



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY

AGENDA

Joint REGULAR Meeting

Wednesday, April 22, 2020 * 6:00 p.m.

Teleconference Location Only-City Hall/Council Chambers, 635 S. Highway 101, Solana Beach, California
This meeting will be conducted in accordance with Governor Newsom's
Executive Order N-29-20 and N-33-20 related to the COVID-19 virus.

PUBLIC MEETING ACCESS

Live Broadcast on Local Government Channel, Live web-streaming, and Archived videos online.

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live on Cox Communications-Channel 19, Spectrum(Time Warner)-Channel 24, and AT&T Universe Channel 99. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

MEETING LOCATION WILL NOT BE OPEN TO THE PUBLIC.

Due to the Executive Order to stay home, in person participation at City Council meetings will not be allowed at this time. In accordance with the Executive Order to stay home, there will be no members of the public in attendance at Council Meetings. Alternatives to in-person attendance for viewing and participating in City Council meetings are being provided under Public Participation.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is posted online www.cityofsolanabeach.org Closed Session Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings.

PUBLIC PARTICIPATION

* Written correspondence regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at EMAILGRP-CityClerksOfc@cosb.org. Correspondence received after the official posting of the agenda, but before 12:00 p.m. on meeting day, will be distributed to Council and made available to the public online among with the agenda posting. The designated location for viewing public documents is the City's website www.cityofsolanabeach.org

SPECIAL ASSISTANCE NEEDED - AMERICAN DISABILITIES ACT TITLE 2

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's office (858) 720-2400 EMAILGRP-CityClerksOfc@cosb.org at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set cellular phones and pagers to silent mode and engage in conversations outside the Council Chambers.

CITY COUNCILMEMBERS

Jewel Edson, **Mayor**

Judy Hegenauer, **Deputy Mayor**

Kristi Becker, **Councilmember**

Kelly Harless, **Councilmember**

David A. Zito, **Councilmember**

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

ORAL COMMUNICATIONS:

Written correspondence may be submitted for Oral Communications.

See [Public Participation](#) on the front page for information on how to submit public comment.

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business but not appearing on today's agenda. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment submittals. Council may refer items to the City Manager for placement on a future agenda.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.6.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting written correspondence to the City Clerk's Office.

See [Public Participation](#) on the front page for information on how to submit public comment.

Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Minutes of the City Council. (File 0300-30)

Recommendation: That the City Council

1. Approve the Minutes of the City Council Meeting held February 26, 2020.

Item A.1. Report (click here)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for March 21, 2020 – April 03, 2020.

Item A.2. Report (click here)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The

final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Skipped number.

A.5. TransNet Funds Transfer. (File 0390-35)

Recommendation: That the City Council

1. Adopt **Resolution 2020-040** approving the transfer of \$2,420 of TransNet funds from the Stevens-Valley Corridor Improvement Project (SANDAG MPO ID SB17) to the Pavement Resurfacing Project (SANDAG MPO ID SB16).

[Item A.5. Report \(click here\)](#)

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A.6. Regular Council Meetings Temporary Time Change. (File 0410-05)

Recommendation: That the City Council

1. Adopt **Resolution 2020-043** to establish a 4:00 p.m. start time for the regular City Council meetings on a temporary basis.

[Item A.6. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B. PUBLIC HEARINGS: (B.1. – B.3.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue, as required by law after proper noticing by, by submitting written comments.

See [Public Participation on the front page for information on how to submit public comment.](#)

After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210.

B.1. Public Hearing: 675 Glenmont Dr., Applicant: Roemmich-Nottingham, Case: DRP 19-004. (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-024** conditionally approving a DRP to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.2. Public Hearing: 447 E. Cliff Street, Applicant: Davis, Case: MOD 19-002, SDP 20-004. (File 0600-40)

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue a SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-039** conditionally approving a MOD to the Resolution 2015-35 conditions of approval and approving an addition of 95 square feet to an existing Accessory Living Unit (ALU) and administratively approving a SDP located on property at 447 E. Cliff Street.

[Item B.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

B.3. Public Hearing: *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2021 through 2025. (File 0820-90)

Recommendation: That the City Council

1. Conduct the Public Hearing: Open the Public Hearing, Report Council disclosures, Receive public testimony, and Close the Public Hearing.
2. Consider Adoption of **Resolution 2020-041**, approving the *TransNet* Local Street Improvement Program list of projects for Fiscal Years 2021 through 2025.

[Item B.3. Report \(click here\)](#)

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C. STAFF REPORTS: (C.1. – C.2.)

See [Public Participation](#) on the front page for information on how to submit public comment.

C.1. Solana Energy Alliance (SEA) 2/12/20 Quarterly Update Follow Up. (File 1010-45)

Recommendation: That the City Council

1. Provide direction regarding the rate discount to apply in developing an adjusted rate schedule.
2. Direct Staff to schedule a rate public hearing with an updated rate schedule reflecting Council direction at the May 13, 2020 City Council meeting.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. Consideration of Resident & Business Relief Measures Related to COVID-19 (added 4-17-20)

[Item C.2. Report \(click here\)](#)

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WORK PLAN COMMENTS:

Adopted June 12, 2019

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Edson, Alternate-Zito
- b. County Service Area 17: Primary- Harless, Alternate-Edson
- c. Escondido Creek Watershed Authority: Becker /Staff (no alternate).
- d. League of Ca. Cities' San Diego County Executive Committee: Primary-Becker, Alternate- Harless and any subcommittees.

- e. League of Ca. Cities' Local Legislative Committee: Primary-Harless, Alternate-Becker
- f. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-Becker, Alternate-Harless
- g. North County Dispatch JPA: Primary-Harless, Alternate-Becker
- h. North County Transit District: Primary-Edson, Alternate-Becker
- i. Regional Solid Waste Association (RSWA): Primary-Hegenauer, Alternate-Becker
- j. SANDAG: Primary-Zito, 1st Alternate-Edson, 2nd Alternate-Becker, and any subcommittees.
- k. SANDAG Shoreline Preservation Committee: Primary-Hegenauer, Alternate-Zito
- l. San Dieguito River Valley JPA: Primary-Hegenauer, Alternate-Zito
- m. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- n. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Harless

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson.
- b. Fire Dept. Management Governance & Organizational Evaluation – Harless, Hegenauer
- c. Highway 101 / Cedros Ave. Development Committee – Edson, Becker
- d. Parks and Recreation Committee – Zito, Harless
- e. Public Arts Committee – Edson, Hegenauer
- f. School Relations Committee – Hegenauer, Harless
- g. Solana Beach-Del Mar Relations Committee – Zito, Edson

ADJOURN:

Always refer the City's website Event Calendar for Regular or Special Meetings or an updated schedule. Or Contact City Hall 858-720-2400

www.cityofsolanabeach.org

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA }
 COUNTY OF SAN DIEGO } §
 CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the April 22, 2020 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on April 16, 2020 at 2:40 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., April 22, 2020, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk * City of Solana Beach, CA

CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events Calendar for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT
AGENCY, PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



MINUTES

Joint Meeting - Closed Session
Wednesday, February 26, 2020 5:00 p.m.
City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

<u>CITY COUNCILMEMBERS</u>		
Jewel Edson, Mayor		
Judy Hegenauer, Deputy Mayor		Kristi Becker, Councilmember
Kelly Harless, Councilmember		David A. Zito, Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 5:02 p.m.

- Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito
- Absent: None
- Also Present: Gregory Wade, City Manager
- Present: Johanna Canlas, City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

CLOSED SESSION:

- 1. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION**
Pursuant to Government Code Section 54956.9(d)(4)
One (1) Potential case(s).
- 2. REAL PROPERTY NEGOTIATION – Added 2-24-2020**
APN Nos. 263-352-020 to 263-352-070
Lease price and terms
Negotiators:
Matthew Tucker, North County Transit District
Gregory Wade, City of Solana Beach
- 3. REAL PROPERTY NEGOTIATION – Added 2-24-2020**
APN NO. 298-010-63-00
Lease price and terms
Negotiators:
Nicole Forrest, White Forrest, LLC
Gregory Wade, City of Solana Beach
- 4. CONFERENCE WITH LEGAL COUNSEL – INITIATION OF LITIGATION**
Pursuant to Government Code Section 54956.9(d)(4)
One (1) Potential case(s).

ADJOURN:

Mayor Edson adjourned the meeting at 5:58 p.m.

Angela Ivey, City Clerk

Approved: _____

CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



MINUTES

Joint REGULAR Meeting

Wednesday, February 26, 2020 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

CITY COUNCILMEMBERS

Jewel Edson, Mayor

Judy Hegenauer, Deputy Mayor

Kristi Becker, Councilmember

Kelly Harless, Councilmember

David A. Zito, Councilmember

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Edson called the meeting to order at 6:10 p.m.

Present: Jewel Edson, Judy Hegenauer, Kristi Becker, Kelly Harless, David A. Zito
Absent: None
Also: Gregory Wade, City Manager
Present: Johanna Canlas, City Attorney

CLOSED SESSION REPORT: None

FLAG SALUTE:

APPROVAL OF AGENDA:

Motion: Moved by Councilmember Zito and second by Councilmember Becker to approve. **Approved 5/0.** Motion carried unanimously.

ORAL COMMUNICATIONS:

This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Comments relating to items on this evening's agenda are taken at the time the items are heard. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

Susan Murfin spoke about increased parking at the trailhead of Annie's Canyon and safety issues and quality of life concerns. She submitted some photos and a list of people requesting that something be done about the issue.

Rosemary Mancuso spoke about speeding on Rios, parking in front of driveways and fire hydrants, the safety concerns for visitors and residents, and suggesting a stop sign at the intersection of Rios and Seabright Lane and speed bumps on Rios to cut down the speed.

Jane Sinclair spoke about concerns for excessive parking and safety, garbage unable to be collected because parked cars blocked accessibility, and asked to clarify parking regulations.

Dean Russell spoke about the activity being like a Fiesta Del Sol at the end of the street and it was getting worse every weekend.

Jerri Jellison spoke about the west side of Rios having no curb and sidewalks so parking consumes a major part of the southbound lane, the danger for children, and suggested making it illegal to park on the ocean side of Rios where the worse of the problem exists.

Cathy Gill spoke about the safety concerns, that a serious accident was waiting to happen on this street, and the issue needed to be rectified.

Bridgette Pfailil spoke about the North Rios issues and said they were like living next to Disneyland.

Brett Gobar spoke about encouraging voters in the City of Del Mar to vote No on Proposition G, the neighborhood being disturbed by a massive intrusion of lagoon hikers, considering a trial parking at CDC, seaside beach, or train station parking lots, proposing no neighborhood parking between 10:00 a.m. and 3:00 p.m. and be metered at \$20 per half hour, and parking fees be given to ecological storm drain filers feeding the lagoon and coastal drain.

Marc Friedman spoke about heavy traffic days, grid lock at the end of North Rios, difficulty for drivers turning around, dropping off, and opening car doors, the trailhead at Solana Hills was closed and directed all visitors to this trailhead making it much busier, and encouraged public communication, alternate entrances, and updates on the lagoon's website and their email lists to educate visitors about parking.

Juelle Penaranda spoke about parking all along their corner house, that their own three young children could no longer safely ride bikes on the street due to the amount of people and speeding cars, and there was no space for friends to park for a birthday party at their house.

Sean Pope spoke about the huge issue in this area and suggestions of permit only parking, space for guests, metered parking, and dedicated parking.

Kristen Pope submitted some pictures of parking in the area to display what was going on during the weekends, and spoke about the increase in cigarette butts on the ground, having told people to not smoke in the lagoon, increasing ranger patrol more on the weekends and sunset hours, and larger signage about a significant penalty for smoking in the lagoon.

Lisa Nicholas spoke about the parking problem, people moving residents' garbage cans into their driveways, the safety concern for the children, and have someone quality control speed and issues.

Tom Nicholas spoke about concerns of witnessing near misses of accidents, the driveways used for a three-point turn, moving trash cans into driveways from their place in the street designated for pickup, and the eventual injury or accident from the excessive activity.

Ronan Brown spoke about agreeing with all of the comments, wanting people to enjoy the area, better management of the area was needed to help control the amount of people and cars.

Leila Maulik spoke about having four young children, purchasing her home ten years ago, the neighborhood was quiet and hidden away, the area now having constant traffic on any weekend or holiday, garbage and dog waste everywhere, that it would get worse with all of the posting of photos advertising the area and the cool hike and short distance from the entrance.

Doris Amam-Hillert, from the Solana Beach Library, announced the location as a ballot drop off and the Census 2020 and encouragement of involvement to ensure appropriate funding for the area.

Steve Ostrow spoke about the success of the Harbaugh Trails event including that attendees walked their dogs on leashes, considering allowing an area for an off-leash dog park in an area like the property north of La Colonia Park, and that it would be an asset to the community.

Valeri Paul presented a PowerPoint and spoke about serving on the Parks and Recreation Commission and recent requests at meetings from the community to look into a pickle ball court, and asked City Council to look into how to add a potential pickle ball court.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendaized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.4.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be discussed immediately after approval of the Consent Calendar.

A.1. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for January 25, 2020 – February 7, 2020.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Zito and second by Councilmember Harless to approve. **Approved 5/0.** Motion carried unanimously.

A.2. General Fund Adopted Budget for Fiscal Year 2019-2020 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2019-2020 General Fund Adopted Budget.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Zito and second by Councilmember Harless to approve. **Approved 5/0.** Motion carried unanimously.

A.3. Emergency Corrugated Metal Pipes (CMP) Storm Drain Repairs – Notice of Completion. (File 0850-40)

Recommendation: That the City Council

1. Adopt **Resolution 2020-025:**
 - a. Accepting as complete the Emergency Corrugated Metal Pipe Storm Drain Repairs constructed by PAL General Engineering, Inc.
 - b. Authorizing the City Clerk to file a Notice of Completion.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Zito and second by Councilmember Harless to approve. **Approved 5/0.** Motion carried unanimously.

A.4. Adjustments to the Current Fiscal Year (FY) 2019/20 Seasonal/Temporary Salary Schedule, Management Salary Schedule, and Adding a Senior Civil Engineer Position to the Classification Plan. (File 0520-10, 0510-20)

Recommendation: That the City Council

1. Adopt **Resolution 2020-020:**
 - a. Approving Salary Adjustments to the FY 2019/20 Part-Time/Temporary/Seasonal Salary Schedule and authorizing the City Manager to make any subsequent changes to the Salary Schedule in accordance with applicable laws.
 - b. Approving and adopting the creation and addition of the Senior Civil Engineer classification and position.
 - c. Approving and adopting the pay grade change on the FY 2019/20 Management Salary Schedule.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Zito and second by Councilmember Harless to approve. **Approved 5/0.** Motion carried unanimously.

C.5. Citizen Commission Vacancy: Public Arts Commission Appointment. (File 0120-06)

Recommendation: That the City Council

1. Appoint one (1) member to the Public Arts Commission nominated/appointed by *Council-at-large* for a term ending January 2022.

[Item C.5. Report \(click here\)](#)

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Shawn Hethcock spoke about her application for the Public Arts Commission, her experience teaching and collecting art, and her interest in serving.

Motion: Moved by Councilmember Becker and second by Deputy Mayor Hegenauer to appoint Shawn Hethcock. **Approved 5/0.** Motion carried unanimously.

B. PUBLIC HEARINGS: (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. All other speakers have three minutes each. Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 675 Glenmont Dr., Applicant: Roemmich-Nottingham, Case DRP19-004, V19-001 (File 0600-40)

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and VAR. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2020-024** conditionally approving a DRP and VAR to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Mayor Edson opened the public hearing. Council disclosures.

Greg Wade, City Manager, introduced the item.

Katie Benson, Sr. Planner, presented a PowerPoint (on file) reviewing the project.

Council and Staff discussed the reconstruction of the roof to replace what was removed, which was nonconforming, without changing the size or degree of nonconformity, that nonconforming use could be changed without increasing the size or degree of use, variance request was for the nonconformity of the existing encroachment into the front yard setback to be increased in size and degree, the structural elements were currently removed from the roof, that if the roof was replaced to its exact original condition then it would not increase the nonconformity and not require a variance, calculations for determining where the front of the house faced on a triangular property with three surrounding streets, and how the property was addressed on Glenmont rather than Holmwood.

John Kavan, Applicant's Architect, spoke about the intent to keep the size of the nonconforming area would cause disjointed architecture and design, the proposal to change the appearance of the roof by changing the pitch, many properties in the area did not have the condition for the entire front of the house facing the street with an encroachment of 5 ft., their meetings with Planning establishing the front setbacks before they began design, the very end of the plan review when the Planning department stated that it was not consistent, and the request for a variance consideration due to the site conditions of the front setback.

Council, Staff, and Applicant discussed the initial discussion with the City regarding nonconformity and they could not increase the size or degree of nonconformity, starting construction without permits due to a lack of a stamp transfer, that the Applicant took responsibility for being incorrect in his assumption that it was okay to proceed, the intention to insulate the roof which required it to be altered, review of the City's Municipal Code which was clear about nonconforming structures, the code discusses size or intensity and the applicant did not apply height to this interpretation, the roof being stripped to a skeleton was not what was instructed to the contractor who did it, consider moving the structure out of the front yard setback since the backyard had an 85 ft. setback but with more topography

Rik Floyd said they were neighbors to the property and supported the project.

Council discussed the Planning Staff's thoroughness of the rules of nonconforming structures, how to make it clear that size or degree included additional height, the benefit of building a modest house, concerns of increasing the size of the nonconformity, the height that was not clear without story poles that were not required, considering a condition that if additional square footage was requested on this property in the future that it would be required to come before Council for a discretionary permit, the setback would potentially set a precedent, the benefit of the energy conservation efforts, that financial hardship was not a consideration for a variance, the property is slightly unique but there was still a lot of flat land that could be moved around, appreciate not building setback to setback, and the need to build within the buildable portion of the lot.

Dean Roemmich, owner, spoke about the house being built in 1955 and was quite old with the interior utilities failing, their need to renew it and not move it, and that changing the design would be costly and they would be forced to move rather than do a redesign.

Council and Applicant discussed termite and water damage in need of repair, the unfortunate situation the Applicant was in, rebuilding the roof as it was before, variance request with the height increase was not supported by the majority of Council, make sure the setback area was not increasing the degree of nonconformity, and the Applicant would be amendable to a redesign with the front yard roof pitch remaining and slope the roof back from that point.

Motion: Moved by Councilmember Zito and second by Councilmember Becker to extend the hearing to a date not certain and return with a revised redesign. **Approved 5/0.** Motion carried unanimously.

Motion: Moved by Councilmember Harless and second by Deputy Mayor Edson Hegenauer to move Item C.3. to hear at this time. **Approved 5/0.** Motion carried unanimously.

C.3. Introduce (1st Reading) Ordinance 513 to Prohibit the Sale and Distribution of Flavored Tobacco Products. (File 0230-10)

Recommendation: That the City Council

1. Introduce **Ordinance 513** adding Chapter 6.18 to the Solana Beach Municipal Code to prohibit the sale and distribution of flavored tobacco products.

[Item C.3. Report \(click here\)](#)

[Item C.3. Supplemental Docs \(Updated 2-25-20\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Johanna Canlas, City Attorney, introduced the item

Debra Schade spoke of her support as a member of San Dieguito Alliance for Drug Free Youth, President of the Solana Beach Schoolboard, and a parent, and that e-cigarettes had been the more frequently used by teenagers since 2014 due to the packaging resembling USB drives, and e-cigarettes was called an epidemic by the U.S. Surgeon General.

Hazell Belvin, American Lung Association, spoke of her support which would limit exposure and access to smoking in youth, reduce risk of chronic diseases such as cancer, and hearth disease, and that flavored tobacco products hooks kids and plays a key role in enticing children into nicotine addiction.

