the age of 21, with the exception of active duty military personnel who must be at least 18 (*see* Bus. & Prof. Code secs. 22958, 22963). California also requires electronic cigarette cartridges and solutions to be sold in child-resistant packaging. (Health & Safety Code sec. 119406(a).) Cities and counties are also attempting to regulate the use and distribution of e-cigarettes products and cities have been granted the authority for such regulations which can be more restrictive than state law. (Gov. Code sec. 7597; Bus. & Prof. Code 22962.)

As of January 2020, several cities and counties throughout the state and country have restricted the sale of flavored tobacco products. Some communities have implemented full restrictions on flavored tobacco, including menthol. Others have excluded menthol and clove flavors. Still others have restricted the sale of flavored tobacco products for retailers within a certain distance of schools or youth oriented facilities. On January 14, 2020, the County of San Diego Board of Supervisors introduced an ordinance which includes a ban on vaping products and a temporary 1-year ban on the sale and distribution of e-cigarettes.

The action before the City Council is to introduce Ordinance 513 prohibiting the sale and distribution of flavored tobacco products.

DISCUSSION:

At the current time, the City of Solana Beach prohibits smoking and the use of e-cigarettes in certain locations in the City. The draft ordinance proposes to prohibit the sale and distribution of flavored tobacco products including those used with e-cigarettes

which are used much more frequently by youth. The prohibition on the sale of flavored tobacco products, including menthol cigarettes and chewing tobacco, would go into effect six months after the effective date of this ordinance.

CEQA COMPLIANCE STATEMENT:

The adoption of this ordinance will not have a significant adverse effect on the environment because the ordinance only prohibits the sale and distribution of flavored tobacco products. It is therefore exempt from California Environmental Quality Act review pursuant to Title 14, Section 15061(b)(3) of the California Code of Regulations.

FISCAL IMPACT:

There is no direct fiscal impact as a result of this item. However, enforcement of Ordinance 513, if adopted would be the responsibility of City Staff.

OPTIONS:

- Introduce Ordinance 513 adding Chapter 6.18 to the Solana Beach Municipal Code to Prohibit the Sale of Flavored Tobacco Products.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council introduce Ordinance 513 adding Chapter 6.18 to the Solana Beach Municipal Code to prohibit the sale and distribution of flavored tobacco products.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Ordinance 513
2. Centers for Disease Control and Prevention Health Advisory – August 30, 2019
3. California Department of Public Health Health Alert – August 27, 2019
4. Campaign for Tobacco-Free Kids – States and Localities that have Restricted the Sale of Flavored Tobacco Products

ORDINANCE 513

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ADDING CHAPTER 6.18 TO THE SOLANA BEACH MUNICIPAL CODE TO PROHIBIT THE SALE AND DISTRIBUTION OF FLAVORED TOBACCO PRODUCTS

WHEREAS, tobacco use remains the leading cause of preventable death in the United States, killing more than 480,000 people each year. It causes or contributes to many forms of cancer, as well as heart disease and respiratory diseases, among other health disorders. Tobacco use remains a public health crisis of the first order, in terms of the human suffering and loss of life it causes, the financial costs it imposes on society, and the burdens it places on our health care system; and

WHEREAS, the National Survey on Drug Use and Health in 2017 found that four-fifths of people who smoke become daily smokers before turning twenty-one. Developing adolescent brains are especially vulnerable to the effects of nicotine; and

WHEREAS, flavored tobacco products have also become increasingly popular and are sold for cigars, cigarillos, smokeless tobacco, shisha or hookah tobacco, and liquid nicotine solutions used in e-cigarettes. They come in a variety of flavors such as chocolate, berry, cherry, apple, wintergreen and peach and are sold in colorful packaging, which can make them especially appealing to young people; and

WHEREAS, e-cigarettes entered the marketplace around 2007, and since 2014, they have been the most commonly used tobacco product among youth in the United States and include flavors that are appealing to youth; and

WHEREAS, according to the Centers for Disease Control and Prevention (“CDC”), the number of middle and high school students who reported being current users of tobacco products increased 36%— from 3.6 million to 4.9 million students—between 2017 and 2018. This dramatic increase, which has erased past progress in reducing youth tobacco use, is directly attributable to a nationwide surge in e-cigarette use by adolescents; and

WHEREAS, the FDA has reported, according to a 2013-2014 survey, 81% of youth e-cigarette users cited the availability of appealing flavors as the primary reason for use; and

WHEREAS, the widespread use of flavored tobacco products and e-cigarettes by youth has significant public health consequences. As stated by the Surgeon General, “Most e-cigarettes contain nicotine – the addictive drug in regular cigarettes, cigars and other tobacco products. Nicotine exposure during adolescence can harm the developing brain – which continues to develop until about age 25. Nicotine exposure during adolescence can impact learning, memory, and attention. Using nicotine in adolescence can also increase risk for future addiction to other drugs. In addition to nicotine, the aerosol that users inhale and exhale from e-cigarettes can potentially expose both themselves and bystanders to other harmful substances, including heavy metals, volatile organic compounds, and ultrafine particles that can be inhaled deeply into the lungs”; and

WHEREAS, there is a growing body of research concluding that there are significant health risks associated with e-cigarette use. For example, daily e-cigarette use is associated with increased odds of a heart attack. The American Lung Association has warned that the

inhalation of harmful chemicals through vaping may cause irreversible lung damage and lung disease; and

WHEREAS, on August 30, 2019, the CDC released a health advisory on a multistate outbreak of severe pulmonary disease associated with using e-cigarette products. The CDC report 215 possible cases of severe pulmonary diseases have been reported from 25 states and additional reports of pulmonary illness are under investigation. Some of these cases of severe pulmonary diseases have resulted in death; and

WHEREAS, on August 27, 2019 the California Department of Public Health issued a Health Alert for “Vaping-Associated Pulmonary Injury” stating 36 cases of vaping-associated pulmonary injury requiring hospitalization have been reported to the California Department of Public Health since June; and

WHEREAS, the City of Solana Beach wishes to address what appears from the evidence to be a major public health crisis and protect its youth;

NOW, THEREFORE, the City Council of the City of Solana Beach hereby ordains as follows:

Section 1. All of the above statements are true and correct and incorporated herein as findings.