Grace Rapp said she was a local high school student, that vaping was a huge problem in high school, vaping products were easily obtained from older siblings and local tobacco stores, sweet smells of products are often in the hall at school, they attract kids for social

acceptance and say that it eases their anxiety, and the tobacco industry was catering to kids.

Becky Rapp submitted a handout (on file) and said that she was a mother and public health educator, that she was concerned about this public health crisis, rising use was a detriment to physical and mental health, that 80% of young people who used tobacco started with a flavored product, 74% of youth said that they obtained a flavored tobacco product called Jewel at a store or retail outlet rather than online, the latest vaping product was a puff bar that was similar to Jewel, and that a ban on all flavored e-cigarettes would be a benefit to public health, especially to the youth.

Sadie Sutherland said she was a local high school junior, that vaping was a norm among teens, school restrooms smelled like fruit and artificial flavors as it was the typical hangout, the puff bar was the most common on her campus since it was cheap and came in various flavors, and that the ban would send a message to teens that Solana Beach cared about them.

Kathleen Kippett said that she was a public health practitioner with Coastal Communities Drug Free Coalition raising public health awareness, the ban set a high community standard for other cities, that Solana Beach was the first to ban smoking on the beach and other cities followed, and the ban would discourage access and use of unhealthy behaviors.

Peggy Walker, San Dieguito for Drug Free Youth, said that she had worked in youth tobacco use prevention education for many years, that tobacco rates were at an all-time low 10 years ago until they have returned with the introduction of vaping products and flavored tobacco products, and that public health workers and environmentalists are reporting that these products now presented a significant e-hazard waste issue.

Judi Strang, San Dieguito for Drug Free Youth, showed a puff bar that smelled wonderful which encouraged use, that they started about 30 years ago, she started as a social worker and moved into public health, use rates among alcohol and tobacco were high, that smoking behavior was a drug acquisition skill, and the ban would interrupt a drug acquisition activity among youth.

TerriAnn Skelly submitted a handout (on file) and said she was a mother and a public health educator, that the youth vaping epidemic came out of nowhere and was up 25% in one year, asked Council to send a letter of support to State Senate Bill 793, and that Council consider writing the opposition language for the November ballot measure that would bring marijuana to store fronts in Solana Beach.

Council and Staff discussed that the ban was on tobacco product that would include puff bars, it was a comprehensive in anticipation that the industry would bring new products in the future, that tobacco companies target teens, that tobacco retailers in Solana Beach must obtain a tobacco retailer license from the City, and that outreach began with the six local retailers.

Motion: Moved by Councilmember Becker and second by Councilmember Harless to approve. **Approved 5/0.** Motion carried unanimously.

C. STAFF REPORTS: (C.1. – C.5.)

Submit speaker slips to the City Clerk.

C.1. Fiscal Year (FY) 2019-2020 Mid-Year Budget Adjustments. (File 0330-30)

Recommendation: That the City Council

1. Adopt **Resolution 2020-026** revising appropriations in the Fiscal Year 2019/20 Budget.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Marie Berkuti, Finance Manager, presented a PowerPoint (on file)

Council and Staff discussed some pending payments to the City.

Motion: Moved by Councilmember Zito and second by Councilmember Harless to approve. **Approved 5/0.** Motion carried unanimously.

C.2. Revised Climate Adaptation Chapter Amending the 2017 Climate Action Plan and Receive the 2019 Climate Action Plan Update. (File 0410-05)

Recommendation: That the City Council

1. Adopt **Resolution 2020-021** and receive the 2019 CAP Update report.

[Item C.2. Report \(click here\)](#)

[Item C.2. Supplemental Docs \(Updated 2-26-20\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item.

Rimnga Viskanta, Sr. Management Analyst, presented a PowerPoint (on file).

Council and Staff discussed receiving PED funds, City's fleet vehicles, grey water systems, potable reuse as a top priority and identifying sources for it, storage in relation to storm water, and providing a preferred list of trees in Solana Beach for indigenous benefits.

Motion: Moved by Deputy Mayor Hegenauer and second by Councilmember Becker to approve. **Approved 5/0.** Motion carried unanimously.

C.4. Cancellation Policy for the Summer Day Camp Program. (File 0390-23)

Recommendation: That the City Council

1. Adopt **Resolution 2020-027** approving a Cancellation Policy for the Summer Day Camp Program.

[Item C.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Greg Wade, City Manager, introduced the item.

Council and Staff discussed the cancellation fee being a deterrent to signing up too early and cancelling at the last minute, easing into the fee and raising it later, that the camps were inundated and filled immediately each year, that the current fee of \$25 was not a deterrent and consider a more stringent fee, and to adjust it each year to increase its affect.

Motion: Moved by Councilmember Zito and second by Mayor Edson to approve a \$50 cancellation fee. **Approved 4/1 (Noes: Harless).** Motion carried.

WORK PLAN COMMENTS:

Adopted June 12, 2019

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

ADJOURN:

Mayor Edson adjourned the meeting at 9:43 p.m.

Angela Ivey, City Clerk

Approved:



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands- 03/21/20 through 04/03/20

Check Register-Disbursement Fund (Attachment 1)		\$	233,138.88
Retirement Payroll	March 26, 2020		9,648.00
Health Insurance for April	April 1, 2020		47,547.19
Net Payroll	April 3, 2020		203,255.76
Federal & State Taxes	April 3, 2020		51,530.19
PERS Retirement (EFT)	April 3, 2020		47,861.72

TOTAL		\$	<u>592,981.74</u>
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DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for March 21, 2020 through April 3, 2020 reflects total expenditures of \$592,981.74 from various City funding sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

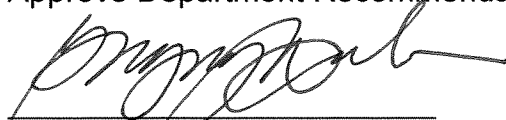
- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: Finance
SUBJECT: **Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2019/20**

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget.

The information provided in this Staff Report lists the changes made through April 8, 2020.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 12, 2019 (Resolution 2019-085) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of April 8, 2020						
Action	Description	Revenues	Expenditures	Transfers from GF		Net Surplus
Reso 2019-085	Adopted Budget	19,357,000	(19,141,500)	(151,100)	(1)	\$ 64,400
Reso 2020-026	FY2019/20	656,100	(502,700)	-		217,800
	(1) Transfers to:					
	Debt Service for Public Facilities		151,100			
				151,100		

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

N/A

COUNCIL ACTION:

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2019-2020 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: Finance Department
SUBJECT: **Council Consideration of Resolution No. 2020-040 - Approval of TransNet Fund Transfer**

BACKGROUND:

The San Diego Association of Governments (SANDAG) is required by state and federal laws to develop and adopt a Regional Transportation Improvement Program (RTIP) every two years. The RTIP is a multi-year program of proposed major highway, arterial, transit, and bikeway projects including the *TransNet* Program of Projects. The current 2018 RTIP was adopted by the SANDAG Board on September 28, 2018 and covers the five-year fiscal period 2018/19 through 2022/23. The RTIP includes projects funded by the 2004 Proposition A (TransNet Extension).

This item is before the City Council to consider adopting Resolution No. 2020-040 (Attachment 1) which would transfer funds to a current ongoing TransNet-funded project from a completed TransNet-funded Capital Improvement Project.

DISCUSSION:

The Stevens-Valley Corridor Improvement Project (SANDAG MPO ID SB17) is completed and was closed in 2018 with the adoption of the current 5-year RTIP. The project has a positive balance of \$2,420 in the TransNet Account. The proposed transfer will move the \$2,420 from the Stevens-Valley account into the Pavement Resurfacing Project (SANDAG MPO ID SB16), an ongoing project annually funded through 2023.

CEQA COMPLIANCE STATEMENT

Transfer of funding between projects does not require a CEQA determination. Environmental review will be addressed prior to City Council approval to advertise construction bids for each of the other projects listed in the RTIP.

CITY COUNCIL ACTION:

FISCAL IMPACT:

The Staff recommended transfer of \$2,420 of TransNet funds from the Stevens-Valley Corridor Improvement Project (SANDAG MPO ID SB17) to the Pavement Resurfacing Project (SANDAG MPO ID SB16) is needed to reconcile the remaining balance and to satisfy the TransNet Ordinance accounting and audit requirements.

WORK PLAN:

N/A

OPTIONS:


- Approve Staff recommendation.
- Deny Staff recommendation.
- Provide alternative direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that City Council adopt Resolution 2020-040 approving the transfer of \$2,420 of TransNet funds from the from the Stevens-Valley Corridor Improvement Project (SANDAG MPO ID SB17) to the Pavement Resurfacing Project (SANDAG MPO ID SB16).

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments

1. Resolution No. 2020-040

RESOLUTION 2020-040

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE TRANSFER OF TRANSNET FUNDS FROM A COMPLETED RTIP PROJECT TO ANOTHER ELIGIBLE TRANSNET PROJECT

WHEREAS, on November 4, 2004, the voters of San Diego County approved the San Diego Transportation Improvement Program Ordinance and Expenditure Plan (TransNet) extension, and the 2018 Regional Transportation Improvement Program (RTIP) was adopted by the SANDAG Board on September 28, 2018; and

WHEREAS, the City of Solana Beach has completed the previously programmed Stevens-Valley Corridor Improvement Project, which has a positive balance of \$2,420 on the SANDAG fiscal and compliance audit; and

WHEREAS, to comply with a SANDAG fiscal and compliance audit, the funds from the completed RTIP project need to be transferred in order to reconcile the positive balance.

NOW, THEREFORE, the City Council of the City of Solana Beach does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Council approves the transfer of \$2,420 of TransNet funds from the Stevens-Valley Corridor Improvement Project (SANDAG MPO ID SB17) to the Pavement Resurfacing Project (SANDAG MPO ID SB16).

PASSED AND ADOPTED this 22nd day of April 2020, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: City Manager's Office/City Attorney's Office
SUBJECT: **Consideration of Resolution No. 2020-043 Establishing City Council Meetings Start Time at 4:00 p.m. on a Temporary Basis**

BACKGROUND:

Solana Beach Municipal Code section 2.04.070 provides that the city council shall hold regular meetings in the council chambers of City Hall, 635 South Highway 101, in the city or at such other place as may be determined by the council on the day and time set by the council by resolution.

On March 4, 2020, Governor Gavin Newsom declared Governor Gavin Newsom proclaimed a State of Emergency to exist in California as a result of the threat of COVID-19. Subsequently, the City of Solana Beach declared a local emergency on March 16, 2020. On March 19, 2020, a statewide public health order to "stay-at-home" was issued. On April 9, 2020, the County of San Diego Public Health Officer issued an Amended Health Order prohibiting all public or private gatherings.

On March 17, 2020, Governor Newsom issued Executive Order N-29-20 waiving certain provisions of the Brown Act including the physical presence requirements of members of the City Council, the clerk or other personnel of the City and the public. It superseded the requirement of Executive Order N-25-20 to have at least one publicly accessible location during the meeting. Consequently, City Council meetings are being held virtually via teleconference for the duration of the public health emergency.

The item is before the Council to consider an earlier start time to 4:00 p.m. for its regular meetings on the second and fourth Wednesdays of the month on a temporary basis.

COUNCIL ACTION:

DISCUSSION:

The City Council regular meetings are held on the second and fourth Wednesdays of the month and start at 6 p.m. With the current Public Health Orders mandating California and San Diego County residents to stay at home and not to conduct non-essential travel, the earlier start time will not impact public participation in the Council meetings. All public comments are required to be submitted in writing and in advance of the meetings. Correspondence received are posted online and distributed to the members of City Council.

It is anticipated that the Council meetings will revert back to the 6:00 p.m. start time when the stay-at-home order and restrictions on public gatherings are lifted.

CEQA COMPLIANCE STATEMENT:

Not a project as defined in CEQA.

FISCAL IMPACT:

There is no fiscal impact as a result of this item.

OPTIONS:

- Adopt Resolution 2020-043
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends the City Council adopt Resolution 2020-043 to establish a 4:00 p.m. start time for the regular City Council meetings on a temporary basis.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachment:

1. Resolution 2020-043

RESOLUTION 2020-043

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ESTABLISHING THE REGULAR COUNCIL MEETINGS START TIME AS 4:00 P.M.

WHEREAS, section 2.04.070 of the Solana Beach Municipal Code provides that the city council shall hold regular meetings in the council chambers of City Hall, 635 South Highway 101, in the city or at such other place as may be determined by the council on the day and time set by the council by resolution.

WHEREAS, as of February 14, 2020, the County of San Diego declared the existence of a county-wide local emergency within the unincorporated and incorporated areas of San Diego County; and

WHEREAS, Governor Gavin Newsom proclaimed a State of Emergency to exist in California as a result of the threat of COVID-19 on March 4, 2020; and

WHEREAS, the City Manager acting as the Director of Emergency Services proclaimed the existence of a local emergency conditions within the City of Solana Beach on March 16, 2020; and

WHEREAS, on March 19, 2020, the City Council confirmed the declaration of the local emergency; and

WHEREAS, a statewide public health order to “stay-at-home” was issued on March 19, 2020; and

WHEREAS, on April 9, 2020, the County of San Diego Public Health Officer issued an Amended Health Order prohibiting all public or private gatherings; and

WHEREAS, Governor Newsom issued Executive Order N-29-20 waiving certain provisions of the Brown Act including the physical presence requirements of members of the City Council, the clerk or other personnel of the City and the public superseding the requirement of Executive Order N-25-20 to have at least one publicly accessible location during the meeting. Consequently, City Council meetings are being held virtually via teleconference for the duration of the public health emergency on March 17, 2020

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Solana Beach that the regular City Council meetings on the second and fourth Wednesdays of the month shall start at 4:00 p.m.

BE IT FURTHER RESOLVED that the 4:00 p.m. start time shall remain in place until such time the public health order to stay-at-home and restrictions on public gatherings are lifted.

PASSED, ADOPTED AND APPROVED by the City Council of the City of Solana Beach at a special meeting this 22nd day of April, 2020.

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: Community Development Department
SUBJECT: Continued **Public Hearing: Request for DRP to Reconstruct a Single-Story, Single-Family Residence with an Attached Garage, Construct a Single-Story Addition, and Perform Associated Site Improvements at 675 Glenmont Drive. (DRP19-004; Applicants: Roemmich-Nottingham; APN: 263-103-11; Resolution No. 2020-024)**

BACKGROUND:

The Applicants, Dean Roemmich and Christine Nottingham, are requesting City Council approval of a Development Review Permit (DRP) to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive. The 15,600 square-foot lot is located within the Low Residential (LR) Zone, Scaled Residential Overlay Zone (SROZ), Scenic Area Overlay Zone (SAOZ), and Dark Sky Area.

The project was originally heard at the February 26, 2020 City Council meeting. The original request was for a DRP and Variance (VAR) to reconstruct the entire roof structure of the structurally nonconforming existing residence, construct an addition, and perform associated site improvements. The reconstruction of the roof would have included the replacement of the structural components of the roof as well as the expansion of the height and building envelop of the residence with a higher pitched roof design. The VAR was required for the reconstruction and expansion of the nonconforming portion of the roof structure located in the front-yard setback.

The Council could not make the findings to approve the VAR. Instead, the Council moved to continue the application, allowing the Applicants the opportunity to revise the proposal to include reconstructing the nonconforming portion of the roof to its original form so that the VAR would not be required. The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' revised request as contained in Resolution 2019-116 (Attachment 1).

CITY COUNCIL ACTION:

DISCUSSION:

At the February 26, 2020 Council meeting, the Applicants' representative indicated that they were willing to address comments and concerns raised during the Public Hearing. Therefore, the hearing was continued to a later undetermined date. The Applicants submitted revised plans to the Community Development Department, which are provided in Attachment 2, and a revised view analysis, which is included in Attachment 3. The February 26, 2020 Staff Report is included in Attachment 4 for reference. An updated rendering of the proposed project, as viewed from the entry walk and driveway is provided below (Sheet A-4.3 of the project plans in Attachment 2).



The proposed rendering presented to Council on February 26, 2020 is provided below for reference.



The revised design maintains the footprint of the existing residence and the previously proposed addition and site improvements as presented to Council on February 26, 2020. The change from the original proposal is with respect to the proposed roof structure. In compliance with the provisions set forth in Solana Beach Municipal Code (SBMC) Section 17.16 for "Nonconforming Uses and Structures", and pursuant to the direction from Council, the Applicants are proposing to reconstruct the nonconforming portion of the roof

located in the front-yard setback to the same envelope (pitch) as that which originally existed. The revised proposal also includes a new Dutch gable roof design (increasing the roof pitch, overall building height, and vertical building envelope) over the remaining/conforming portion of the residence located in the buildable area.

The revised design would comply with the setbacks and other applicable development standards. Since the removal of the roof was completed without the benefit of the necessary permits, the proposed reconstruction of the nonconforming portion would also follow the direction from Council that the nonconformity could be maintained without increasing the size or degree of the nonconformity. Therefore, the request for a VAR is no longer required. The revised design would not exceed 16 feet in height above the pre-existing grade. Therefore, the Applicants are not required to obtain a Structure Development Permit. The project plans show the maximum structure height would be 15.96 feet measured above the proposed grade or 213.62 feet above MSL.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the structure would not exceed 16 feet from the pre-existing grade.

The revised project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan. Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the updated Resolution of Approval (Attachment 1).

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on April 9, 2020. Staff has not received correspondence about the proposed development.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15302 of the State CEQA Guidelines. Section 15301 is a Class 1 exemption for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Examples of this exemption include additions to existing structures that would not increase the floor area by more than 50 percent (e). Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2020-024.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Conduct Continued the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2020-024 conditionally approving a DRP to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2020-024
2. Project Plans
3. View Analysis
4. February 26, 2020 Staff Report

RESOLUTION 2020-024

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT TO RECONSTRUCT A SINGLE-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED GARAGE, CONSTRUCT A SINGLE-STORY ADDITION, AND PERFORM ASSOCIATED IMPROVEMENTS AT 675 GLENMONT DRIVE, SOLANA BEACH

**APPLICANTS: DEAN ROEMMICH AND
CHRISTINE NOTTINGHAM**

APPLICATION: DRP19-004

WHEREAS, Dean Roemmich and Christine Nottingham (hereinafter referred to as “Applicants”), have submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on February 26, 2020, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach continued the project so that the Applicants could revise the project to address comments made at the February 26, 2020 Council meeting; and

WHEREAS, at the Public Hearing on April 22, 2020, the City Council received and considered evidence concerning the proposed application as revised; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15302 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a DRP to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

I. The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Density Residential, which allows for a maximum of three dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020), which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the LR Zone and cited by SBMC Section 17.020.030 and development regulations established for nonconforming structures cited in SBMC Chapter 17.16.

The project will not increase the size or degree of the structural nonconformity as the nonconforming portion of the roof located in the front-yard setback will be reconstructed to the original pitch. Otherwise, the project is consistent with the provisions for minimum yard dimensions (i.e., setbacks), maximum allowable floor area, maximum allowable building height, and parking requirements.

II. The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:

a. Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and

17.12.020. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The development is found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, SAOZ, and Dark Sky Area and found to be consistent with those regulations. The project is also located within the Coastal Zone. As a condition of project approval, the Applicants shall obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of Building and Grading Permits.

- b. *Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicants will reconstruct a single-story, single-family residence with an attached two-car garage, construct a single-story addition, and perform associated improvements including improvements to the driveway and perimeter fencing. The project will maintain the general site configuration of the existing development with the residence located within the existing footprint and on the existing building pad on the southern portion of the property. Driveway access will be maintained from Canyon Drive at the southeast corner of the front (south) property line. The replacement roof will match the previous low pitch (1.5:12) roof within the front-yard setback and will transition to a more modern 5:12 pitch gable roof design over the portion of the residence located within the buildable area.

The single-story residence will consist of: an open-concept entry area, living room, and dining room; a kitchen with access to the two-car garage and separate access to the proposed pantry and laundry room addition; an office with a full bathroom; a powder room; and a master suite. The project will include reconstruction of the existing a 1,768 square-foot residence, 399 square-foot attached two-car garage, and 35 square-foot covered entry, as well as construction of a 211 square-foot addition of living area. The subtotal of the proposed floor area for the project will be 2,413 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The existing garage included obstructions (door swings and mechanical equipment) in both parking spaces. However, the project includes reconfiguration of the garage, which will result in one of the spaces being obstructed by a door swing and mechanical equipment while the second space will be unobstructed. Since one of the garage spaces will be unobstructed, the project is afforded a 200 square-foot exemption from floor area. With the exemption, the total proposed floor area is 2,213 square feet, which is 2,422 square feet below the maximum allowable floor area for the 15,600 square-foot lot located in the SROZ.

The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,575 ft ²
0.1 for 15,000 to 20,000 ft ²	60 ft ²
Maximum Allowable Floor Area:	4,635 ft²

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is exempt from the water efficient landscaping regulations of SBMC Chapter 17.56 because the project will not modify more than 500 square feet of landscape area. However, a separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants are proposing to reconfigure an existing attached garage to provide one obstructed parking

space and one unobstructed parking space. The garage will be accessed by a driveway on the southeastern side of the property from Canyon Drive. Two additional parking spaces will be located in the driveway. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide one 9-foot by 19-foot parking space that is clear of obstruction. Therefore, 200 square feet of garage area is exempt from the project's total floor area calculation.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The project proposes grading in the amount of 11 cubic yards of cut for the excavation of footings to construct the proposed addition.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the reconstruction of and addition to a single-story, single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicant will be required to pay the City's Park Impact Fee.

- III. All required permits and approvals including variances, conditional use permits, and comprehensive sign plans have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicants are required to obtain approval from the California Coastal Commission prior to issuance of Building and Grading Permits.

- B. In accordance with Section 17.48.020 (Scenic Area Overlay Zone) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. Building Characteristics. All development shall be compatible with the topography, vegetation and colors of the natural environment and with the scenic, historic and recreation resources of the designated areas.*

The project, will increase the pitch of the existing roof over the conforming portion of single-story residence and raise the main roof ridge. The nonconforming portion of the existing roof will be reconstructed to match the original pitch with a reduced eave. Existing public scenic views of the Pacific Ocean down Holmwood Lane will be maintained. Existing vegetation along the front property line screens the property from Holmwood Lane. The project has been conditioned to be constructed with exterior colors that are natural dark or earth toned to the extent feasible.

- II. Building Structure and Placement. The placement of buildings and structures shall not detract from the visual setting or obstruct significant views, and shall be compatible with the topography of the site and adjacent areas. In prime viewshed areas designated in the general plan,*

building and structures should not be placed along bluff-top silhouette lines or on the adjacent slopes within view from a lagoon area, but should be clustered along the bases of the bluffs and on the mesa tops set back from the bluff-top silhouette lines. Buildings and structures should be sited to provide unobstructed view corridors from the nearest scenic highway, or view corridor road. These criteria may be modified when necessary to mitigate other overriding environmental considerations such as protection of habitat or wildlife corridors.

The subject property is not located in any of the prime viewshed areas designated in the General Plan. There are existing westward ocean views down Holmwood Lane that will not be impacted by the project. The project will expand the footprint of the existing structure to the northeast within the buildable area of the lot.

- III. Landscaping. The removal of native vegetation shall be minimized and the replacement vegetation and landscaping shall be compatible with the vegetation of the designated area. Landscaping and plantings shall be used to the maximum extent practicable to screen those features listed in paragraphs (F)(4), (5) and (6) of this subsection. Landscaping and plantings shall not obstruct significant views, either when installed or when they reach mature growth.*

The project would not significantly modify the existing landscaping on site.

- IV. Roads, Pedestrian Walkways, Parking and Storage Areas. Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas shall be screened from view, to the maximum extent feasible, from either the scenic highway or the adjacent scenic, historic, or recreational resource. Acceptable screening methods shall include, but are not limited to, the use of existing topography, the strategic placement of buildings and structures, or landscaping and plantings which harmonize with the natural landscape of the designated area.*

The project would maintain the footprint of the existing driveway and revise the driveway apron to meet City standards.

- V. Aboveground Utilities. Utilities shall be constructed and routed underground except in those situations where natural features prevent undergrounding or where safety considerations necessitate aboveground construction and routing.*

The Engineering Department has placed a condition on the project that requires any new utility services shall be undergrounded.

- VI. *Grading. The alteration of the natural topography of the site shall be minimized and shall avoid detrimental effects to the visual setting of the designated area and the existing natural drainage system. Alterations of the natural topography shall be screened from view from either the scenic highway or the adjacent scenic, historic, or recreational resource by landscaping and plantings which harmonize with the natural landscape of the designated area, except when such alterations add variety to or otherwise enhance the visual setting of the designated area. However, design emphasis shall be placed on preserving the existing quality of scenic resources rather than concealment of disturbances or replacement in kind. In portions of the scenic area overlay zone containing sensitive lands, grading may be severely restricted or prohibited.*

The proposed grading includes 11 cubic yards of cut for the excavation of footings. The project will not alter the existing topography of the lot.

- VII. *Signs. Off-site signs shall be prohibited in areas subject to the scenic area overlay zone, except temporary real estate signs pursuant to SBMC 17.64.060. The number, size, location, and design of all other signs shall be consistent with the Comprehensive Sign Ordinance (Chapter 17.64 SBMC) and shall not detract from the visual setting of the designated area or obstruct significant views.*

The project consists of the reconstruction of and addition to a single-family residence, with an attached garage, and associated site improvements; therefore, signs are not proposed as part of the development.

- VIII. *Lighting. The interior and exterior lighting of the buildings and structures and the lighting of signs, roads and parking areas shall be compatible with the lighting permitted in the designated area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).*

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

C. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicants shall pay required Fire Mitigation, Park Development, Public Use Facilities, and Public Facilities Impact Fees.
- II. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on April 22, 2020, and located in the project file with a submittal date of April 13, 2020.
- III. Prior to requesting a framing inspection, the Applicants shall submit a height certification, signed by a licensed land surveyor, certifying that the building envelope is in conformance with the plans as approved by the City Council on April 22, 2020, and will not exceed 16.0 feet in height from the pre-existing grade.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building and Grading Permits.
- VI. Native or drought tolerant and non-invasive plant materials and water conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.
- VII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- VIII. Due to the property's location within the Dark Sky Area, the outside illumination for aesthetic or dramatic purposes of any building or surrounding landscape, including environmentally sensitive habitat areas (public or private) is prohibited.

- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicants shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.
- X. The Applicants shall connect to temporary electrical service as soon as feasible to the satisfaction of the City.
- XI. The portion of the roof structure located within the required front-yard setback shall be reconstructed to match the structural components and building envelope (pitch) as the original roof.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- III. FUEL MODIFICATION ZONES/FIRE BREAKS: The Applicants shall provide and maintain fire/fuel breaks to the satisfaction of the Solana Beach Fire Department. Fire/fuel breaks size and composition shall be determined by the Fire Department and shown on the improvement /grading plans and final map and building plans.
- IV. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a 1/2" inch stroke width for residential buildings, 8" high with a 1/2" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required

where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers.

- V. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed to the satisfaction of the Fire Department. Plans for the automatic fire sprinkler system shall be approved by the Fire Department prior to installation.
- VI. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department.

C. Engineering Department Conditions:

- I. The Applicants shall provide a scaled drawing prepared by a registered Civil Engineer, Licensed Land Surveyor, or Licensed Architect that clearly shows the proposed public and private improvements prior to construction.
- II. The Applicants shall remove the existing fence located in the Holmwood Lane Public Right-of-Way and place a new fence along the westerly property line, as shown on the proposed site plan, to the satisfaction of the City Engineer.
- III. The Applicants shall remove the existing overgrown vegetation located in the Holmwood Lane Public Right-of-Way along the westerly property line to the satisfaction of the City Engineer.
- IV. The Applicants shall enter into an Encroachment Maintenance and Removal Agreement (EMRA) for the maintenance of slopes, landscaping, and all non-standard improvements located in the Holmwood Lane Public Right-of-Way along the westerly property line.
- V. The Applicants are required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 prior to any work being done in the Public Right-of-Way. This work includes, but is not limited to:
 - a. Construction of the 9"x9"x12" mountable curb.
 - b. Construction of the SDRSD G-14 driveway approach.
- VI. The Applicants shall underground all new utility services including, but not limited to, electrical and telephone.
- VII. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.

- VIII. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the Solana Beach Municipal Code, which allows otherwise.

VII. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VIII. EXPIRATION

The Development Review Permit for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

IX. INDEMNIFICATION AGREEMENT

The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning

Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 22nd day of April 2020, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

JEWEL EDSON, MAYOR

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

FIRE DEPARTMENT NOTES:

- ACCESS ROAD MINIMUM DIMENSIONS:** FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 20 FEET; CURB LINE TO CURB LINE, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. EXCEPTION: SINGLE-FAMILY RESIDENTIAL DRIVEWAYS; SERVING NO MORE THAN TWO SINGLE-FAMILY DWELLINGS, SHALL HAVE MINIMUM OF 16 FEET, CURB LINE TO CURB LINE, OF UNOBSTRUCTED IMPROVED WIDTH. ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF NOT LESS THAN 75,000 POUNDS AND SHALL BE PROVIDED WITH AN APPROVED PAVED SURFACE TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** ALL ROADWAYS SHALL BE A MINIMUM OF 20 FEET IN WIDTH DURING CONSTRUCTION AND MAINTAINED FREE AND CLEAR, INCLUDING THE PARKING OF VEHICLES, IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AND THE SOLANA BEACH FIRE DEPARTMENT.
- FUEL MODIFICATION ZONES/FIRE BREAKS:** THE APPLICANT SHALL PROVIDE AND MAINTAIN FIRE/FUEL BREAKS TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT. FIRE/FUEL BREAKS SIZE AND COMPOSITION SHALL BE DETERMINED BY THE FIRE DEPARTMENT AND SHOWN ON THE IMPROVEMENT GRADING PLANS AND FINAL MAP AND BUILDING PLANS.
- ADDRESS NUMBERS:** STREET NUMBERS: APPROVED NUMBERS AND/OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS AND AT APPROPRIATE ADDITIONAL LOCATIONS AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND SHALL MEET THE FOLLOWING MINIMUM STANDARDS AS TO SIZE: 4" HIGH WITH A 1/2" INCH STROKE WIDTH FOR RESIDENTIAL BUILDINGS, 8" HIGH WITH A 1/2" STROKE FOR COMMERCIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS, 12" HIGH WITH A 1" STROKE FOR INDUSTRIAL BUILDINGS. ADDITIONAL NUMBERS SHALL BE REQUIRED WHERE DEEMED NECESSARY BY THE FIRE MARSHAL, SUCH AS REAR ACCESS DOORS, BUILDING CORNERS, AND ENTRANCES TO COMMERCIAL CENTERS.
- AUTOMATIC FIRE SPRINKLER SYSTEM-ONE AND TWO FAMILY DWELLINGS:** STRUCTURES SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
- FIRE RESISTIVE CONSTRUCTION REQUIREMENTS FOR WILDLAND/URBAN INTERFACE AREAS:** STRUCTURES SHALL MEET ALL WILDLAND/URBAN INTERFACE STANDARDS TO THE SATISFACTION OF THE FIRE DEPARTMENT. STRUCTURES SHALL COMPLY WITH CURRENT CALIFORNIA BUILDING CODE CHAPTER 7A. CLASS "A" ROOF: ALL STRUCTURES SHALL BE PROVIDED WITH A CLASS "A" ROOF COVERING TO THE SATISFACTION OF THE SOLANA BEACH FIRE DEPARTMENT.

GENERAL SITE NOTES

LIVING AREA:
 (E) LIVING = 1,768
 (E) ENTRY = 35
 (N) LIVING = 7
 (N) LIVING = 203
 TOTAL = 2,013

GARAGE:
 (E) GARAGE = 399
 TOTAL = 399

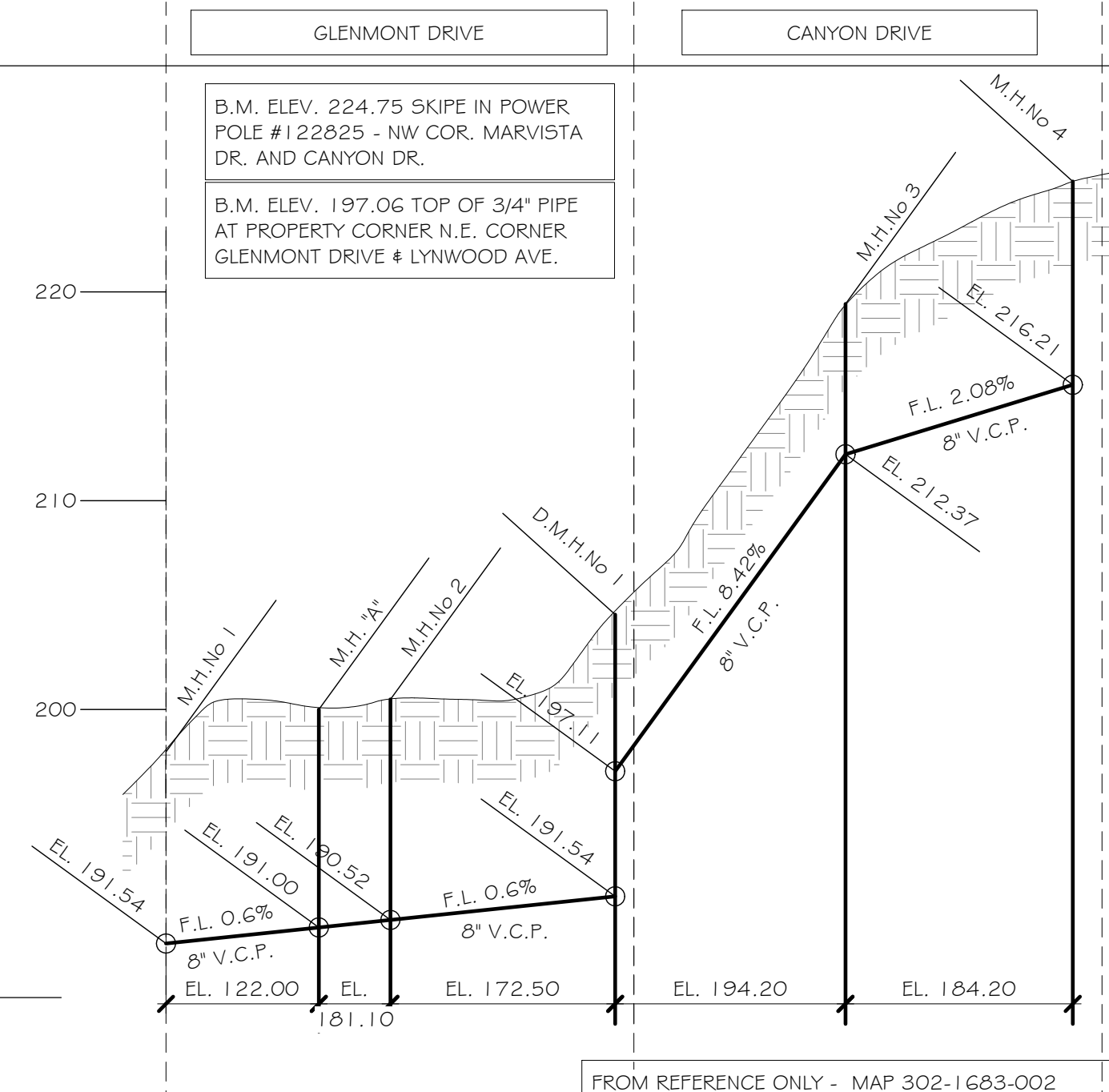
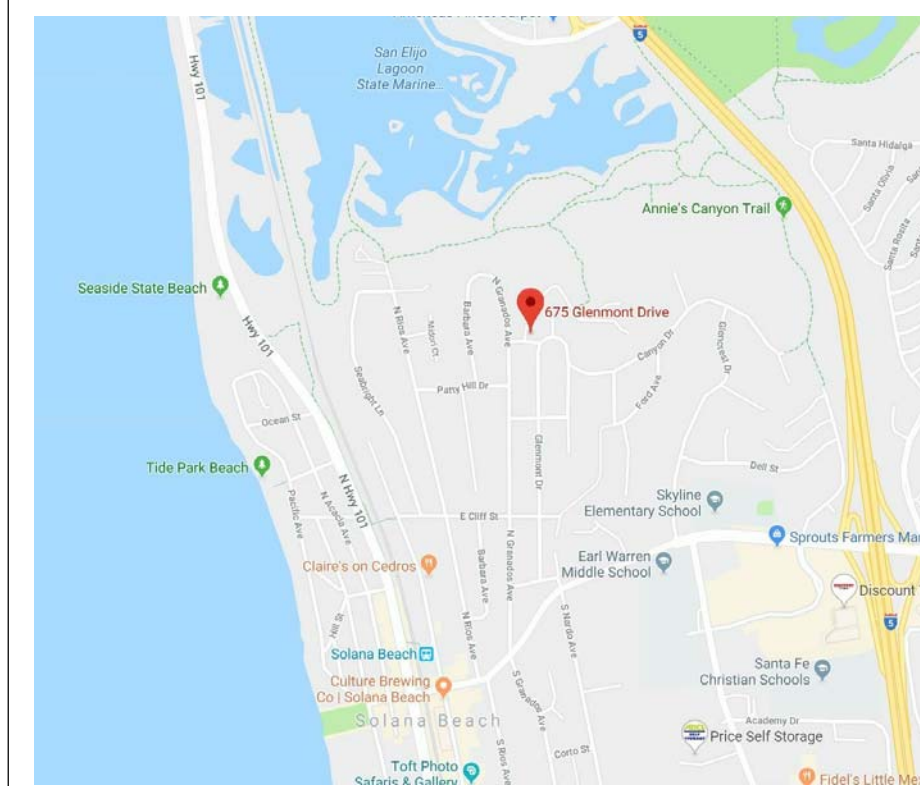
HARDSCAPE:
 (E) HARDSCAPE = 2,690
 (N) HARDSCAPE = 110
 (N) COVERED AREA = 220
 TOTAL = 3,020

LANDSCAPE:
 (E) LANDSCAPE = 2,037
 (E) LANDSCAPE - NON IRRIGATED = 7,160
 (N) PERMEABLE = 971
 TOTAL = 10,168

TOTAL DISTURBANCE AREA: 321 SQ FT
 EXISTING AMOUNT OF IMPERVIOUS AREA: 5,470 SQ FT
 PROPOSED AMOUNT OF IMPERVIOUS AREA: 321 SQ FT
 TOTAL IMPERVIOUS AREA: 5,432 SQ FT
 IMPERVIOUS % INCREASE: -1 %

IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

VICINITY MAP



INDEX

ARCHITECTURAL	
A-1.1	SITE PLAN - DRP
A-1.2	IMPERVIOUS PLANS
A-1.3	FAR CALCULATIONS
A-2.1	EXISTING FIRST FLOOR PLAN
A-2.2	DEMO
A-3.1	FIRST FLOOR
A-4.1	EXTERIOR ELEVATIONS
A-4.2	EXTERIOR ELEVATIONS
A-4.3	PERSPECTIVES
A-5.1	BUILDING SECTIONS
A-6.1	ROOF PLAN
Grand total: 11	

GENERAL SITE NOTES

- CONCRETE DRIVE SHALL BE 4" THICK COLORED CONCRETE TO MATCH REAR PATIO AREA. SEE SOILS REPORT FOR SPECIFICATIONS
- PARKING AREA SHALL BE A MAXIMUM OF 6% SLOPE IN PARKING
- ALL FENCING INCLUDING FOOTINGS SHALL BE WITHIN THE PROPERTY LINE AND SHALL NOT ENCRUCH INTO PUBLIC TOW OR ADJACENT PROPERTIES
- THE PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
- SURFACE WATER WILL DRAIN AWAY FROM BUILDING, GRADE SHALL FALL MIN. 6" WITHIN FIRST 10'
- EARTHWORK QUANTITIES**
 A. CUT QUANTITIES: 11,484 CYD
 B. FILL QUANTITIES: 0 CYD
 C. IMPORT/EXPORT: 0 CYD
 D. MAX CUT DEPTH: 0 FT
 E. MAX FILL DEPTH: 0 FT
- SOIL DISPLACEMENT SHALL BE DISTRIBUTED AS TOP SOIL AROUND RESIDENCE
- QUALITY OF GRADING
 W - SITE GRADING: 0 CYD
 X - EXCAVATION OF THE FOOTING OF NEW CONSTRUCTION: 11,484 CYD
 Y - REMOVAL AND RE-COMPACTION FOR CONSTRUCTION: 0 CYD
 Z - TOTAL GRADING (W+X+Y): 11,484 CYD

	EXISTING AREA (SQ FT)	TOTAL AREA (SQ FT)	
NON- LANDSCAPED AREA ^a	5,648	5,552	204+6+
NON-IRRIGATED LANDSCAPE ^b	7,115	7,159	134 (COLUMN INCLUDED)
IRRIGATED LANDSCAPE	2,837	2,889	+223 = 567
WATER FEATURES ^c	0	0	
DECORATIVE HARDSCAPE ^d	0	0	
TOTAL	15,600	15,600	

	AREA OF WORK ^e (SF)
IRRIGATED LANDSCAPE	0
WATER FEATURES ^c	0
DECORATIVE HARDSCAPE ^d	0
AGGREGATE LANDSCAPE AREA	0

- A landscaped area does not include the footprint of a building, decks, patio, sidewalk, driveway, parking lot, or other hardscape that does not meet the criteria in SBMC 17.56.150.
- An area without irrigation designated for nondevelopment such as designated open space area with existing native vegetation.
- A design element where open water performs an aesthetic or recreational function. A water feature includes a pond, lake, waterfall, fountain, artificial streams, spa and swimming pool.
- Rock and stone or previous design features, such as decomposed granite ground cover, that are adjacent to a vegetated area.
- Area of replacement and/or new irrigated landscape, water features, and/or decorative hardscape associated with the project.

9. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES

PROJECT DIRECTORY

OWNER: Dean Roemmich & Christine Nottingham 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075	CONTRACTOR: JACKSON DESIGN & REMODELING 4797 MERCURY STREET SAN DIEGO, CA 92111 (619) 442-6125 LIC # 880939
DESIGNER: JACKSON DESIGN & REMODELING 4797 MERCURY STREET SAN DIEGO, CA 92111 CONTACT: (619) 442-6125	TITLE 24'S: PACIFIC COAST DESIGNS BRIAN BANNOCK 27306 ROWEL COURTFX. VALLEY CENTER, CA 92082 (760) 751-9060

STRUCTURAL ENGINEER:
 MIKE SUPRENTANT AND ASSOCIATES
 9975 BUSINESS PARK AVE. SUITE 1A
 SAN DIEGO, CALIFORNIA 92131

SITE LEGEND

[Pattern]	PERMEABLE DG	[Pattern]	OVERHANG
[Pattern]	CONCRETE HARDSCAPE	[Pattern]	NEW INTERIOR REMODELED AREA
[Pattern]	EXISTING FLOOR AREA AS NOTED	[Pattern]	GRASS / TURF
[Pattern]	PROPOSED 1st FLOOR AREA	[Pattern]	GROUND COVER
[Symbol]	SEWER LINE	[Symbol]	PLANTED MATERIAL
[Symbol]	METER ELEVATION POINT		

SEWER ELEVATION

3/32" = 1'-0"

PROJECT DATA

PROJECT ADDRESS
 675 GLENMONT DRIVE,
 SOLANA BEACH, CA
 92075

SITE DATA:
 APN #: 263-103-11-00
 LEGAL DESCRIPTION: POR LOT 21 BLK G TR 270G
 LOT AREA: 15,600 SQ FT
 YEAR BUILT: 1956

ZONING DATA
 ZONE = RL4
 SETBACKS (REQUIRED)
 FRONT = 25'
 SIDES = 5'
 REAR = 25'
 STREET SIDE = 10'

HEIGHT LIMIT = 25'
 FAR ALLOWED = 0 (0 * 15,600 SQ FT = 0)

OCCUPANCY
 DWELLING w/ ATTACHED GARAGE = R

CONSTRUCTION TYPE:
 TYPE VB - DWELLING w/ ATTACHED GARAGE

ACTUAL SETBACKS
 FRONT = 20' - 7 1/2"
 WEST SIDE = 11' - 6"
 EAST SIDE = 23' - 8"

OVERLAY DISTRICT
 • SCALED RESIDENTIAL OVERLAY ZONE (SROZ)
 • STEEP HILLSIDE
 • COASTAL OVERLAY ZONE
 • DARK SKY AREA
 • SCENIC AREA OVERLAY ZONE

FIRE SPRINKLED = No, WILL NEED FIRE SPRINKLERS INSTALLED

BUILDING DATA:

FIRST FLOOR:		
EXISTING LIVING AREA	=	1768 SQ FT +
PROPOSED ADDITION AREA	=	211 SQ FT +
TOTAL PROPOSED LIVING	=	1979 SQ FT +
GARAGE:		
EXISTING GARAGE	=	399 SQ FT
PROPOSED ADDITION	=	0 SQ FT
TOTAL GARAGE AREA	=	399 SQ FT
TOTAL OF AREA	=	2,378 SQ FT

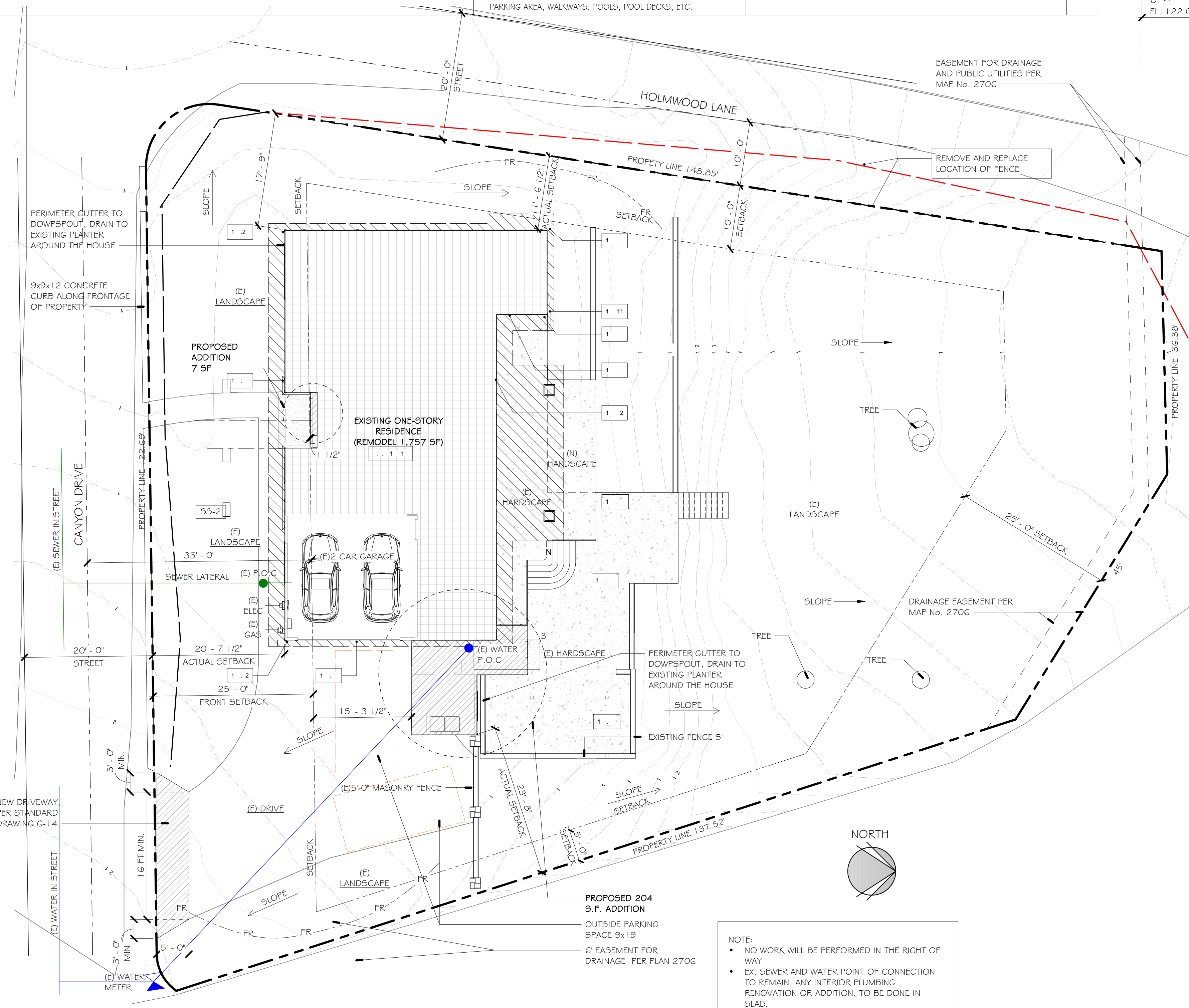
MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) CALCULATION

LOT SIZE 15,600 SQ FT	
0.500 x 6,000 SF (0.500 x FIRST 6,000 SF OF LOT)	3,000 SF
0.175 x 9,000 SF (0.175 x 6,001 TO 15,000 SF OF LOT)	1,575 SF
0.100 x 600 SF (0.100 x 15,001 TO 20,000 SF OF LOT)	60 SF
MAXIMUM FLOOR AREA ALLOWED	4,635 SF

SEE A-1.4 FOR EXISTING FAR CALCULATION

PROJECT FAR CALCULATIONS

EXISTING FIRST FLOOR	1,768 SF
PROPOSED ADDITION	211 SF
EXISTING GARAGE	399 SF
COVERED AND ENCLOSED EXTERIOR AREA	35 SF
SUB-TOTAL	2,413 SF
GARAGE FAR EXEMPTION (1 PARKING SPACE)	200 SF
TOTAL PROPOSED FLOOR AREA	2,213 SF
MAXIMUM FLOOR AREA ALLOWED	4,635 SF



(N) SITE PLAN

1" = 10'-0"

#	Description	Date

JACKSON
 DESIGN & REMODELING
 (619) 442-6125
 www.jacksondesignremodeling.com
 Lic #880939
 4797 Mercury St., San Diego, CA 92111
 Fax: 1-800-975-6650

A H m e o m e
 Dean Roemmich & Christine Nottingham
 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
 east Te AN

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DRAWN	JEK
CHECKED	JEK
MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

Attachment #2

#	Description	Date

REVISION TAG / MARKER
PROJECT STATUS
FOURTH SUBMITTAL
02/17/2020

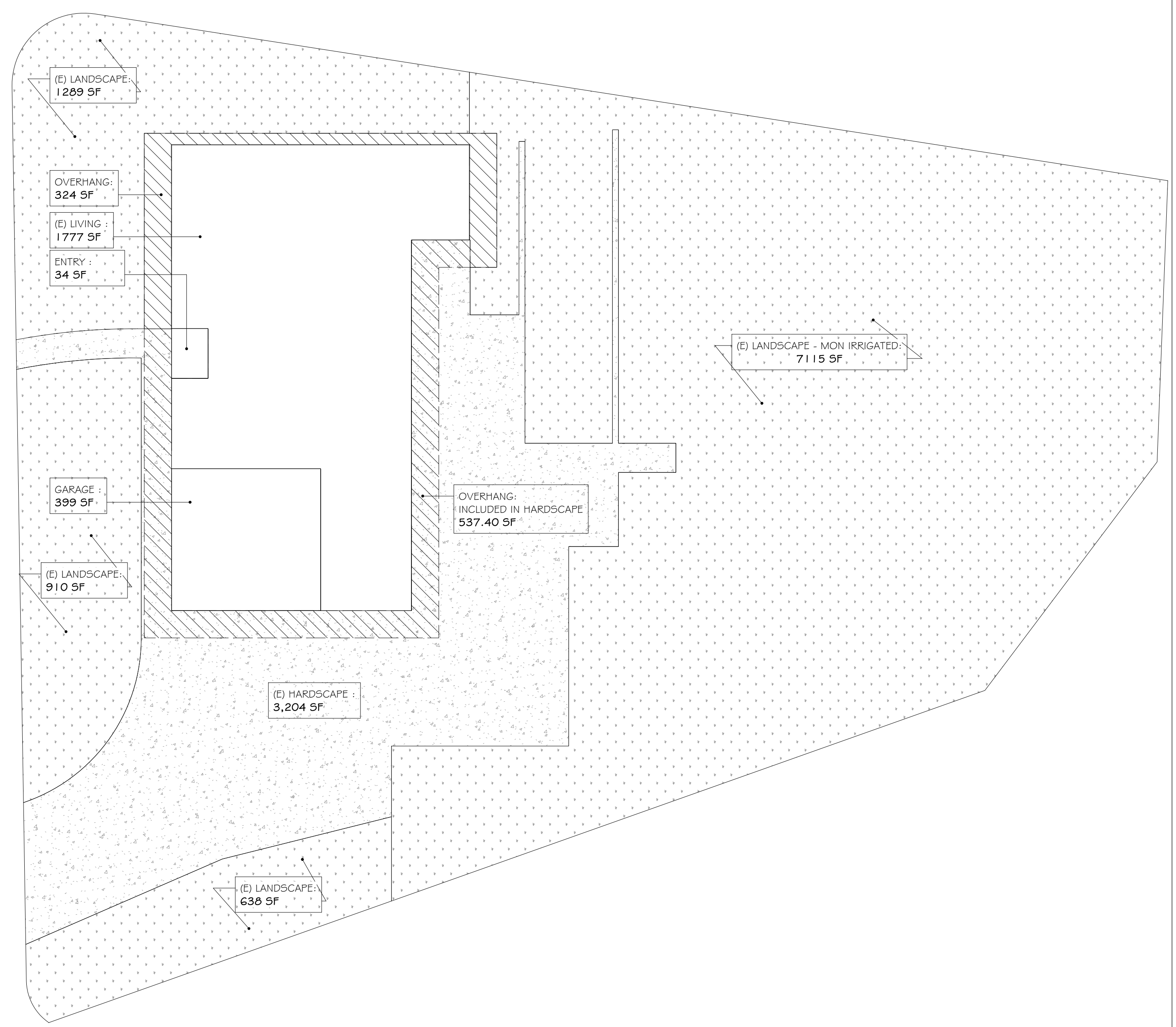
JACKSON
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 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
 (619) 422-6725
 www.jacksondesignremodeling.com
 Fax: (619) 425-6868

A H m e m e
Dean Roemmich & Christine Nottingham
 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
 Lic. #110
M E AN

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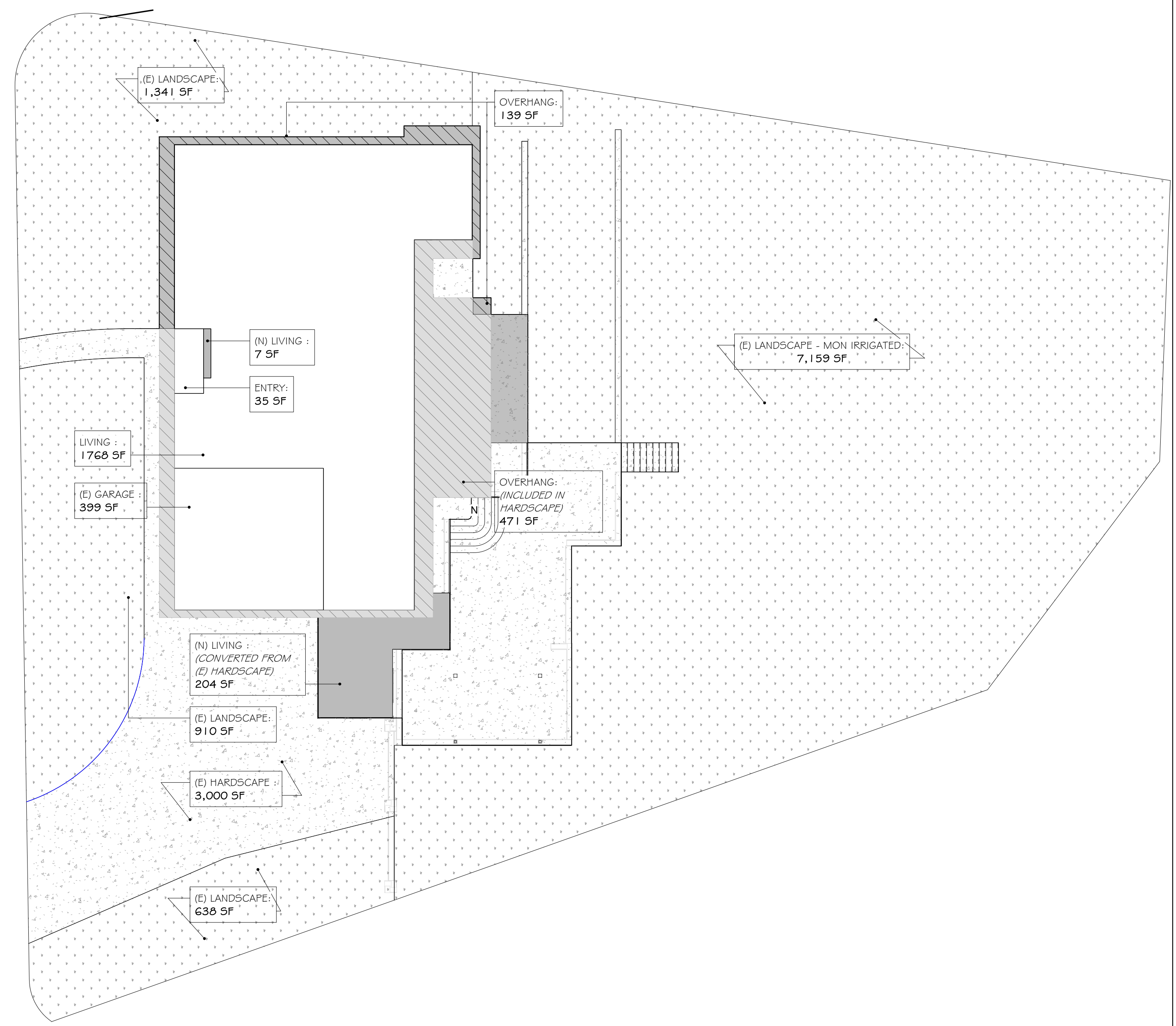
DRAWN J.E.K.
 CHECKED J.E.K.
 MEASURE DATE 10/16/18
 SCALE as noted
 JOB NAME Roemmich
 SHEET
A 1.2

NT ATE 2 2 2 M



EXISTING IMPERVIOUS PLAN
3/32" = 1'-0"

EXISTING BUILDING AREA ONLY																													
<table border="1"> <thead> <tr> <th colspan="2">IMPERVIOUS - NON LANDSCAPED AREA</th> </tr> </thead> <tbody> <tr> <td>LIVING AREA:</td> <td></td> </tr> <tr> <td>(E) LIVING</td> <td>= 1,777</td> </tr> <tr> <td>(E) ENTRY</td> <td>= 34</td> </tr> <tr> <td>TOTAL</td> <td>1,811</td> </tr> <tr> <td>GARAGE:</td> <td></td> </tr> <tr> <td>(E) GARAGE</td> <td>= 399</td> </tr> <tr> <td>TOTAL</td> <td>399</td> </tr> <tr> <td>TOTAL AREA LIVING</td> <td>= 2,210 SQ. FT.</td> </tr> <tr> <td>HARDSCAPE:</td> <td></td> </tr> <tr> <td>(E) HARDSCAPE</td> <td>= 3,204</td> </tr> <tr> <td>(E) COVERED AREA (OVERHANG)</td> <td>= 234</td> </tr> <tr> <td>TOTAL HARDSCAPE</td> <td>3,438 SQ. FT.</td> </tr> <tr> <td>TOTAL NON-LANDSCAPED AREA</td> <td>5,648 SQ. FT.</td> </tr> </tbody> </table>		IMPERVIOUS - NON LANDSCAPED AREA		LIVING AREA:		(E) LIVING	= 1,777	(E) ENTRY	= 34	TOTAL	1,811	GARAGE:		(E) GARAGE	= 399	TOTAL	399	TOTAL AREA LIVING	= 2,210 SQ. FT.	HARDSCAPE:		(E) HARDSCAPE	= 3,204	(E) COVERED AREA (OVERHANG)	= 234	TOTAL HARDSCAPE	3,438 SQ. FT.	TOTAL NON-LANDSCAPED AREA	5,648 SQ. FT.
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PROPOSED IMPERVIOUS PLAN
3/32" = 1'-0"

PROPOSED BUILDING AREA ONLY																																	
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	EXISTING AREA (SQ. FT.)	TOTAL AREA (SQ. FT.)
NON-LANDSCAPED AREA ^a	5,648	5,552
NON-IRRIGATED LANDSCAPE ^b	7,115	7,159
IRRIGATED LANDSCAPE	2,837	2,889
WATER FEATURES ^c	0	0
DECORATIVE HARDSCAPE ^d	0	0
TOTAL	15,600	15,600

	AREA OF WORK ^e (SF)
IRRIGATED LANDSCAPE	0
WATER FEATURES ^c	0
DECORATIVE HARDSCAPE ^d	0
AGGREGATE LANDSCAPE AREA	0

- A landscaped area does not include the footprint of a building, decks, patio, sidewalk, driveway, parking lot, or other hardscape that does not meet the criteria in SBMC 17.56.150.
- An area without irrigation designated for nondevelopment such as designated open space area with existing native vegetation.
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- Rock and stone or pervious design features, such as decomposed granite ground cover, that are adjacent to a vegetated area.
- Area of replacement and/or new irrigated landscape, water features, and/or decorative hardscape associated with the project.