Section 2. Chapter 6.18 is added to the Solana Beach Municipal Code to read as follows:

6.18 REGULATION OF THE SALE AND DISTRIBUTION OF FLAVORED TOBACCO PRODUCTS

6.18.010 Purpose

The City Council recognizes the inherent danger of tobacco products and that the use of tobacco products has devastating health and economic consequences. The City Council further recognizes that tobacco use is the leading cause of preventable illness and death in the United States, and that tobacco product use is started and established primarily during adolescence.

Allowing flavored tobacco products to be sold in the City increases access to these harmful and dangerous products. To that end, no flavored tobacco products shall be sold in the City except as specifically enumerated below.

6.18.020 Definitions.

For purposes of this chapter, the following definitions shall apply:

“Characterizing flavor” means a distinguishable taste or aroma or both, other than the taste or aroma of tobacco, imparted by a Tobacco Product or any byproduct produced by the Tobacco Product. Characterizing Flavors include, but are not limited to, tastes or aromas relating to any fruit, chocolate, vanilla, honey, candy, cocoa, dessert, alcoholic beverage, menthol, mint, wintergreen, herb, or spice. A Tobacco Product shall not be determined to have a Characterizing Flavor solely because of the use of additives or flavorings or the provision of ingredient information. Rather, it is the presence of a Distinguishable taste or aroma or both, as described in the first sentence of this definition, that constitutes a Characterizing Flavor.

“Distinguishable” means perceivable by either the sense of smell or taste.

“Distribute” or “Distribution” means the transfer, by any person other than a common carrier, of a Tobacco Product at any point from the place of manufacture or thereafter to the person who sells the tobacco product to an individual for personal consumption.

“Electronic Cigarette” has the meaning set forth in Section 30121 of the California Revenue and Taxation Code, as may be amended from time to time.

“Flavored Tobacco Product” means any Tobacco Product that imparts a Characterizing Flavor. A public statement or claim made or disseminated by the manufacturer of a Tobacco Product, or by any person authorized or permitted by the manufacturer to make or disseminate public statements concerning such Tobacco Product, that such Tobacco Product has or produces a Characterizing Flavor shall constitute presumptive evidence that the Tobacco Product is a flavored Tobacco Product.

“Sell,” “Sale,” and “to Sell” mean any transaction where, for any consideration, ownership of a Tobacco Product is transferred from one person to another, including but not limited to any transfer or title or possession for consideration, exchange, or barter, in any manner or by any means.

“Tobacco Product” means any tobacco cigarette, electronic cigarette cartridge, cigar, pipe tobacco, smokeless tobacco, snuff or any other form of tobacco which may be utilized for smoking, chewing, inhaling, vaping or other manner of ingestion.

6.18.030 Prohibition on Sale or Distribution of Flavored Tobacco Products

- A. It is unlawful to Sell or Distribute any Flavored Tobacco Product to a person in Solana Beach.
- B. There shall be a rebuttal presumption that a Tobacco Product, other than a cigarette, is a Flavored Tobacco Product if a manufacturer or any of the manufacturer’s agents or employees, in the course of their agency or employment, has made a statement or claim directed to consumers or to the public that the Tobacco Product has or produces a Characterizing Flavor, including, but not limited to, text, color, and or/images on the product’s labeling or packaging that are used to explicitly or implicitly communicate that the Tobacco Product has a Characterizing Flavor.
- C. This section shall not apply to a product that has been approved by the Food and Drug Administration for sale as a tobacco cessation product or for other therapeutic purposes, where the product is marketed and sold solely for such an approved purpose.

6.18.040 Enforcement.

- A. The city manager, or designee, is authorized to establish regulations and to take any and all actions reasonable and necessary to obtain compliance with this chapter, including, but not limited to, inspecting the premises of any business to verify compliance.
- B. Any person, business or tobacco retailer violating this chapter shall be guilty of an infraction, which shall be punishable by a fine in accordance with Chapters 1.16 or 1.18 of the Solana Beach Municipal Code, or a misdemeanor, which shall be punishable by a fine not exceeding one thousand dollars, or by imprisonment in the County Jail for a

period not exceeding six months or by both such fine and imprisonment. In addition to criminal fines, any person, business or tobacco retailer violating this chapter shall also be subject to civil penalties or administrative fines or both under Chapters 1.16 and 1.18 of the Solana Beach Municipal Code.

- C. The city attorney may seek legal, injunctive, or other equitable relief to enforce this chapter.
- D. Administrative enforcement of this chapter shall proceed pursuant to Chapter 1.18 of the Solana Beach Municipal Code.
- E. Each violation of this chapter shall be considered a separate offense.
- F. The remedies and penalties provided in this section are cumulative and not exclusive, and nothing in this chapter shall preclude any person from pursuing any other remedies provided by law.
- G. Notwithstanding any other provision of this chapter, this chapter may be enforced through any remedy as provided for in this section upon its effective date.

6.18.050 No Conflict with Federal or State Law

Nothing in this chapter shall be interpreted or applied so as to create any requirement, power, or duty that is preempted by federal or state law.

6.18.060 Severability

If any section, subsection, sentence, clause, phrase, or word of this chapter, or any application thereof to any person or circumstance, is held to be invalid or unconstitutional by a decision of a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions or applications of this chapter. The City Council declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause or phrase hereof, irrespective of the fact that any one or more other sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases hereof be declared invalid or unenforceable..

Section 3. The City Council finds that this Ordinance is exempt from the provisions of the California Environmental Quality Act ("CEQA") pursuant to Section 15061(b)(3) because there is no possibility that the activity in question may have a significant effect on the environment..

Section 4. Severability. If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Chapter, or its application to any person or circumstance, is for any reason held to be invalid or unenforceable, such invalidity or unenforceability shall not affect the validity or enforceability of the remaining sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases of this Chapter, or its application to any other person or circumstance. The City Council declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause or phrase hereof, irrespective of the fact that any one or more other sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases hereof be declared invalid or unenforceable.

EFFECTIVE DATE: This Ordinance shall be effective thirty (30) days after its adoption. Within fifteen (15) days after its adoption, the City Clerk of the City of Solana Beach shall cause

this Ordinance to be published pursuant to the provisions of Government Code Section 36933.