LEGEND

- (E) HARDSCAPE
- (N) HARDSCAPE
- (E) LIVING & GARAGE
- (N) LIVING & GARAGE
- (E) IMPERVIOUS
- (N) IMPERVIOUS
- LANDSCAPE
- PERMEABLE

#	Description	Date

REVISION TAG / MARKER
PROJECT STATUS
FOURTH SUBMITTAL
02/17/2020

JACKSON
DESIGN & REMODELING

Lic. #880939
4797 Mercury St. San Diego, CA 92111
www.jacksondesignandremodeling.com

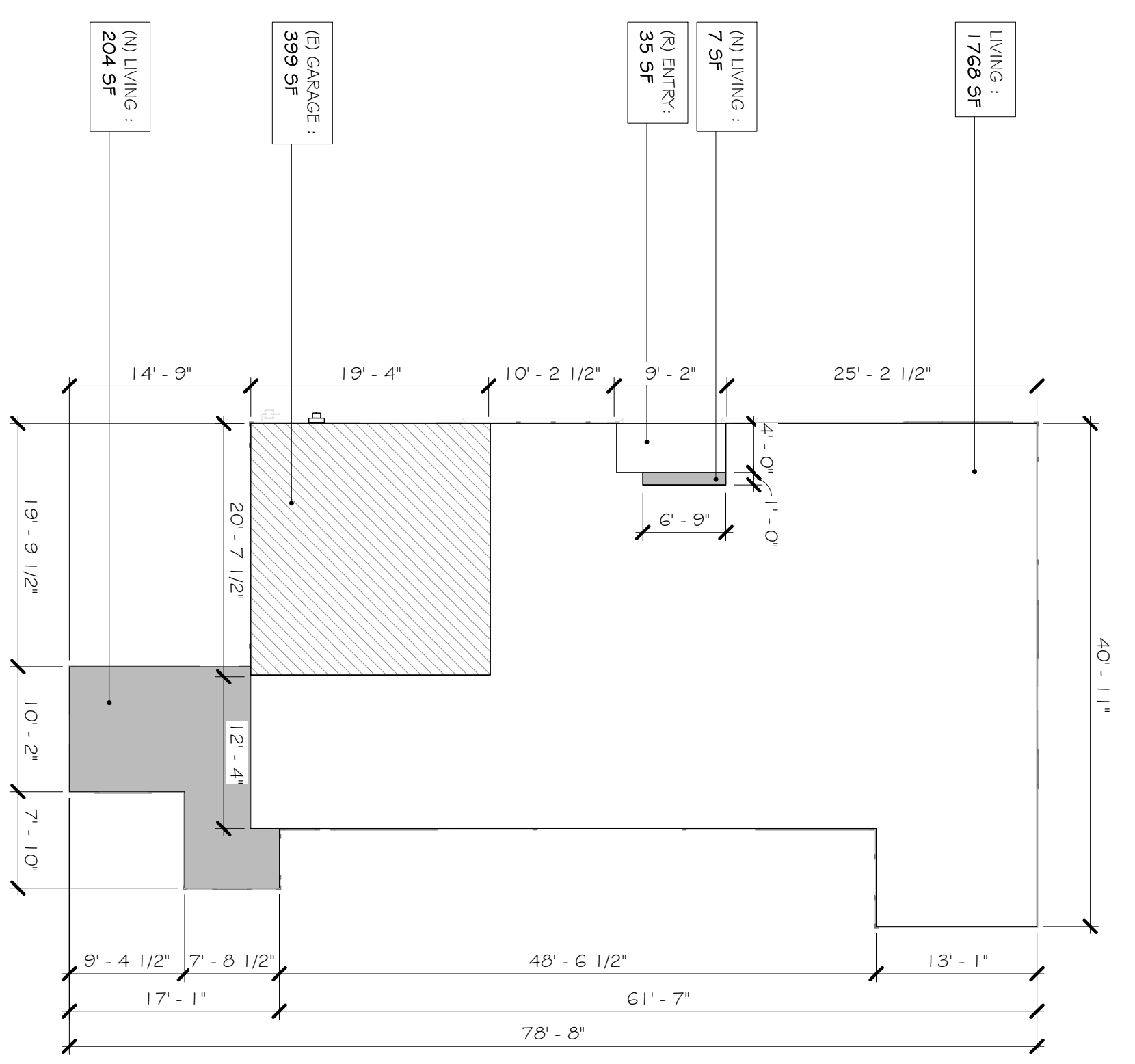
(619) 442-6125
Fax: (619) 292-6250
1-800-675-9548

AH me em e
Dean Roemmich & Christine Nottingham
675 GLENMONT DRIVE. SOLANA BEACH, CA 92075

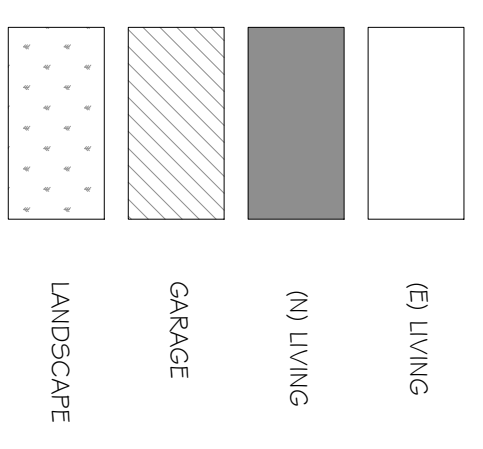
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CHECKED	JFK
MEASURE DATE	10/16/19
SCALE	as noted
JOB NAME	Remmich
SHEET	A 1.



PROPOSED FAR CALCULATION PLAN
3/32" = 1'-0"



PROJECT FAR CALCULATIONS

MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) CALCULATION

LOT SIZE 15,600 SQ. FT. 3,000 SF

0.500 x 6,000 SF (0.500 x FIRST 6,000 SF OF LOT)

0.175 x 9,000 SF (0.175 x 6,001 TO 15,000 SF OF LOT) 1,575 SF

0.100 x 600 SF (0.100 x 15,001 TO 20,000 SF OF LOT) 60 SF

MAXIMUM FLOOR AREA ALLOWED 4,635 SF

FAR ALLOWED = 4.635

EXISTING PROJECT FAR CALCULATIONS

EXISTING FIRST FLOOR 1,777 SF +

PROPOSED ADDITION 211 SF +

EXISTING GARAGE 389 SF +

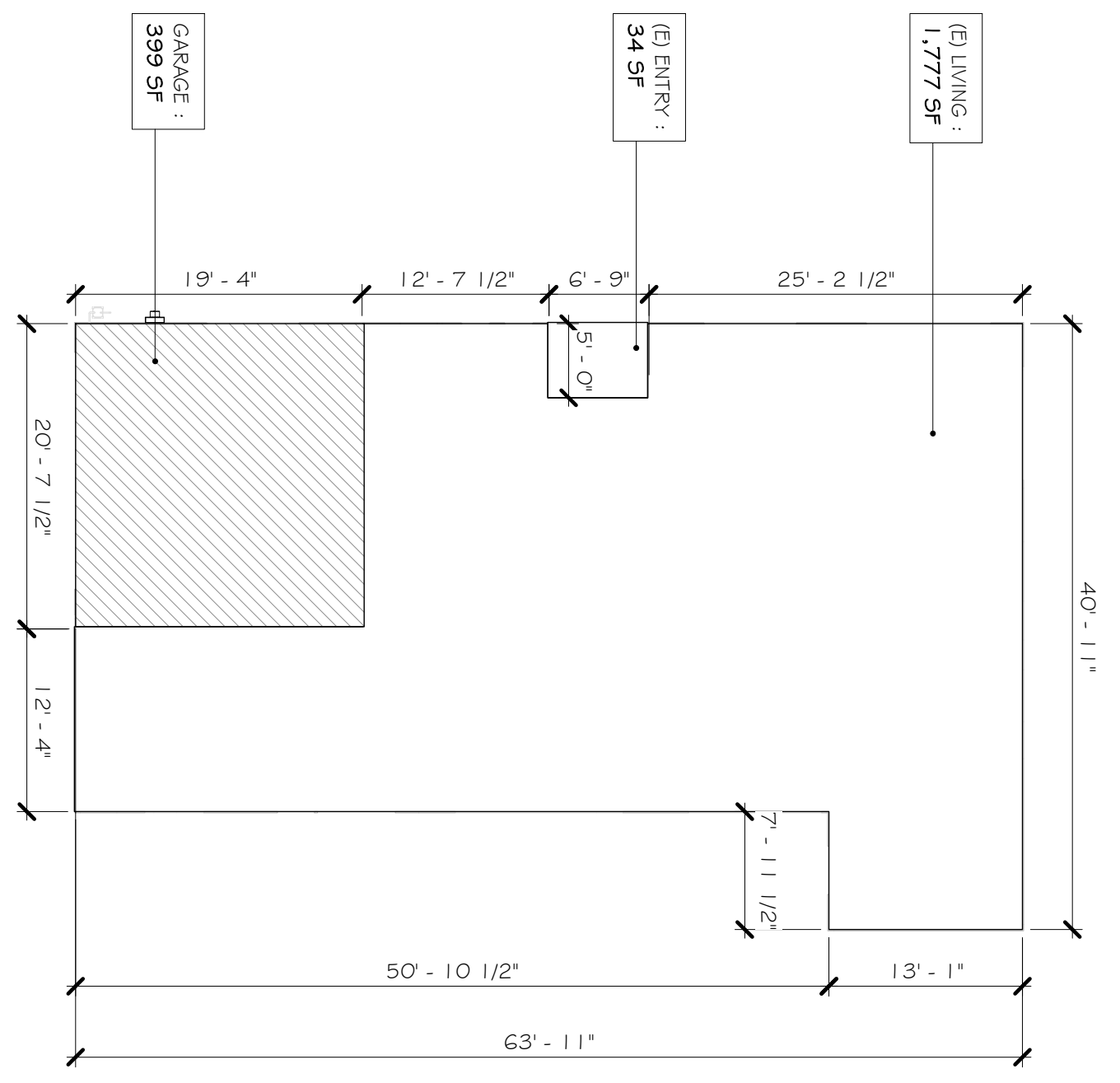
COVERED AND ENCLOSED EXTERIOR AREA 35 SF +

SUB-TOTAL 2,413 SF +

GARAGE FAR EXEMPTION (1 PARKING SPACE) 200 SF -

TOTAL PROPOSED FLOOR AREA 2,213 SF

MAXIMUM FLOOR AREA ALLOWED 4,635 SF



EXISTING FAR CALCULATION PLAN
3/32" = 1'-0"

EXISTING PROJECT FAR CALCULATIONS

MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) CALCULATION

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PROPOSED ADDITION 0 SF +

EXISTING GARAGE 389 SF +

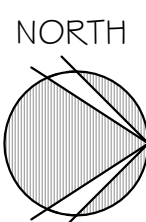
COVERED AND ENCLOSED EXTERIOR AREA 280 SF +

SUB-TOTAL 2,446 SF +

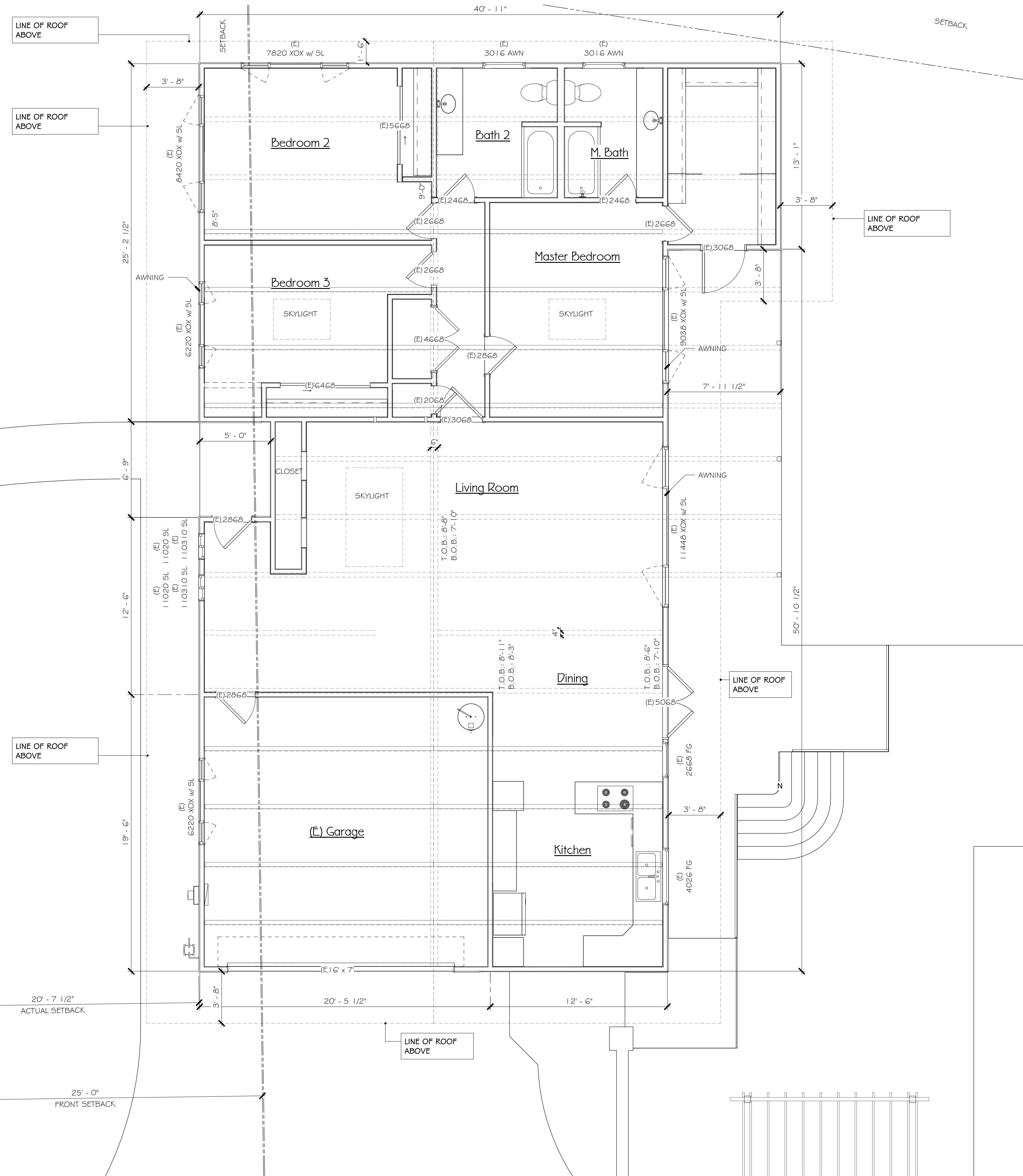
GARAGE FAR EXEMPTION (1 PARKING SPACE) 200 SF -

TOTAL PROPOSED FLOOR AREA 2,246 SF

MAXIMUM FLOOR AREA ALLOWED 4,635 SF



PROPERTY LINE 122.69'



(E) FIRST FLOOR

1/4" = 1'-0"

KEYNOTES

#	Description	Date

REVISION TAG / MARKER

PROJECT STATUS

FOURTH SUBMITTAL

02/17/2020

JACKSON
DESIGN & REMODELING

675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
Tel: (949) 422-6225
Fax: (949) 422-6225
www.jacksondesignremodeling.com

SYMBOL	REMARKS
⊞	SINGLE POLE SWITCH
⊕	110 VOLT OUTLET
⊞	4" L.E.D. CAN LIGHT
⊞	FAN
⊞	MAIN ELECTRICAL PANEL

GENERAL NOTES

- PRIOR TO DEMOLITION, A JOB WALK WITH THE CLIENT/OWNER SHALL BE PERFORMED TO VERIFY ALL ITEMS AND MATERIALS TO BE REMOVED AND KEPT. VERIFY LOCATION OF WHERE SAVED ITEMS AND MATERIALS SHALL BE STORED.
- ITEMS NOT KEPT SHALL BE RECYCLED PER THE CAL GREEN CODE.

WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED (U.N.O.)
	PROPOSED 2x4 STUD WALL
	PROPOSED 2x6 STUD WALL
	CMU WALL

ABBREVIATIONS

- (E) - EXISTING NOTED FEATURE
- (D) - EXISTING NOTED FEATURE TO BE DEMOLISHED
- (N) - PROPOSED NOTED FEATURE
- (R) - REMODELED ROOM / AREA
- (R. & R.) - REMOVE AND REPLACE NOTED FEATURE

A H m e m e
Dean Roemich & Christine Nottingham
675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
est 11e

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CHECKED	JEK
MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemich

SHEET

A 2.1

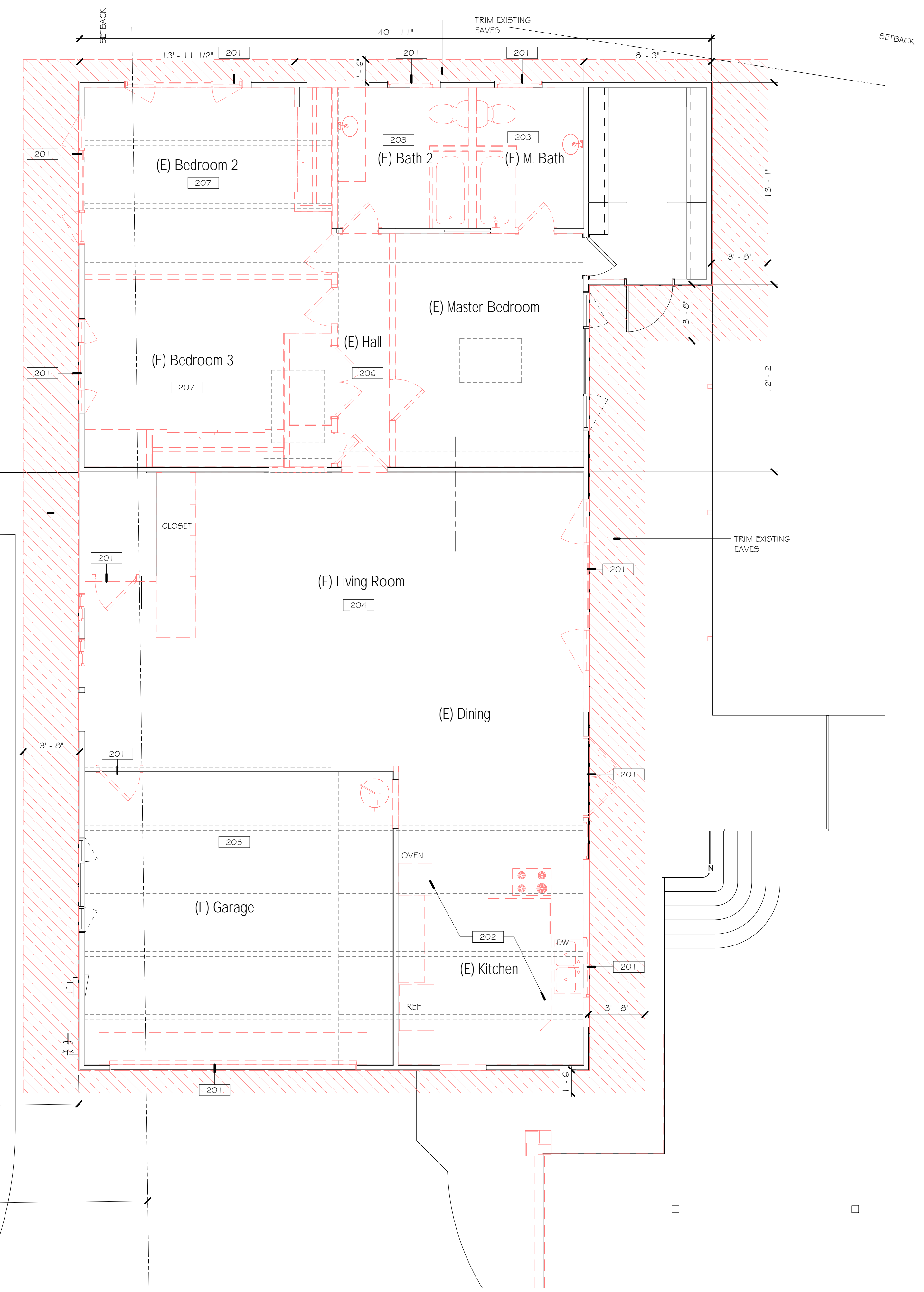
NT ATE 2 2 M

PROPERTY LINE | 122.69'

TRIM EXISTING EAVES

20' - 7 1/2" ACTUAL SETBACK

25' - 0" FRONT SETBACK



(D) FIRST FLOOR

1/4" = 1'-0"

PLAN KEYNOTES

- 201 DEMO DOOR/WINDOW WALL
- 202 DEMO KITCHEN IN ITS ENTIRETY
- 203 DEMO BATH IN ITS ENTIRETY
- 204 FAMILY ROOM: REMOVE ALL PLASTER DOWN TO STUDS. REMOVE STUCCO MATERIAL FROM FIREPLACE STACK AND WOOD BURNING STOVE. REMOVE CHIMNEY STACK STRUCTURE COMPLETE. DEMO EXISTING ENTRY FRAMING WALL.
- 205 GARAGE: REMOVE ALL CABINETS, LIGHT FIXTURES AND WALL MATERIAL DOWN TO STUDS COMPLETE. REMOVE WATER HEATER AND GARAGE DOOR INCLUDING TRACK AND MOTOR.
- 206 HALLWAY: REMOVE CLOSET TRIM, BUILT IN LINEN CABINET AND PLASTER AND WOOD PANELING COMPLETE FROM ENTIRE HALL.
- 207 REMOVE ALL NON-STRUCTURAL INTERIOR FRAMING. REMOVE CLOSET DOORS, CLOSET TRIM AND SHELF/POLES.

GENERAL NOTES

1. PRIOR TO DEMOLITION, A JOB WALK WITH THE CLIENT/OWNER SHALL BE PERFORMED TO VERIFY ALL ITEMS AND MATERIALS TO BE REMOVED AND KEPT. VERIFY LOCATION OF WHERE SAVED ITEMS AND MATERIALS SHALL BE STORED.
2. ITEMS NOT KEPT SHALL BE RECYCLED PER THE CAL GREEN CODE.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED (U.N.O.)
- PROPOSED 2x4 STUD WALL
- PROPOSED 2x6 STUD WALL
- CMU WALL

ABBREVIATIONS

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#	Description	Date

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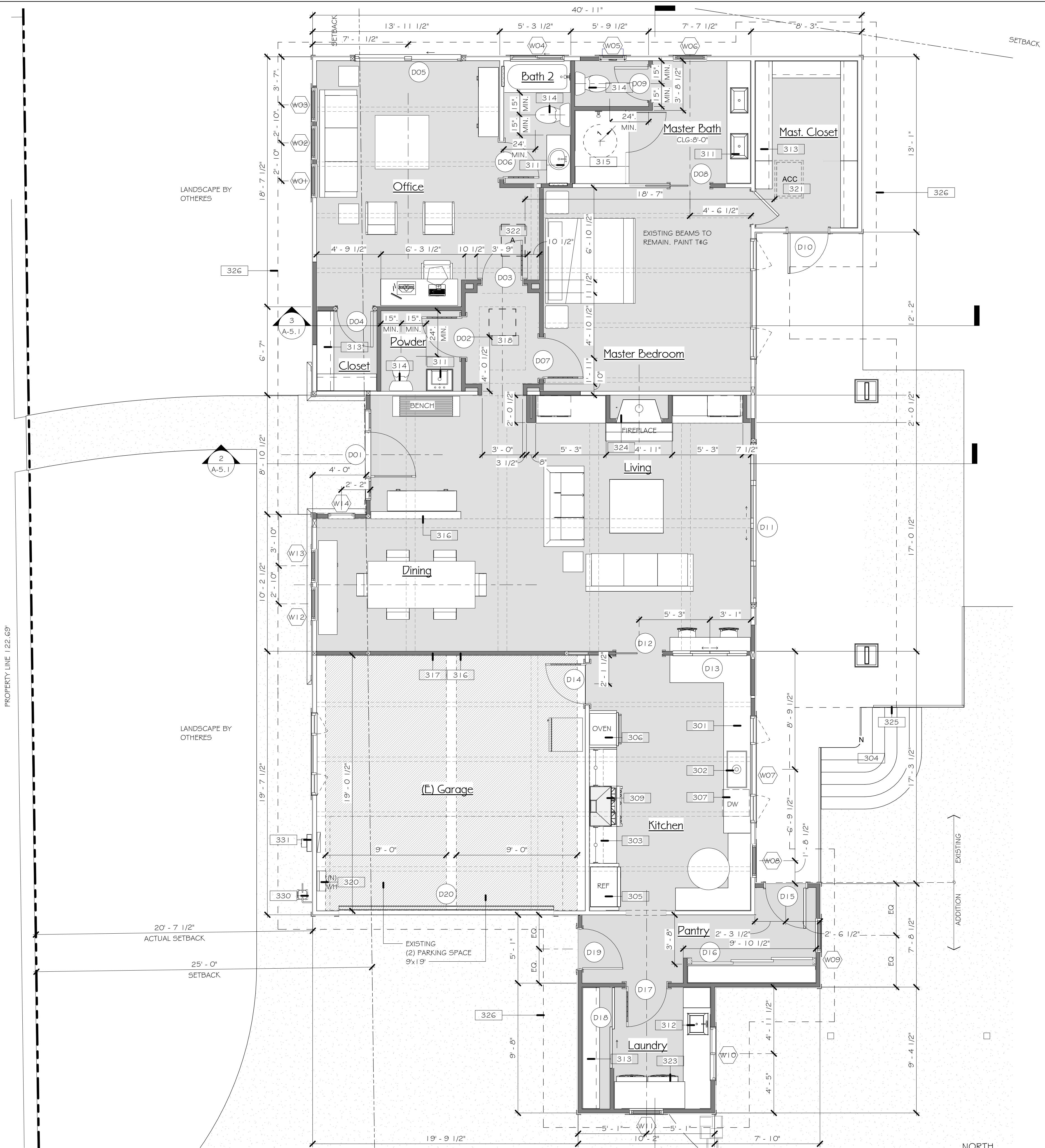
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 Dean Roemmich & Christine Nottingham
 675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
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CHECKED	JEK
MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

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(N) FIRST FLOOR

1/4" = 1'-0"

KEYNOTES

- 301 COUNTERTOP WITH BASE CABINETS BELOW
- 302 KITCHEN SINK WITH DISPOSAL
- 303 UPPER CABINETS PER INTERIOR DESIGN
- 304 CONCRETE STEPS, 7.75" MAX RISE AND MIN 1'0" TREAD
- 305 REFRIGERATOR WITH COLD WATER HOOKUP
- 306 MICRO OVER OVEN PER INTERIOR DESIGN
- 307 BUILT IN DISHWASHER
- 309 42" HIGH WALL WITH CONCRETE CAP TO MATCH COUNTER TOP
- 311 SINK WITH OVERFLOW PER INTERIOR DESIGN BOOK
- 312 UTILITY SINK
- 313 ROD AND SHELF
- 314 LOW FLOW TOILET
- 315 FULL HT. TILED SHOWER WITH TEMP GLASS ENCLOSURE. SEE INT. DESIGN BOOK FOR MORE INFORMATION
- 316 42" HIGH WALL W/CAP
- 317 PROVIDE MIN 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALLS SEPARATING THE GARAGE FROM THE DWELLING AND ATTICS.
- 318 RETURN AIR GRILLE (RAG)
- 320 NEW WALL MOUNTED EXTERIOR TANKLESS WATER HEATER. RINNAI RUC90 (RU-KBD2934FFUD-US) 180,000 BTU. FLOW RATE P5.0 / 7.0 gpm. HOT WATER FLOW RATE RANGE 2.0-2.6 - 9.0 gpm. PROVIDE 120 VOLT RECEPTACLE WITHIN 3FT OF HEATER AND A CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS FOR GRAVITY DRAINAGE. THE "B" VENT INSTALLED IN A STRAIGHT POSITION FROM THE ROOM CONTAINING THE WATER TO THE ROOF TERMINATION (FOR FUTURE POSSIBLE SLEEVING FOR HIGH EFFICIENCY HEATER VENTING). GAS PIPING SIZING BASED UPON A MIN. INPUT OF 200,000 BTU/HR.
- 321 EXISTING ATTIC ACCESS 22'x30', MUST BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF MECHANICAL EQUIPMENT
- 322 NEW 115,000 BTU, 5 TON, ARMSTRONG BY LENOX FAU IN ATTIC w/30" CLEAR PLATFORM IN FRONT OF THE UNIT TO SERVE THE NEW ADDITION. PASSAGEWAY TO THE MECHANICAL EQUIPMENT MUST NOT BE OBSTRUCTED, HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE, AND BE NOT MORE THAN 20' IN LENGTH FROM THE ACCESS OPENING TO THE APPLIANCE.
- 323 WASHER & DRYER. PROVIDE HOT & COLD WATER W/ RECESSED DRAIN. FLOOR DRAIN AND PAN UNDER WASHER. PROVIDE 4" VENT WITH BACKDRAFT AND VENT DRYER TO EXTERIOR, MAX RUN SHALL BE 14' WITH NO MORE THAN 2-90 DEG. BENDS
- 324 INSTALL (1) 36" PRE-FAB SINGLE-SIDE METAL FIREPLACE BOX WITH INTERIOR BRICK VENER PANELS WITH GLASS DOOR, LOG KIT AND AUTOMATIC IGNITER. MAKE: TOWN & COUNTRY; MODEL: TC36D2; ANSI Z21.50-2014 ICSA 2.22-2014
- 325 PROVIDE A HANDRAIL ON AT LEAST ONE SIDE OF STAIR FLIGHT WITH FOUR OR MORE RISERS
- 326 PROPOSED ROOFLINE
- 330 EXISTING GAS METER
- 331 EXISTING 200AMP ELECTRIC METER

GENERAL NOTES

- 1. SEE SHEET GN-1.1 FOR FLOOR PLAN AND ELECTRICAL NOTES.
- 2. SEE SHEET GN-1.2 FOR FLOOR PLAN AND ARCHITECTURAL NOTES.
- 3. A HEIGHT CERTIFICATION COMPLETED BY A LICENSED LAND SURVEYOR FOR ALL PROJECTS THAT INCLUDE CONSTRUCTION ABOVE 15 FEET IN HEIGHT. THIS IS REQUIRED AT FRAMING INSPECTION, AFTER THE BUILDING PERMIT IS ISSUED.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED (U.N.O.)
- PROPOSED 2x4 STUD WALL
- PROPOSED 2x6 STUD WALL
- CMU WALL

ABBREVIATIONS

- (E) - EXISTING NOTED FEATURE
- (D) - EXISTING NOTED FEATURE TO BE DEMOLISHED
- (N) - PROPOSED NOTED FEATURE
- (R) - REMODELED ROOM / AREA
- (R. & R.) - REMOVE AND REPLACE NOTED FEATURE

#	Description	Date

REVISION TAG / MARKER

PROJECT STATUS

FOURTH SUBMITTAL

02/17/2020

JACKSON

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Fax: (619) 425-6658

Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE, SOLANA BEACH, CA 92075

A H m e o m e

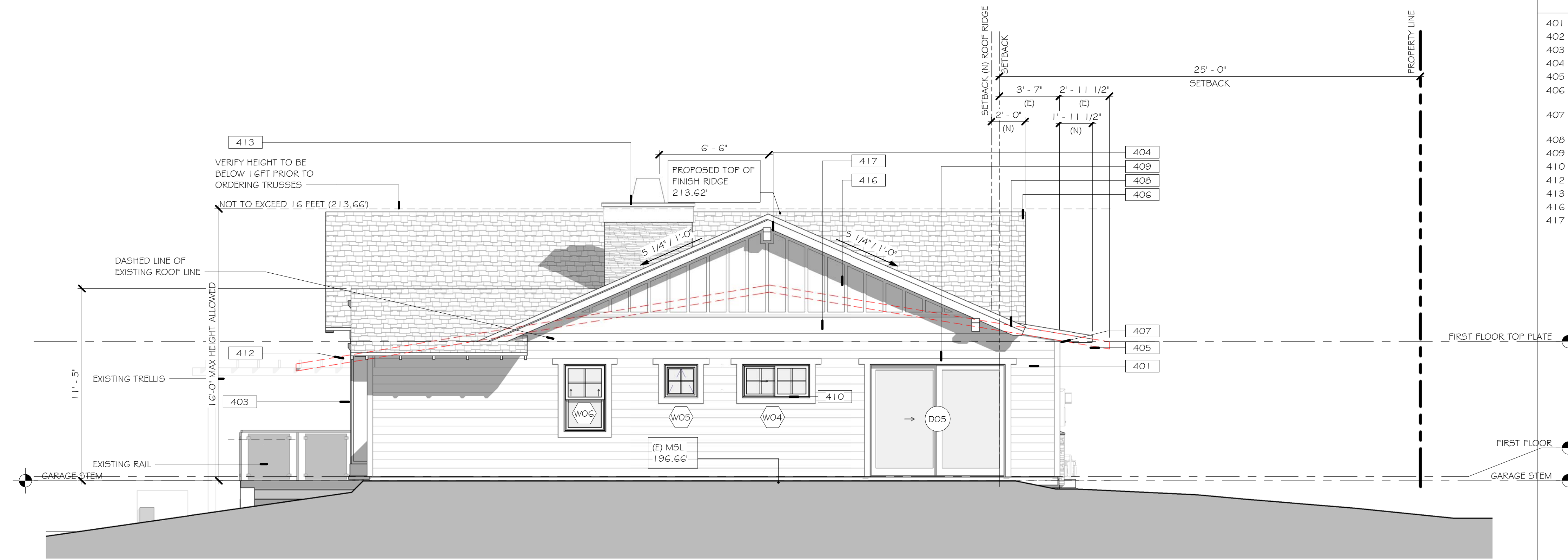
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MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

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(N) WEST ELEVATION

1/4" = 1'-0"

KEYNOTES

- 401 INSTALL 8" HORIZONTAL CEMENT BATT AND BOARD SIDING
- 402 INSTALL 1X CEMENT FLAT TRIM AT CORNERS
- 403 INSTALL DETAIL AROUND (2) COLUMNS AT REAR PATIO
- 404 4x OUTLOOKERS
- 405 G.I. METAL DRIP EDGE
- 406 OWENS CORNING COMP. ROOF SHINGLE, CLASS 'A' MIN. TWILIGHT BLACK OR EQUAL ESR-3229
- 407 2x6 BARGE BOARD WRAP TILE OVER EDGE AND PROVIDE EDGE DRIP METAL
- 408 G.I. FLASH ALL WALL TO ROOF CONNECTIONS
- 409 1x4 WINDOW AND DOOR BORDER, HEADER AND SILL
- 410 JIFFY SEAL OVER ALL HORIZONTAL SURFACES
- 412 EXPOSED 2x6 RAFTER TAILS
- 413 SPARK ARRESTOR PER ICC
- 416 VERTICLE SIDING OVER TYVEK BUILDING WRAP
- 417 1X1 OVER 1X2 TRIM BOARD, FLASH

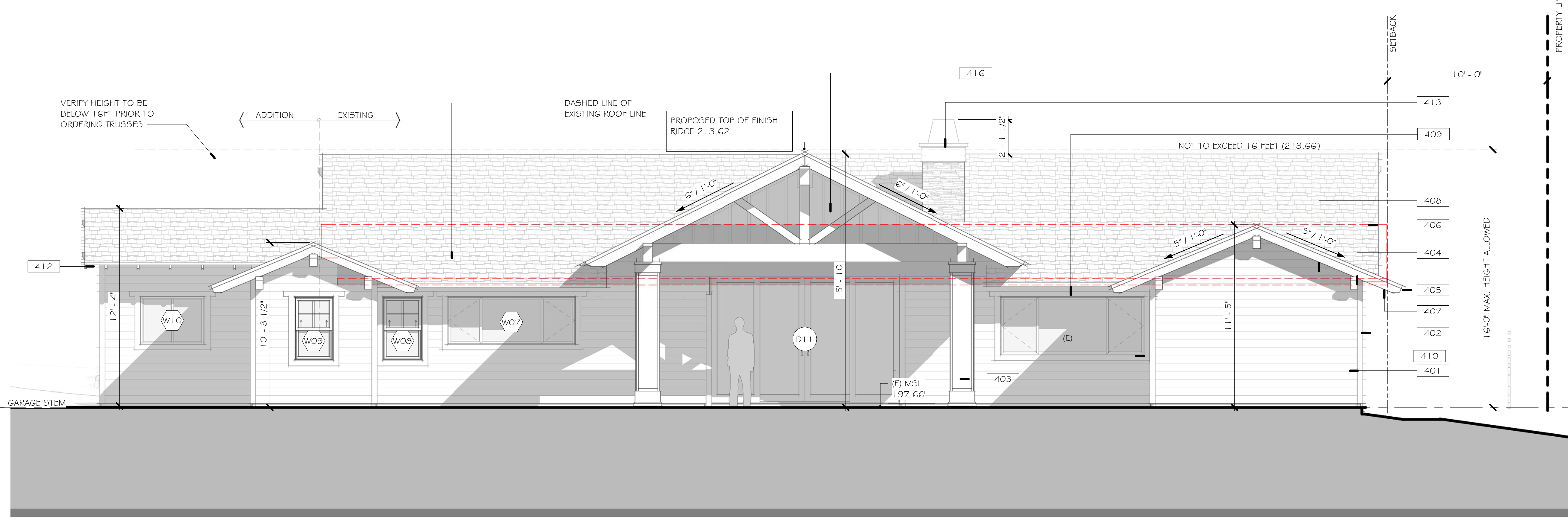
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 www.jacksondesignremodeling.com
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ELEVATION NOTES