INTRODUCED AND FIRST READ at a regular meeting of the City Council of the City of Solana Beach, California, on the 12th day of February, 2020; and

THEREAFTER ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, on the _____ day of _____, 2020, by the following vote:

- AYES: Councilmembers –
- NOES: Councilmembers –
- ABSTAIN: Councilmembers –
- ABSENT: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



SUSAN FANELLI
Acting Director

State of California—Health and Human Services Agency
California Department of Public Health



GAVIN NEWSOM
Governor

Health Alert
Vaping-Associated Pulmonary Injury

August 27, 2019

Key Messages

- Since June, 36 cases of vaping-associated pulmonary injury requiring hospitalization have been reported to the California Department of Public Health (CDPH). Most patients report vaping the cannabis compounds THC and/or CBD, and some patients also report vaping nicotine products, although the exact cause of illness is not yet known.
- Clinicians who identify cases similar to those described in this health alert are asked to report the cases to their local health department.
- Local health departments should report new cases or direct any inquiries to the CDPH Duty Officer dutyofficer@cdph.ca.gov or (916) 328-3605. Please also contact the CDPH Duty Officer when any vaping devices or supplies have been collected from a patient and can be turned over to CDPH for testing.

Current Situation

Physicians in California and at least 23 other states have documented over 200 cases of acute pulmonary disease associated with vaping over the past three months. Most patients in California report vaping cannabis products such as THC or CBD, and some report vaping nicotine-containing liquids as well. Some patients have reported using vaping products that they purchased from unlicensed, unregulated entities.

Patients typically present to the hospital with cough, difficulty breathing, fever, and sometimes vomiting and diarrhea. In many cases, the initial diagnosis was presumed to be infectious, but no evidence of infection or other process to explain the pulmonary disease was found. All cases in California have been hospitalized, with most requiring respiratory support with supplemental oxygen, high-flow oxygen, or bi-level positive airway pressure (BiPAP). At least ten patients had respiratory failure requiring mechanical ventilation. No deaths have been reported to date in California.

Local health departments are collecting information on vaping habits and products used from patients who are suspected of having vaping-associated pulmonary injury (VAPI).

CDPH Director's Office, MS 0500 • P.O. Box 997377, Sacramento, CA 95899-7377
(916) 558-1700 • (916) 558-1762 FAX
[Department Website \(www.cdph.ca.gov\)](http://www.cdph.ca.gov)



The numbers in California as of 8/27/2019:

Total: 36 cases (24 men, 12 women)

Ages: 14-70 (median age 27)

Total counties: 13 counties across the state

Information for Physicians and Hospitals

The clinical presentation of VAPI can initially mimic common pulmonary diagnoses like pneumonia, but patients typically do not respond to antibiotic therapy. High clinical suspicion is necessary to make the diagnosis of VAPI. In some cases, patients sought care at outpatient clinics in the days prior to hospital presentation and received antibiotics for presumed pneumonia or bronchitis, which did not improve their symptoms.

Action Items for Physicians:

- 1) Ask patients presenting with respiratory complaints in both outpatient and inpatient settings about their use of vaping or “dabbing” devices, especially patients who had an initial diagnosis of pneumonia or bronchitis that did not respond to antibiotics. For patients who do vape, ask these follow-up questions:
 - **Type of vape used**
 - Do you vape nicotine-containing substances?
 - Do you vape substances that contain cannabis or cannabinoid compounds like THC and CBD?
 - **Amount of use**
 - When was the last time you vaped?
 - How often do you vape?
 - How long have you been vaping?
 - **Source**
 - Where do you purchase your vaping supplies?
 - What brands are your vaping devices, cartridges, and oils?

- 2) Report suspected cases to the local health department within one business day.
 - An official from your local health department may interview the patient or family members.
 - The local health department will contact the hospital lab to arrange the transfer of biospecimens remaining from the patient to the public health lab. You do not have to order any specific cultures or tests on blood or urine that you would not normally request for the care of the patient.
 - The local health department may collect vape devices and cartridges from the patient or family for testing.

Clinical Information on Vaping-Associated Pulmonary Injury

Clinical course

Patients typically present for care within a few days to weeks of symptom onset. At the time of hospital presentation, patients are often hypoxic and meet systemic inflammatory response syndrome (SIRS) criteria, including high fever. In some cases, patients had progressive respiratory failure following admission, leading to intubation.

Time to recovery for hospital discharge has been from days to weeks.

Symptoms

Commonly reported symptoms include:

- Shortness of breath, cough
- Fatigue, body aches
- Fever
- Vomiting, diarrhea

Laboratory findings

- Non-specific laboratory abnormalities have been reported, including elevation in white blood cell count, transaminases, procalcitonin, and inflammatory markers.
- Negative infectious disease testing (influenza, respiratory viral panel, cultures, etc.).

Imaging

Imaging abnormalities are typically bilateral and may be described as:

- Chest x-ray: pulmonary infiltrates or opacities
- Chest CT: ground-glass opacities

Diagnosis

VAPI is a clinical diagnosis of exclusion when infectious, rheumatologic, neoplastic, cardiac, or other processes cannot explain an acute pulmonary illness in a patient known to vape cannabinoids and/or nicotine. The diagnosis is commonly suspected when the patient does not respond to antibiotic therapy, and testing does not reveal an alternative diagnosis.

Common documented hospital diagnoses for these patients have included: acute respiratory distress syndrome (ARDS), sepsis, acute hypoxic respiratory failure, pneumonitis, and pneumonia.

Treatment

Guidelines for treatment of VAPI are not yet available.

- Most patients require supplemental oxygen via nasal cannula, high-flow oxygen, bi-level positive airway pressure (BiPAP), or mechanical ventilation.
- Anecdotally, treating physicians have trialed the use of steroids with some possible benefit. Information on dosing and duration of steroids is not available.

Information for Local Health Departments

Background

Vaping refers to the increasingly popular practice of inhaling vapor from an e-cigarette device, which works by heating a liquid that can contain nicotine, marijuana, or other drugs. The long-term health impacts of vaping are unknown. Some individuals also use a different type of device to heat and extract cannabinoids for inhalation in a process called “dabbing.” Both vaping and dabbing have been associated with VAPI.

Case Definition for Vaping-Associated Pulmonary Injury (VAPI)

A case of VAPI meets the following criteria:

- Respiratory illness requiring hospital admission;
- History of vaping or dabbing within 90 days of symptom onset;
- Pulmonary infiltrates or opacities on chest radiograph or chest CT
- Clinical presentation is not explained by infectious or other alternate etiology.

Please see the attached case definition document for California's full working case definition, including criteria for confirmed versus probable cases. A revised national case definition may be issued in the coming days, and any resulting updates to California's case definition will be distributed at that time.

Suspected Cases

- Local health departments (LHDs) may use the attached "VAPI case intake form" as a guide for the data to collect from reporting clinicians in order to determine if an individual meets the case definition, and also as a template for use in reporting cases to CDPH.
- LHDs are asked to report suspected cases and direct inquiries to the CDPH Duty Officer dutyofficer@cdph.ca.gov or (916) 328-3605 within one business day. After-hours reporting is not expected. Please do not send protected health information (PHI) to the Duty Officer e-mail account.
- Upon reporting a case to the CDPH Duty Officer, you will be contacted by a member of the CDPH staff, who will gather additional details from the case intake form and provide you with a link to a standardized patient interview. We ask that a member of the LHD staff complete the questionnaire with the patient or family member. If the LHD is unable to do so, CDPH staff can provide assistance.
- Please attempt to collect any vaping devices, cartridges, and liquids from affected patients and contact the CDPH Duty Officer dutyofficer@cdph.ca.gov or (916) 328-3605 so that the product can be collected for testing. Keep samples sealed, stored in a secure manner, and ideally under refrigeration. Ensure samples are labeled with documentation that allows for identification of the case patient from which they were obtained and in a way consistent with the patient interview data collected on the standardized questionnaire.

This is an official
CDC HEALTH ADVISORY

Distributed via the CDC Health Alert Network
August 30, 2019, 0935 ET (9:35 AM ET)
CDCHAN-00421

Severe Pulmonary Disease Associated with Using E-Cigarette Products

Summary

The Centers for Disease Control and Prevention (CDC) is providing: 1) background information on the forms of e-cigarette products, 2) information on the multistate outbreak of severe pulmonary disease associated with using e-cigarette products (devices, liquids, refill pods, and cartridges), and 3) clinical features of patients with severe pulmonary disease. This health advisory also provides recommendations for clinicians, public health officials, and the public based on currently available information.

General Background

E-cigarettes typically contain nicotine, most also contain flavorings and other chemicals, and some may contain marijuana or other substances. They are known by many different names and come in many shapes, sizes and device types. Devices may be referred to as “e-cigs,” “vapes,” “e-hookahs,” “vape pens,” “mods,” tanks, or electronic nicotine delivery systems (ENDS). Some e-cigarette devices resemble other tobacco products such as cigarettes; some resemble ordinary household items such as USB flash drives, pens, and flashlights; and others have unique shapes. Use of e-cigarettes is sometimes referred to as “vaping” or “juuling.” E-cigarettes used for dabbing are sometimes called “dab” pens.

E-cigarettes can contain harmful or potentially harmful substances, including nicotine, heavy metals (e.g., lead), volatile organic compounds, and cancer-causing chemicals. Additionally, some e-cigarette products are used to deliver illicit substances; may be acquired from unknown or unauthorized (i.e., “street”) sources; and may be modified for uses that could increase their potential for harm to the user. For example, some e-cigarette pods or cartridges marketed for single use can be refilled with illicit or unknown substances. In addition, some e-cigarette products are used for “dripping” or “dabbing.” Dripping involves dropping e-cigarette liquid directly onto the hot coils of an e-cigarette which can result in high concentrations of compounds (e.g., tetrahydrocannabinol [THC] and cannabinoid compounds). Dabbing involves superheating substances such as “budder”, butane hash oil (BHO), and “710” that contain high concentrations of THC and other plant compounds (e.g., cannabidiol [CBD]).

Youth, young adults, pregnant women, as well as adults who do not currently use tobacco products should not use e-cigarettes. E-cigarettes containing nicotine have the potential to help some individual adult smokers reduce their use of and transition away from cigarettes. However, e-cigarettes are not currently approved by the Food and Drug Administration (FDA) as a quit smoking aid, and the available science is inconclusive on whether e-cigarettes are effective for quitting smoking.

Outbreak Background

As of August 27, 2019, 215 possible cases have been reported from 25 states and additional reports of pulmonary illness are under investigation. One patient (in Illinois) with a history of recent e-cigarette use was hospitalized on July 29, 2019 with severe pulmonary disease and died on August 20, 2019. Although the etiology of e-cigarette-associated pulmonary disease is undetermined, epidemiologic investigations in affected states are ongoing to better characterize the exposures, demographic, clinical, and laboratory features and behaviors of patients. All patients have reported using e-cigarette products. The exact

number is currently unknown, but many patients have reported using e-cigarettes containing cannabinoid products such as THC or CBD.

Based on reports from several states, patients have experienced respiratory symptoms (cough, shortness of breath, or chest pain), and some have also experienced gastrointestinal symptoms (nausea, vomiting, or diarrhea) or non-specific constitutional symptoms (fatigue, fever, or weight loss). Symptoms typically develop over a period of days but sometimes can manifest over several weeks. Gastrointestinal symptoms sometimes preceded respiratory symptoms. Fever, tachycardia, and elevated white blood cell count have been reported in the absence of an identifiable infectious disease. Many patients have sought initial care in ambulatory settings, some with several visits, before hospital admission.

Radiologic findings have varied and are not present in all patients upon initial presentation. Bilateral pulmonary infiltrates and diffuse ground-glass opacities have been reported. Many patients required supplemental oxygen, some required assisted ventilation and oxygenation, and some were intubated. Some patients have been treated with corticosteroids with demonstrated improvement. Antimicrobial therapy alone has not consistently been associated with clinical improvement. Assessment for infectious etiologies has been completed in many patients without an identified infectious cause. Several patients from one state have been diagnosed with lipoid pneumonia based on clinical presentation and detection of lipids within bronchoalveolar lavage samples stained specifically to detect oil.