1. FIELD VERIFY ALL SETBACKS PRIOR TO COMMENCEMENT OF WORK. IF A CONFLICT ARISES THE ARCHITECTURAL DESIGNER SHALL BE NOTIFIED
2. THE INTENT OF THESE ILLUSTRATIONS ARE TO SHOW DESIGN INTENT AND THE SPIRIT OF THE ARCHITECTURE. IF ANY CHANGES ARE REQUIRED OR REQUESTED BY THE OWNER WHICH AFFECTS THE DESIGN INTENT, THE CONSTRUCTOR SHALL NOTIFY THE ARCHITECTURAL DESIGNER OF THE CHANGES AND A REVIEW SHALL BE DONE



(N) NORTH ELEVATION

1/4" = 1'-0"

WALL LEGEND

	PLASTER / STUCCO		LEVEL / HEIGHT
	HORIZONTAL WOOD SIDING	#	KEYNOTE
	HORIZONTAL WOOD SIDING	(D1)	DOOR SYMBOL
	FINISH WOOD	(W1)	WINDOW SYMBOL

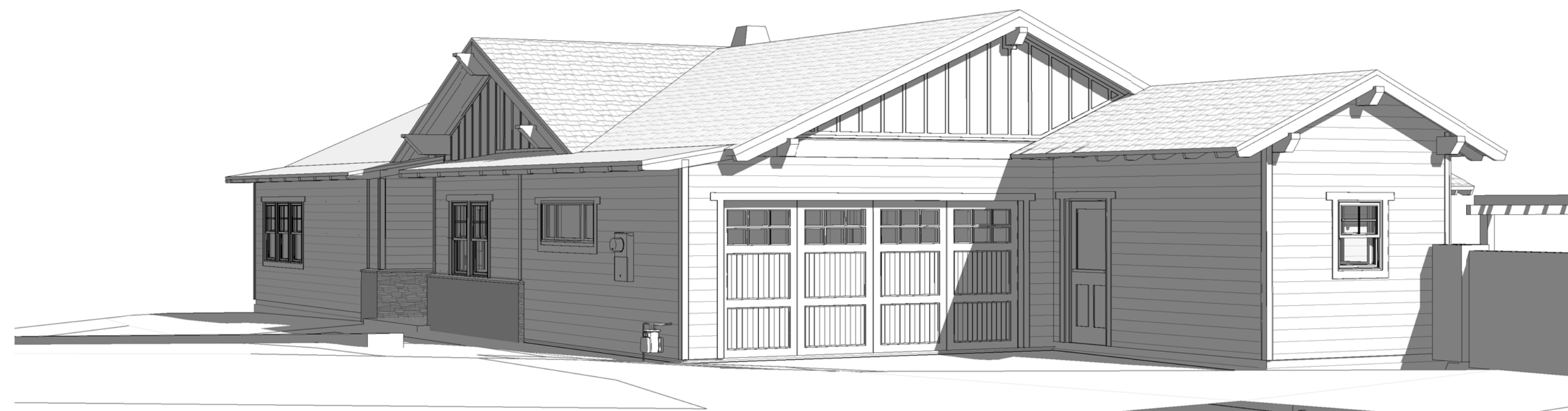
Dean Roemmich & Christine Nottingham
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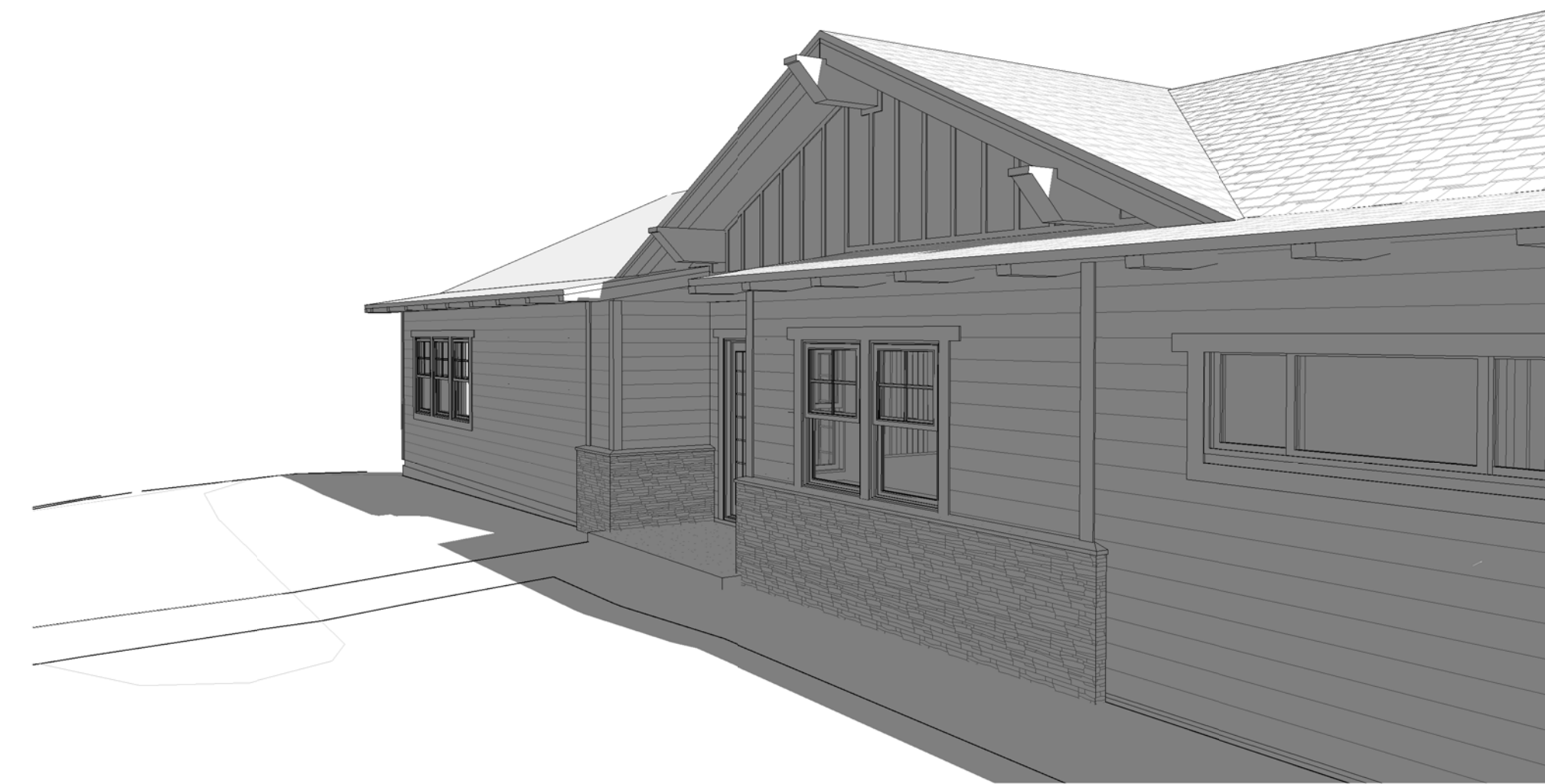
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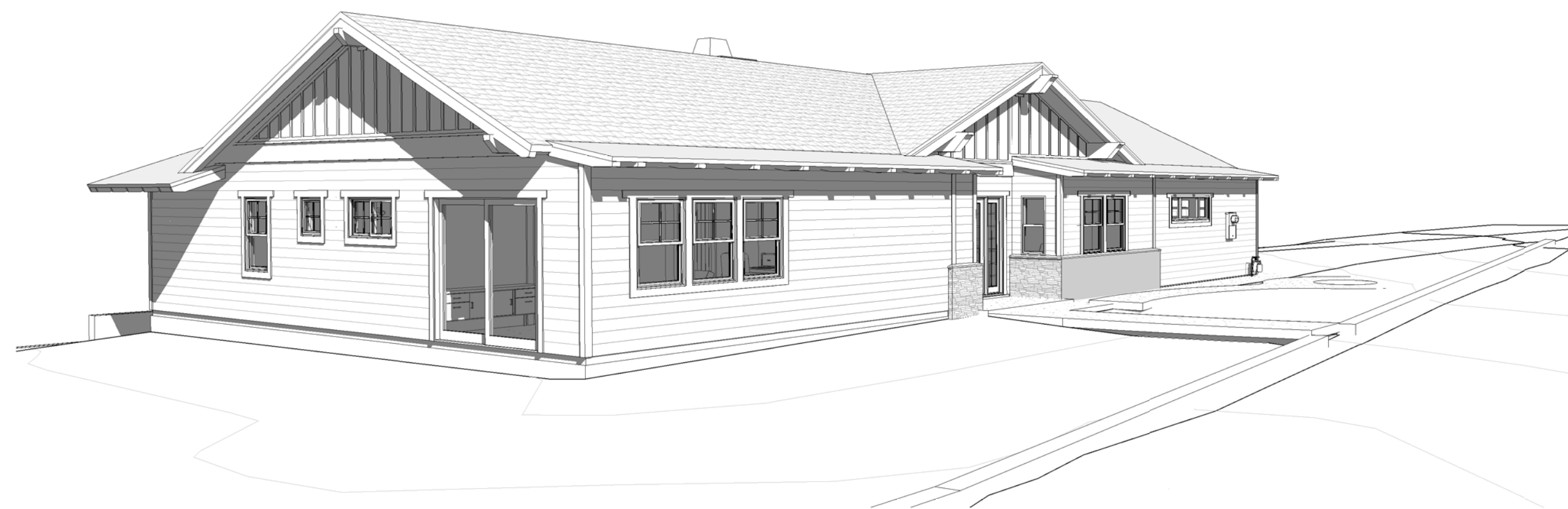
Front View



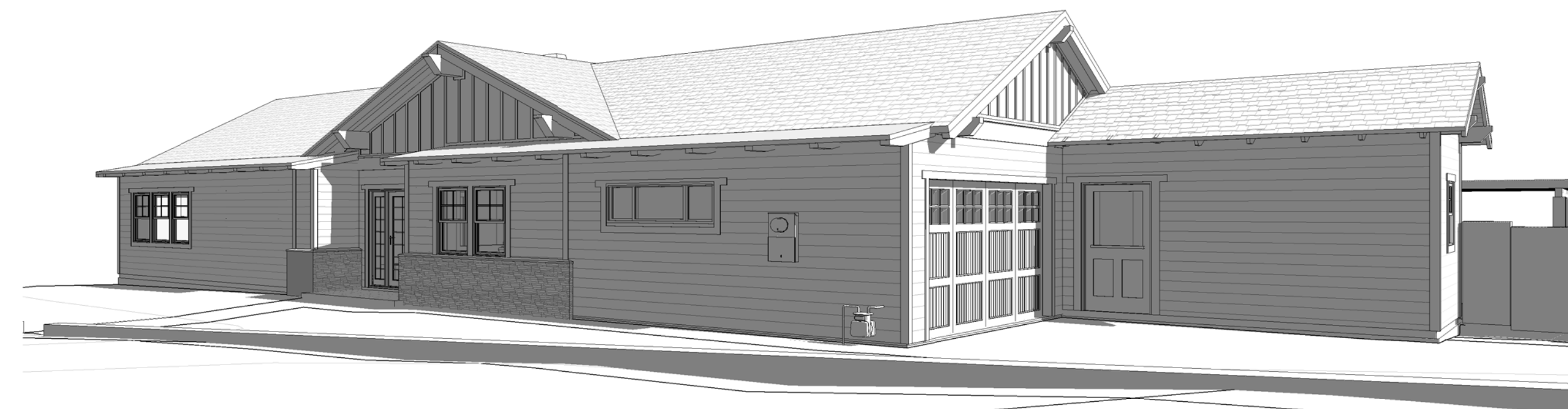
Entry walk at Garage



Front Court



West View



Front View

#	Description	Date

REVISION TAG / MARKER

PROJECT STATUS

FOURTH SUBMITTAL

02/17/2020

JACKSON
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 architects

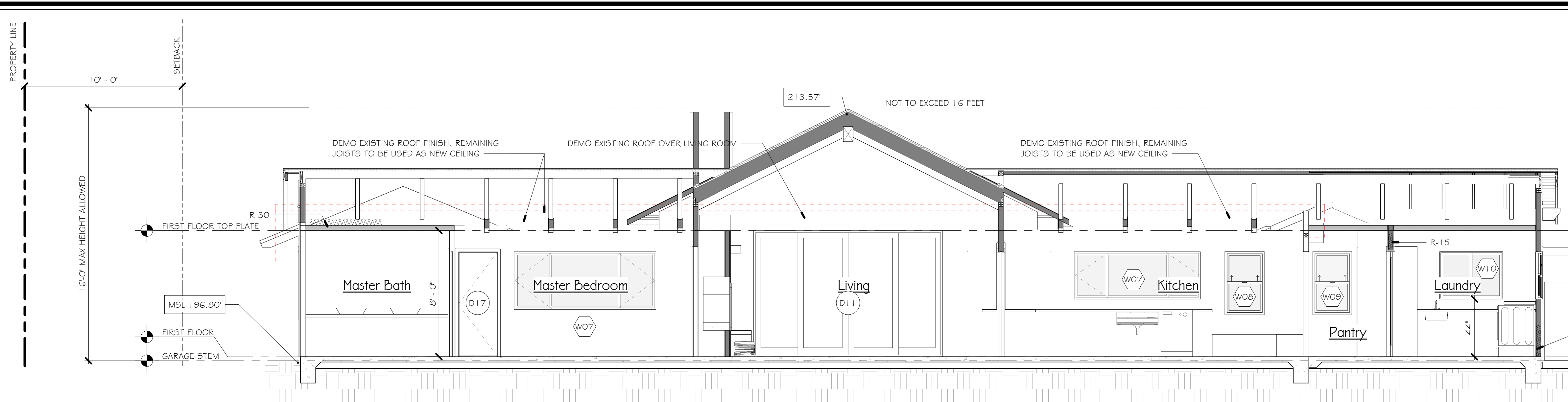
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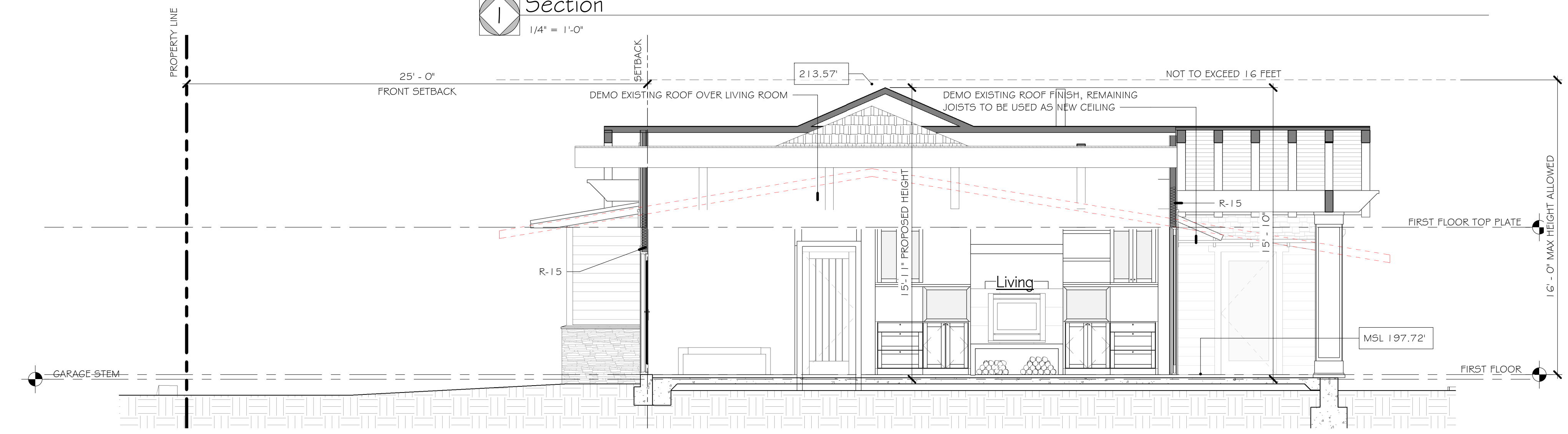
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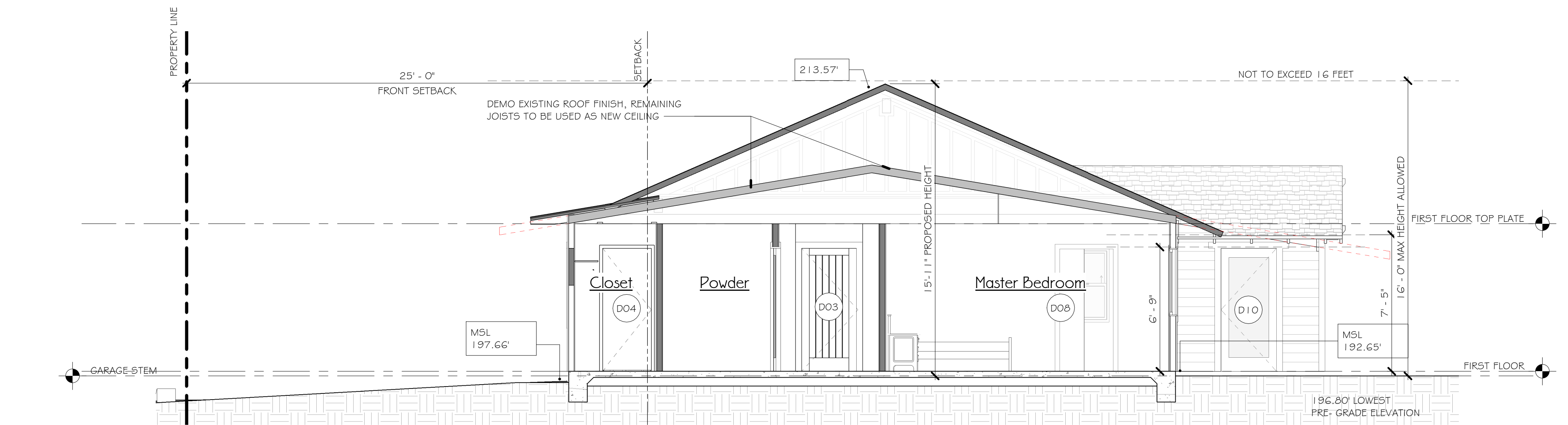
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Section 1
1/4" = 1'-0"



Section 2
1/4" = 1'-0"



Section 3
1/4" = 1'-0"

KEYNOTES

#	Description	Date

REVISION TAG / MARKER
PROJECT STATUS
FOURTH SUBMITTAL
02/17/2020

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A Home Remodel For:
Dean Roemmich & Christine Nottingham
675 GLENMONT DRIVE, SOLANA BEACH, CA 92075
Sheet Title:
BUILDING SECTIONS

GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO FOUNDATION WORK. COMPARE PLANS WITH EXISTING CONDITIONS AND INFORM DESIGNER IF CONFLICTS ARISE.
2. SECTIONS ARE SHOWN AS DIAGRAMMATIC. SEE ARCHITECTURAL PLANS AND INTERIOR DESIGN BOOKS FOR MORE DETAILED INFORMATION.
3. FRAMER TO FIELD VERIFY ALL CONDITIONS AND COORDINATE WHERE NEW AND EXISTING FRAMING ALIGN. COORDINATE AND ALIGN WHEN POSSIBLE.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED (U.N.O.)
- PROPOSED 2x4 STUD WALL
- PROPOSED 2x6 STUD WALL
- CMU WALL