All patients have reported using e-cigarette products and the symptom onset has ranged from a few days to several weeks after e-cigarette use. Within two states, recent inhalation of cannabinoid products, THC or cannabidiol, have been reported in many of the patients. To date, no single substance or e-cigarette product has been consistently associated with illness. CDC is working closely with state health departments to facilitate collecting product specimens for testing at the U.S. FDA Forensic Chemistry Center.

Recommendations for Clinicians

1. Report cases of severe pulmonary disease of unclear etiology and a history of e-cigarette product use within the past 90 days to your state or local health department. Reporting of cases may help CDC and state health departments determine the cause or causes of these pulmonary illnesses.
2. Ask all patients who report e-cigarette product use within the last 90 days about signs and symptoms of pulmonary illness.
3. If e-cigarette product use is suspected as a possible etiology of a patient's severe pulmonary disease, obtain detailed history regarding:
 - Substance(s) used: nicotine, cannabinoids (e.g., marijuana, THC, THC concentrates, CBD, CBD oil, synthetic cannabinoids [e.g., K2 or spice], hash oil, Dank vapes), flavors, or other substances
 - Substance source(s): commercially available liquids (i.e., bottles, cartridges, or pods), homemade liquids, and re-use of old cartridges or pods with homemade or commercially bought liquids
 - Device(s) used: manufacturer; brand name; product name; model; serial number of the product, device, or e-liquid; if the device can be customized by the user; and any product modifications by the user (e.g., exposure of the atomizer or heating coil)
 - Where the product(s) were purchased
 - Method of substance use: aerosolization, dabbing, or dripping
 - Other potential cases: sharing e-cigarette products (devices, liquids, refill pods, or cartridges) with others
4. Determine if any remaining product, including devices and liquids, are available for testing. Testing can be coordinated with the local or state health departments.
5. Consider all possible causes of illness in patients reporting respiratory and gastrointestinal symptoms and of e-cigarette product use. Evaluate and treat for other possible causes of illness (e.g., infectious,

- rheumatologic, neoplastic) as clinically indicated. Consider consultation with specialists (pulmonary, infectious disease, critical care, medical toxicology) as appropriate.
6. Clinical improvement of patients with severe pulmonary disease associated with e-cigarette use has been reported with the use of corticosteroids. The decision to use corticosteroids should be made on a case-by-case basis based on risks and benefits and the likelihood of other etiologies.
 7. Lipoid pneumonia associated with inhalation of lipids in aerosols generated by e-cigarettes has been reported based on the detection of lipid-laden alveolar macrophages obtained by bronchoalveolar lavage (BAL) and lipid staining (e.g., oil red O). The decision about whether to perform a BAL should be based on individual clinical circumstances.
 8. Lung biopsies have been performed on some patients. If a lung biopsy is obtained, lipid staining may be considered during pathologic examination, and is best performed on fresh tissue. Routine pathology tissue processing (including formalin-fixation and paraffin-embedding) can remove lipids. Conducting routine tissue processing and histopathologic evaluation is still important. Consider consultation with specialists in pulmonary medicine and pathology to help inform any evaluation plan.
 9. Patients who have received treatment for severe pulmonary disease related to e-cigarette product use should undergo follow-up evaluation as clinically indicated to monitor pulmonary function.

Recommendations for Public Health Officials

1. State public health officials should promptly notify CDC about possible cases via VapingAssocIllness@cdc.gov.
2. Contact CDC at VapingAssocIllness@cdc.gov for case classification criteria, reporting guidelines, case investigation forms, and questions about this outbreak.
3. Consider conducting case-finding activities that use existing data sources (e.g., local poison control center, coroner and medical examiner's office, and other applicable surveillance systems including syndromic surveillance). CDC has developed two working syndromic surveillance definitions (one version with specific symptoms and a second focused on e-cigarette product use). CDC will be programming these definitions in CDC's National Syndromic Surveillance Program's BioSense/ESSENCE platform for case-finding within the platform.
4. Consider asking the medical examiner or coroner's office and other pathologists to report possible cases, especially those without an alternative, likely diagnosis. If individuals are identified after death or at autopsy who showed signs of severe pulmonary disease as described above, medical examiners and coroners are encouraged to report the cases to their local or state health department. Thorough sampling of trachea, bronchi, and lung parenchyma with collection of fresh lung tissue for staining of lipids (e.g., oil red O) and submission of formalin-fixed, paraffin-embedded tissues for routine histopathology are recommended. For further consultation, public health officials can contact CDC's Infectious Diseases Pathology Branch at pathology@cdc.gov.
5. State health department officials seeking technical assistance with an epidemiologic investigation can contact CDC at VapingAssocIllness@cdc.gov. State health department officials seeking technical assistance with laboratory testing can discuss with their state health department laboratories or contact CDC at VapingAssocIllness@cdc.gov.

Recommendations for the Public

1. While this investigation is ongoing, if you are concerned about these specific health risks, consider refraining from using e-cigarette products.
2. Regardless of the ongoing investigation, anyone who uses e-cigarette products should not buy these products off the street (e.g., e-cigarette products with THC, other cannabinoids) and should not modify e-cigarette products or add any substances to these products that are not intended by the manufacturer.
3. Regardless of the ongoing investigation, e-cigarette products should not be used by youth, young adults, pregnant women, as well as adults who do not currently use tobacco products. If you use e-cigarette products, monitor yourself for symptoms (e.g., cough, shortness of breath, chest pain) and promptly seek medical attention if you have concerns about your health. CDC and FDA will continue to advise and alert the public as more information becomes available.

4. Adult smokers who are attempting to quit should use evidence-based treatments, including counseling and FDA-approved medications. If you who need help quitting tobacco products, including e-cigarettes, contact your doctor.
5. If you are concerned about harmful effects from e-cigarette products, call your local poison control center at: 1-800-222-1222.
6. We encourage the public to submit detailed reports of any unexpected tobacco or e-cigarette-related health or product issues to the FDA via the online Safety Reporting Portal:
<https://www.safetyreporting.hhs.gov>.

For More Information

- For assistance with managing patients suspected of illness related to recreational, illicit, or other drugs, call your local poison control center at: 1-800-222-1222.
- Information on electronic cigarettes and similar devices: <https://www.cdc.gov/e-cigarettes>
- CDC Press Statement: <https://www.cdc.gov/media/releases/2019/s0821-cdc-fda-states-e-cigarettes.html>
- CDC Clinical Outreach and Communication Activity announcement: <https://emergency.cdc.gov/newsletters/coca/081619.htm>
- CDC's National Syndromic Surveillance Program's BioSense/ESSENCE: <https://www.cdc.gov/nssp/index.html>
- For more information, visit CDC Info: <https://www.cdc.gov/cdc-info/index.html>

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The Centers for Disease Control and Prevention (CDC) protects people's health and safety by preventing and controlling diseases and injuries; enhances health decisions by providing credible information on critical health issues; and promotes healthy living through strong partnerships with local, national, and international organizations.

Categories of Health Alert Network messages:

Health Alert	Requires immediate action or attention; highest level of importance
Health Advisory incident or situation	May not require immediate action; provides important information for a specific
Health Update incident or situation	Unlikely to require immediate action; provides updated information regarding an
HAN Info Service	Does not require immediate action; provides general public health information

##This message was distributed to state and local health officers, state and local epidemiologists, state and local laboratory directors, public information officers, HAN coordinators, and clinician organizations##



STATES & LOCALITIES THAT HAVE RESTRICTED THE SALE OF FLAVORED TOBACCO PRODUCTS

Cigarettes with specific characterizing flavors, other than menthol, were prohibited in the U.S. on September 22, 2009, as part of the Family Smoking Prevention and Tobacco Control Act (TCA) that gave the U.S. Food and Drug Administration (FDA) authority over tobacco products. In addition to the federal ban on flavored cigarettes, states and localities can implement additional sales restrictions to address menthol cigarettes and flavored non-cigarette tobacco products and their appeal to youth and young adults.

In September 2019, Michigan became the first state to ban the sale of all flavored e-cigarettes as the result of an emergency order by the Governor. Another two states and over 220 localities have passed restrictions* on the sale of flavored tobacco products, although laws differ in their application to specific products and store types (see endnotes). Prior to the enactment of the Tobacco Control Act, New Jersey had already restricted the sale of flavored cigarettes, excluding menthol and clove flavors. Maine prohibits the sale of flavored non-premium cigars.

Over 50 of these communities—those listed in **bold**—restrict the sale of menthol cigarettes, in addition to other flavored tobacco products.

California (41)

1. **Alameda**
2. **Albany**
3. **Berkeley**¹
4. **Beverly Hills**
5. Cloverdale
6. **Contra Costa County**^{1,3}
7. **Corte Madera**
8. El Cerrito
9. Fairfax⁵
10. **Half Moon Bay**
11. **Hayward**¹
12. **Hermosa Beach**²
13. **Lafayette**
14. **Larkspur**
15. **Livermore**
16. **Los Gatos**²
17. **Manhattan Beach**²
18. **Marin County**³
19. **Mono County**³
20. Novato
21. **Oakland**²
22. **Palo Alto**²
23. **Portola Valley**
24. **Richmond**
25. **Sacramento**
26. **San Anselmo**
27. **San Carlos**
28. **San Francisco**
29. San Leandro
30. **San Pablo**
31. **San Rafael**
32. **San Mateo County**³

California (cont'd)

33. **Santa Clara County**^{2,3}
34. **Santa Cruz**
35. **Santa Cruz County**³
36. Saratoga
37. **Sausalito**
38. Sonoma⁵
39. West Hollywood¹
40. Windsor⁵
41. **Yolo County**³

Colorado (4)

1. **Aspen**
2. Boulder⁶
3. **Carbondale**
4. **Glenwood Springs**

Illinois (1)

1. **Chicago**^{1,2}

Massachusetts (161)

1. Adams²
2. Agawam²
3. Andover²
4. Amherst²
5. Arlington²
6. Ashburnham²
7. Ashby²
8. **Ashland**²
9. Athol²
10. Attleboro²
11. Avon²
12. Ayer²
13. **Barnstable**²

Massachusetts (cont'd)

14. Bedford²
15. Belmont²
16. Beverly²
17. Billerica²
18. Bolton²
19. Boston²
20. Braintree²
21. Brewster²
22. Brockton²
23. **Brookline**
24. Buckland²
25. Cambridge²
26. Canton²
27. Carver²
28. Charlemont²
29. **Chatham**²
30. Chelsea²
31. Chelmsford²
32. Clinton²
33. Cohasset²
34. Concord²
35. Conway²
36. Danvers²
37. Dedham²
38. Deerfield²
39. Dracut²
40. Duxbury²
41. Easthampton²
42. E. Longmeadow²
43. Easton²
44. Edgartown²
45. Essex²
46. Everett²

Massachusetts (cont'd)

47. Fairhaven²
48. Fitchburg²
49. **Framingham**²
50. Franklin²
51. Gardner²
52. Gill²
53. Gloucester²
54. Grafton²
55. Granby²
56. Greenfield²
57. Groton²
58. Hadley²
59. Halifax²
60. Hamilton²
61. **Harvard**²
62. Hatfield²
63. Haverhill²
64. Holbrook²
65. Holden²
66. Holyoke²
67. Hopkinton²
68. Ipswich²
69. Lancaster²
70. Lanesboro²
71. Lawrence²
72. Leominster²
73. Lee²
74. Lenox²
75. Leverett²
76. Lowell²
77. Ludlow²
78. Lynn²
79. Lynnfield²
80. Malden²
81. Marblehead²
82. Marion²
83. Marlboro²
84. Marshfield²
85. Mashpee²
86. Maynard²
87. Medfield²
88. Medford²
89. Melrose²
90. Methuen²
91. Middleton²
92. Millis²
93. Milton²
94. Montague²

Massachusetts (cont'd)

95. Natick²
96. **Needham**²
97. Newburyport²
98. Newton²
99. Norfolk²
100. North Adams²
101. North Andover²
102. North Attleboro²
103. Northampton²
104. North Reading²
105. Norton²
106. Norwell²
107. **Norwood**²
108. Oak Bluffs²
109. Orange²
110. Orleans²
111. Palmer²
112. Peabody²
113. Pittsfield²
114. Provincetown²
115. Reading²
116. Rockport²
117. Royalston²
118. Salem²
119. Sandwich²
120. Saugus²
121. **Sharon**²
122. Shelburne²
123. Sherborn²
124. **Somerville**²
125. Southampton²
126. South Hadley²
127. Spencer²
128. Stockbridge²
129. Stoneham²
130. Stoughton²
131. Stow²
132. Sudbury²
133. Sunderland²
134. **Swampscott**²
135. Templeton²
136. Tewksbury²
137. Topsfield²
138. Townsend²
139. Tyngsboro²
140. Upton²
141. Uxbridge²
142. Wakefield²
143. **Walpole**²

Massachusetts (cont'd)

144. Wareham²
145. Watertown²
146. Webster²
147. Wellfleet²
148. West Boylston²
149. Westboro²
150. Westford²
151. Westminster²
152. Westwood²
153. Whately
154. Wilbraham²
155. Williamstown²
156. Wilmington²
157. Winchendon²
158. Winchester²
159. Winthrop²
160. Worcester²
161. Yarmouth²

Minnesota (11)

1. **Arden Hills**
2. **Duluth**²
3. **Falcon Heights**²
4. **Lauderdale**²
5. **Lilydale**
6. **Mendota Heights**
7. **Minneapolis**²
8. Robbinsdale²
9. St. Louis Park
10. **St. Paul**²
11. Shoreview²

New York (2)

1. New York City^{2,4}
2. **Manheim**

Rhode Island (6)

1. Barrington²
2. Central Falls²
3. Johnston²
4. Middletown²
5. Providence²
6. Woonsocket²

MA localities courtesy of the Municipal Tobacco Control Technical Assistance Program. As of July 29, 2019 these policies cover over 67% of the state's population.

*The above list may not be comprehensive. It includes communities that have passed restrictions, but some have future implementation dates and/or are the subject of litigation.

Campaign for Tobacco-Free Kids, September 9, 2019 / Laura Bach

- ¹ Applies only to retailers within a certain distance of schools or youth oriented facilities.
- ² Exempts certain types of retailers, such as tobacco retailers (stores that receive a certain proportion of their revenue from tobacco), tobacco/smoking bars, e-cigarette establishments, adult-only retailers and/or liquor stores.
- ³ Applies only to retailers in unincorporated areas of the County.
- ⁴ Flavor restrictions do not apply to e-cigarettes.
- ⁵ Exempts the following products: pipe tobacco; chewing tobacco and cigars sold in packages of 5 or more units; and single cigars exceeding \$5.
- ⁶ Flavor restrictions only apply to e-cigarettes.



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Finance Department
SUBJECT: **Council Consideration of Resolution 2020-027 Approving the Cancellation Policy for the Summer Day Camp Program**

BACKGROUND:

On February 12, 2020, the City Council conducted a Public Hearing to consider an update to Junior Lifeguard and Summer Day Camp program fees. As part of the discussion during the Public Hearing, Council requested that Staff return with a cancellation policy for both programs.

The Junior Lifeguard Program currently has a cancellation policy for their summer program fees.

This item is before the City Council to consider approving Resolution 2020-027 (Attachment 1) adopting a Cancellation Policy for the Summer Day Camp Program.

DISCUSSION:

The current Junior Lifeguard Program cancellation policy has been in place since at least 2007 when the Active Network was setup for applicants to register their children. The Junior Lifeguard Program's cancellation policy includes the following requirements:

1. Refund requests are accepted from the date of purchase/registration to 30 calendar days before the scheduled session begins. A cancellation inside this timeline receives a full or 100% refund less a \$50 cancellation fee.
2. If the cancellation is requested within 29 calendar days of the start date of the session, no refund is given.

COUNCIL ACTION:

3. Cancellation requests are required to be in writing must be sent to jrguard@cosb.org.
4. The City may make exceptions to this policy on a case-by-case basis.

The Summer Day Camp Program also uses the Active Network for camp registrations. Staff is recommending that the Camp program use the same cancellation policy as the Junior Lifeguard Program. This will provide a consistent cancellation policy across both recreation programs. An email address for the Summer Day Camp Program will be established so that cancellation requests can be received by Staff via email.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The establishment of a cancellation policy for the Summer Day Camp Program will allow minimal cost recovery for the associated Camp and administrative services costs.

WORK PLAN:

This item is not mentioned in the Work Plan.

OPTIONS:


- Approve Staff recommendation.
- Deny Staff recommendation.
- Provide alternate direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider adoption of Resolution 2020-027 approving a Cancellation Policy for the Summer Day Camp program.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.

A handwritten signature in black ink, appearing to read "Gregory Wade", written over a horizontal line.

Gregory Wade, City Manager

Attachment:

1. Resolution No. 2020-027

RESOLUTION 2020-027

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE CANCELLATION POLICY FOR THE SUMMER DAY CAMP PROGRAM

WHEREAS, the Junior Lifeguard Program has a cancellation policy that has been used since 2007 when the Active Network was established to receive registrations and session fees; and

WHEREAS, the Summer Day Camp program also uses the Active Network for camp registrations and needs an updated cancellation policy; and

WHEREAS, Staff recommends the Summer Day Camp program's cancellation policy to mirror the Junior Lifeguard Program's cancellation policy to be consistent for both recreation programs.

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of Solana Beach, California, does hereby resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council approves the Summer Day Camp Program Cancellation Policy to mirror that of the Junior Lifeguard Program.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Solana Beach, California, this 26th day of February 2020, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: City Clerk's Office
SUBJECT: **Citizen Commission Vacancy: Public Arts Commission Appointment**

BACKGROUND:

This item is before the City Council to discuss and appoint a community member to serve out the remainder of an existing term on the Public Arts Commission. Commission member Maggie Brown officially resigned from the Public Arts Commission in February 2020. Her position's term expires at the end of January 2022.

DISCUSSION:

Appointments to City Commissions and Committees are conducted in accordance with Council Policy No. 5 - *Appointment of Private Citizens to Committees, Boards, Task Forces (Attachment 2)*. The Public Arts Commission's appointments are made by Council-at-large. A majority vote of the City Council is required for appointment

Noticing

On February 5, 2020, the City Clerk posted a Notice of Vacancy (Attachment 1), per Government Code 54974(a), with an application deadline of February 18th, in an effort to refill the position and bring the Commissions to full membership as quickly as possible. Recruitment notices were posted on the City's Official bulletin board, the City's website, and emailed twice via e-blast notice.

Applicant Submittals

As of the preparation of this report, four applications were received by the deadline and are listed on Attachment 3. If applications are received after the deadline they will be not be forwarded as Council no longer considers late applications.

Applications

An applicant status list (Attachment 3) is provided with this report. Applications are not posted online, but were submitted to Council for review and are available for public viewing at the City Clerk's Office.

CITY COUNCIL ACTION:

CEQA COMPLIANCE STATEMENT: Not a project as defined by CEQA.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Make an appointment to the vacancy.
- Extend the deadline for submittal of additional applications.

DEPARTMENT RECOMMENDATION:

Staff recommends that City Council appoint one (1) member to the **Public Arts** Commission nominated/appointed by *Council-at-large* for a term ending January 2022.

CITY MANAGER'S RECOMMENDATION:

Approve Department recommendation.



Gregory Wade, City Manager

Attachment:

1. Vacancy Notice
2. Council Policy No. 5
3. List of Applicants
4. Applications

CITY OF SOLANA BEACH RESIDENT VOLUNTEERS



PUBLIC NOTICE of Citizen Commission Vacancy

Opportunity to serve on a Solana Beach Citizen Commission

NOTICE IS HEREBY GIVEN, pursuant to California Government Code §54974 that one (1) unscheduled vacancy exists on the Public Arts Commission.

PUBLIC ARTS COMMISSION – One (1) position with a term expiring at the end of January 2022. This Commission participates in reviewing certain matters regarding community art opportunities and conducts certain City events.

Duties: At the direction of the City Council, this Commission provides input and recommendations concerning local public art projects, installations, temporary art, the Public Art Master Plan, the City hall art gallery exhibit selections, and various art events sponsored by the City.

Appointment: This appointee would complete the remaining period of the current term, which will expire at the end of January 2022 or when new or re-appointments are made, whichever occurs first. If you are appointed and interested in continuing beyond the expired term, you will be able to complete a short re-appointment application for consideration by Council. This position is appointed by Council-at-large upon a majority approval of the City Council.

Application Requirements: Seven members. **Members must be at least 18 years old and a city resident within the City of Solana Beach.** All members are appointed by the Council-at-large. Each position has a two-year term.

Meetings: Currently the regularly scheduled meeting of this group is on the fourth Tuesday of each month at 5:30 p.m. at City Hall. The first regularly scheduled meeting of this Commission following this pending appointment date is scheduled for March 24, 2020, or any Special Meeting that might be called before then.

Staff Liaison – Kayla Moshki 858-720-2438

Application Deadline: Applications are being accepted through Tuesday, February 18, 2020, at 5:30 p.m. The Appointment is currently scheduled to take place at the February 26, 2020 City Council Meeting.

Citizen Interest Forms/Applications and a summary of all requirements (SBMC 2.60) and duties can be obtained on the City's Website at www.cityofsolanabeach.org (click on city government, city clerk, citizen commissions), or by contacting the front desk at City Hall, 635 S. Highway 101, Solana Beach, (858) 720-2400.

If you have questions about this appointment process or member requirements, please contact Angela Ivey, City Clerk, OR if you have specific questions about the Commissions, contact the Commission Liaisons noted above.



I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that I caused to be posted the foregoing Notice on Wednesday, February 5, 2020 pursuant to the requirements of the California Government Code. Angela Ivey, City Clerk

CITY OF SOLANA BEACH	Policy No. 5
COUNCIL POLICY	Adopted: May 15, 1989 Revised: January 23, 2008 by Resolution 2008-23
GENERAL SUBJECT: Citizen Boards, Commissions & Committees	
SPECIFIC SUBJECT: Appointments of Citizens to Boards, Commissions, Committees and Task Forces.	

PURPOSE:

The purpose of this policy is to establish a consistent process and procedure for appointments to City sponsored Citizen Boards, Commissions, Committees and Task Forces.

POLICY STATEMENT:

Appointments to Citizen Boards, Commissions, Committees and Task Forces are made in accordance with the municipal code and/or specific guideline, as provided, to provide consistency.

POLICY PROCEDURES:

1. All private citizens interested in serving on any Board, Commission, Committee or Task Force or similar group must complete and file with the City Clerk a Citizen Interest Form (application) which may be obtained from the City Clerk's office.
2. Nominations
Councilmembers may nominate private citizens for appointment subject to ratification by a majority of the City Council. Such ratification shall take place at a regular City Council meeting and a duly docketed agenda item.
3. Appointment Protocol
 - a. Appointments will be made in accordance with municipal code requirements. For example, the municipal code may require that a Commission have five positions appointed by individual Councilmembers.
 - b. Appointments that are not outlined in the municipal code and are at-large appointment positions may be nominated by any Councilmember. In the event of multiple appointments, appointments may be divided among individual Councilmembers to share the appointment responsibilities. If the appointments are

shared, it will be for that one time and will not be construed as official individual appointments that would carry forward.

- c. The decision to proceed with an individual appointment alternative for at-large positions will be subject to majority vote of the City Council with such vote taking place at a regular City Council Meeting.

4. Appointments to Outside Agencies

When the City is asked by an outside agency to recommend a private citizen to serve on a Board, Commission, Committee or Task Force or similar group, such recommendation shall be made by the Council and approved by a majority vote of the City Council.

**City of Solana Beach
Citizen Commission Members
Appointed by City Council**

Deadline – February 18, 2020 5:30 p.m.

LIST OF APPLICANTS

Public Arts Commission Applicants		Application Received
Last Name	First Name	
Gleason	Matthew	2-10-2020
Hethcock	Shawn	2-14-2020
Barnett	Marilyn	2-18-2020
Shilling	Halle	2-18-2020

ATTACHMENT 4

Applications

***This attachment is available for
viewing at the City Clerk's Office***

City of Solana Beach
635 S. Highway 101, Solana Beach, CA 92075
858-720-2400