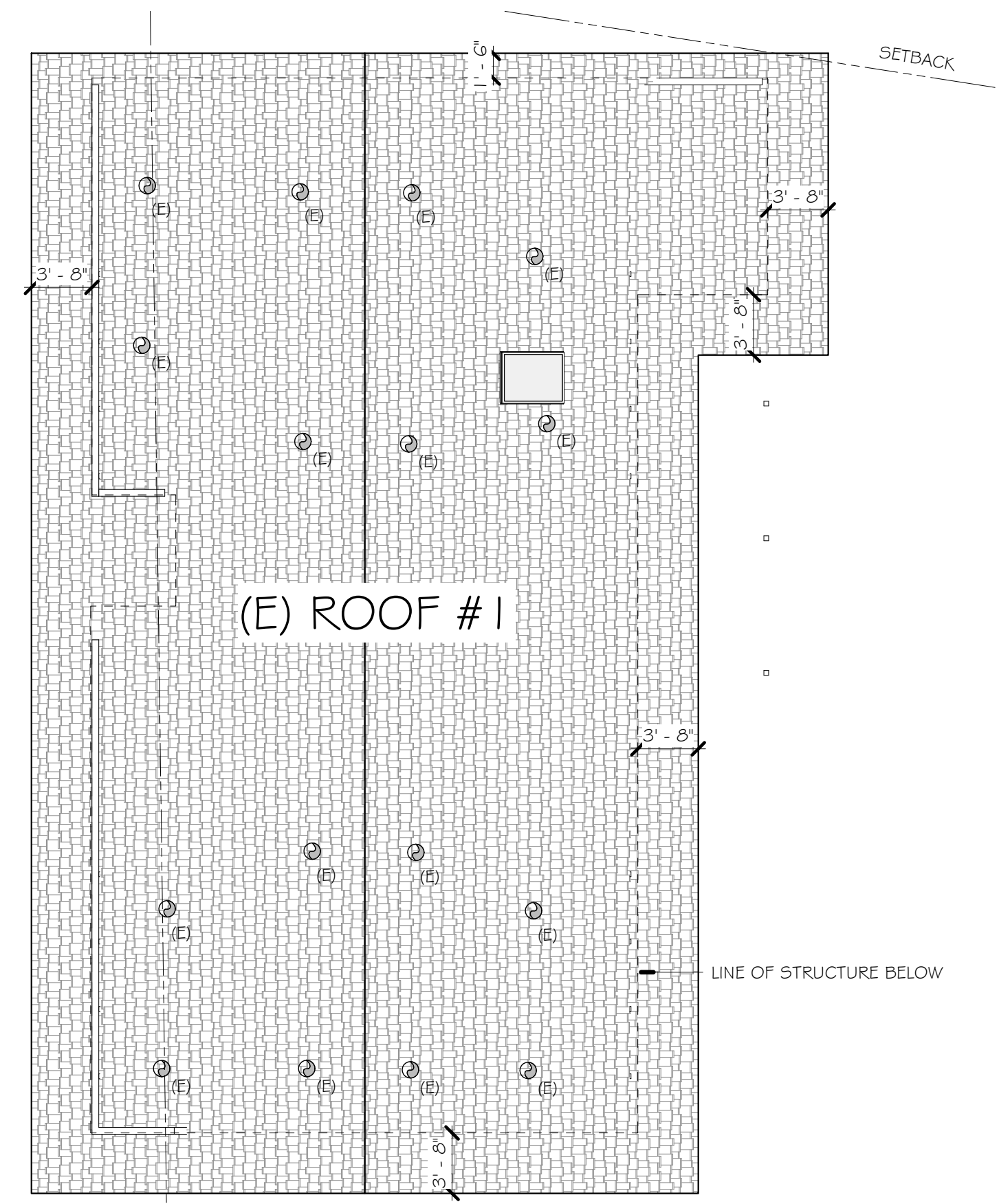
ABBREVIATIONS

- (E) - EXISTING NOTED FEATURE
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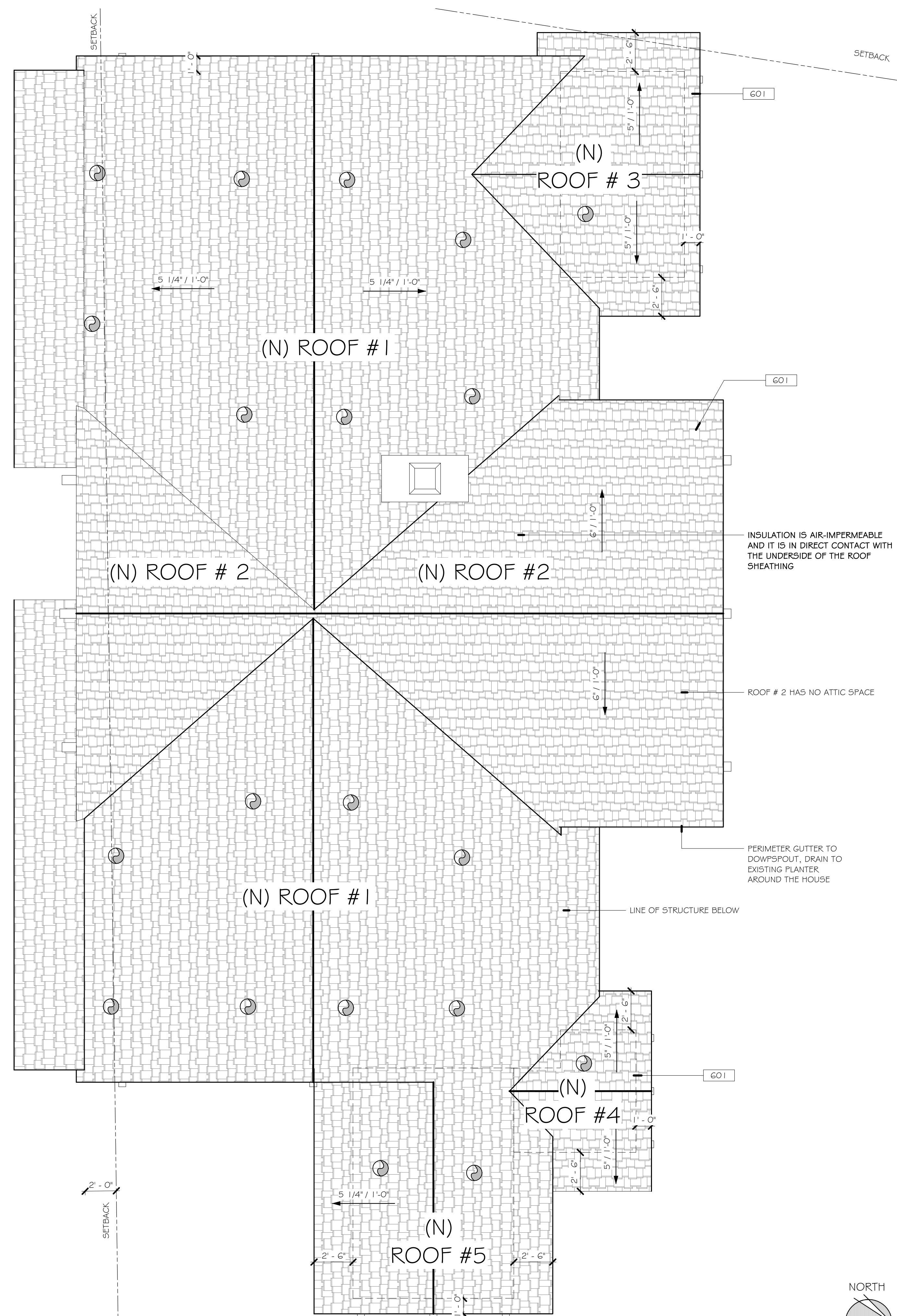
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MEASURE DATE	10/16/18
SCALE	as noted
JOB NAME	Roemmich
SHEET	

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(E) ROOF PLAN

1/8" = 1'-0"



(N) ROOF PLAN

1/4" = 1'-0"

KEYNOTES

601 NEW 2 PIECE CLAY TILE 'US TILE' ICC ESR 1017 OVER ROOFING FELTS, CLASS 'A' MIN.

GENERAL NOTES

- SEE SHEET GN-1.1 FOR FLOOR PLAN AND ELECTRICAL NOTES.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH FOR THE FINISH THEY ARE INTENDED TO RECEIVE.
- DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN ARCHITECTURAL.
- ALL "HOLD" OR "CLR" DIMENSIONS MUST BE MAINTAINED TO FINISH
- FRAMER TO FIELD VERIFY ALL CONDITIONS AND COORDINATE WHERE NEW AND EXISTING FRAMING ALIGN. COORDINATE AND ALIGN WHEN POSSIBLE.

ATTIC VENT CALCULATION

NEW ROOF #1
 PROPOSED ATTIC AREA = 1,638 SQ FT
 ATTIC CALCULATION: 1,638 x 144 = 235,872 SQ. IN. / 150 = 1,572 SQ. IN.
 REQUIRED VENT AREA = 1,572

VENT ARE PROVIDED = PROVIDE OHAGIN CLOAKED
 1,572 SQ. IN. / (97.5 SQ. IN.) = 16 VENTS

PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 1,572 SQ. IN. OF VENTING. EVENLY SPACE THROUGH-OUT

NEW ROOF #3
 PROPOSED ATTIC AREA = 105 SQ FT
 ATTIC CALCULATION: 105 x 144 = 15,120 SQ. IN. / 150 = 101 SQ. IN.
 REQUIRED VENT AREA = 101

VENT ARE PROVIDED = PROVIDE OHAGIN CLOAKED
 101 SQ. IN. / (97.5 SQ. IN.) = 1 VENTS

PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 101 SQ. IN. OF VENTING. EVENLY SPACE THROUGH-OUT

NEW ROOF #4
 PROPOSED ATTIC AREA = 55 SQ FT
 ATTIC CALCULATION: 55 x 144 = 7,920 SQ. IN. / 150 = 53 SQ. IN.
 REQUIRED VENT AREA = 53

VENT ARE PROVIDED = PROVIDE OHAGIN CLOAKED
 53 SQ. IN. / (97.5 SQ. IN.) = 1 VENTS

PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 53 SQ. IN. OF VENTING. EVENLY SPACE THROUGH-OUT

NEW ROOF #5
 PROPOSED ATTIC AREA = 154 SQ FT
 ATTIC CALCULATION: 154 x 144 = 22,176 SQ. IN. / 150 = 148 SQ. IN.
 REQUIRED VENT AREA = 148

VENT ARE PROVIDED = PROVIDE OHAGIN CLOAKED
 148 SQ. IN. / (97.5 SQ. IN.) = 2 VENTS

PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 148 SQ. IN. OF VENTING. EVENLY SPACE THROUGH-OUT

ATTIC VENTILATION NOTES:

- HALF OF REQUIRED ATTIC VENTILATION TO BE PROVIDED BY VENTS SERVING UPPER PART OF ATTIC.
- PROVIDE MIN. 3" HEIGHT DIFFERENCE BETWEEN 'HIGH' AND 'LOW' VANTILATION LOCATIONS.
- ATTIC VENTS TO BE LOCATED TO PROVIDE CROSS VENTILATION ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MAXIMUM OPENINGS
- WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.

SYMBOL LEGEND

- NEW ROOF VENT PER VENTILATION CALCS (TYP.)
- EXISTING ROOF VENT PER VENTILATION CALCS (TYP.)
- 3 1/2" : 12" PITCH AT ROOF SLOPE
DIRECTION OF ROOF SLOPE

#	Description	Date

REVISION TAG / MARKER

PROJECT STATUS

FOURTH SUBMITTAL

02/17/2020

JACKSON
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A H m e m e

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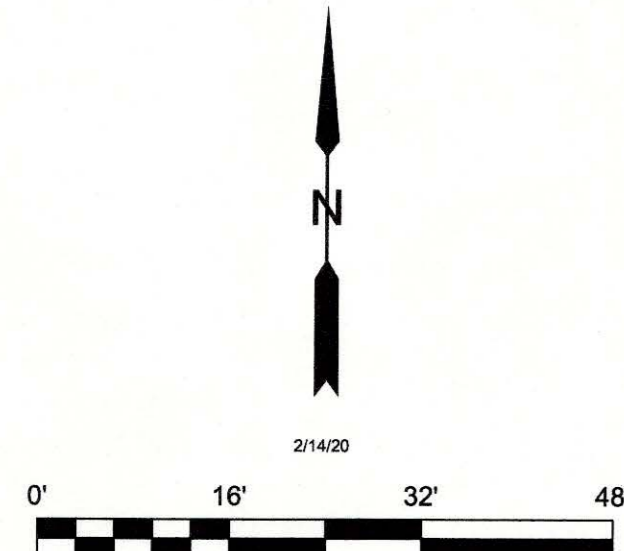
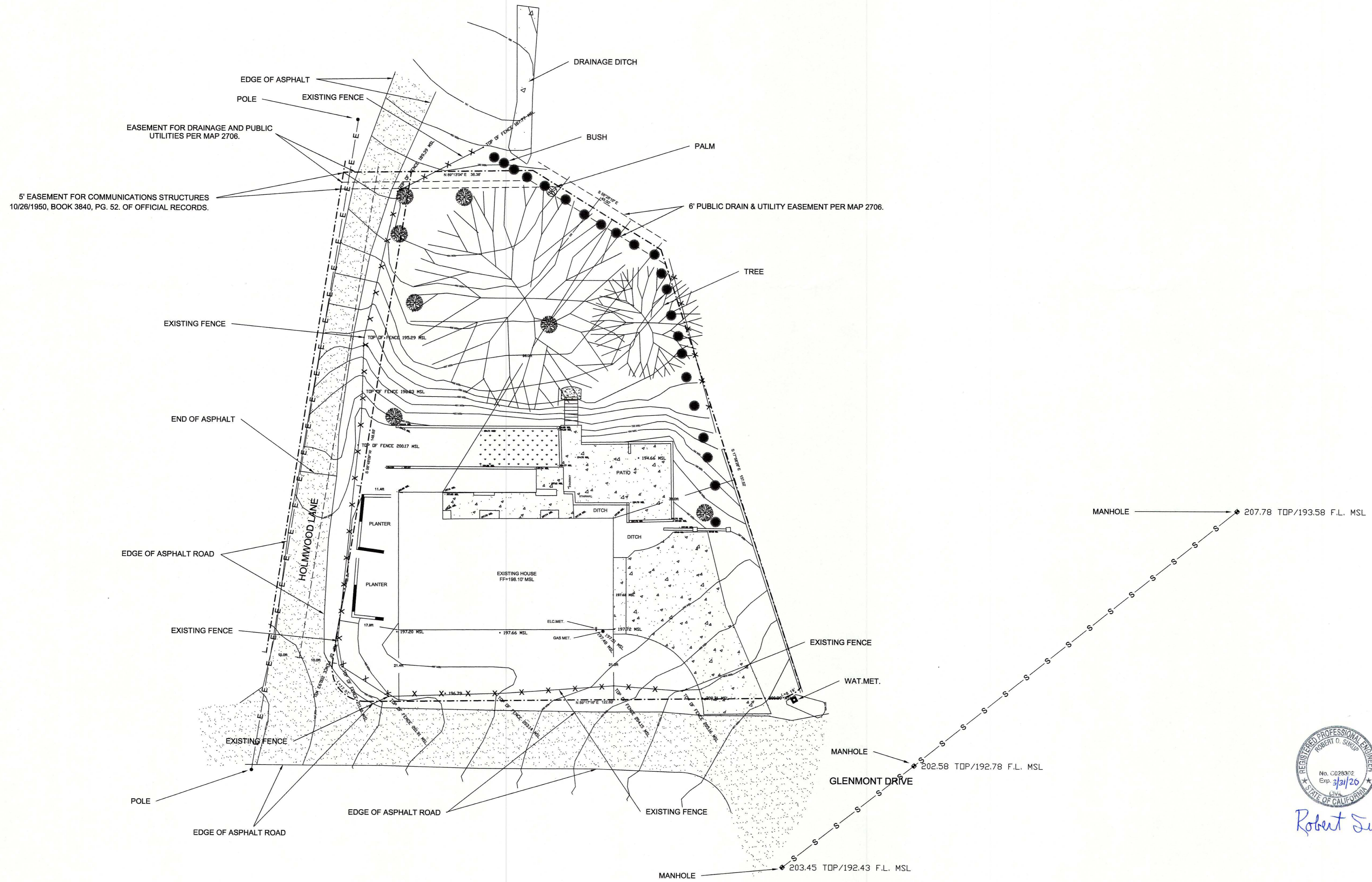
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JOB NAME	Roemlich
SHEET	

NT ATE 2 2 M

A .1



Robert Sukup

BOUNDARY TIED TO RECORD OF SURVEY 19573.
 ELEVATIONS TIED TO CITY OF SOLANA BEACH
 BENCHMARK "ENC-43 NAVD88 EL=34.67' MSL".
 PLOT BY SOLANA SURVEY. 858-755-8083.



Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE. SOLANA BEACH, CA 92075

Attachment #3



Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE. SOLANA BEACH, CA 92075



Dean Roemmich & Christine Nottingham

675 GLENMONT DRIVE. SOLANA BEACH, CA 92075



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: February 26, 2020
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for DRP and VAR to Reconstruct a Single-Story, Single-Family Residence with an Attached Garage, Construct a Single-Story Addition, and Perform Associated Site Improvements at 675 Glenmont Drive. (DRP19-004, V19-001 Applicants: Roemmich-Nottingham; APN: 263-103-11; Resolution No. 2020-024)**

BACKGROUND:

The Applicants, Dean Roemmich and Christine Nottingham, are requesting City Council approval of a Development Review Permit (DRP) and Variance (VAR) to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive. The 15,600 square-foot lot is located within the Low Residential (LR) Zone, Scaled Residential Overlay Zone (SROZ), Scenic Area Overlay Zone (SAOZ), and Dark Sky Area.

The project proposes grading in the amounts of approximately 11 cubic yards of cut for the excavation of footings. The project requires a DRP for development on a property located in the SAOZ. The maximum building height would be 15.96 feet above the pre-existing and proposed grade or 213.57 feet above Mean Sea Level (MSL). As proposed, the project would not require a Structure Development Permit (SDP) because the structure would not exceed 16 feet in height above the pre-existing grade. The Applicants are requesting a VAR for the residence to reconstruct a portion of the existing structure that encroaches approximately 4.5 feet into the required 25-foot front-yard setback.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicants' request as contained in Resolution 2020-024 (Attachment 1).

DISCUSSION:

The property is located in the northwest corner of the intersection of Glenmont Drive and Canyon Drive. Though the street address is taken from Glenmont Drive, the property

CITY COUNCIL ACTION:

_____	<p>Approved 5/0</p> <p>Approved to Continue the Item, to a future agenda and return w/ a redesign.</p>	_____
_____		_____

fronts on Canyon Drive along the southern property line from which the front-yard setback is measured. The western property line follows the Holmwood Lane public right-of-way until the public road transitions to the private road approximately halfway along the western property line. The eastern and northern property lines are adjacent to existing residentially developed lots. The subject lot is currently developed with a single-story, single-family residence with an attached two-car garage, which is accessed by a driveway off Canyon Drive at the southeastern corner of the lot. The existing residence is located on a relatively flat building pad on the southern side of the lot. The topography of the lot slopes away from the existing improvements down to the rear (north) portion of the lot by approximately 13 feet.

The lot is currently developed with a legal nonconforming single-story, single-family residence, which encroaches approximately 4.5 feet into the required 25-foot front-yard setback located along the southern property line. In March of 2019, the Applicants submitted an application for a ministerial Building Permit to construct a remodel and addition. Planning Staff authorized the application to proceed through plan check (including building, fire, engineering, and environmental review) because the project was found to be consistent with the applicable zoning regulations, including the provisions for "refurbishment" of nonconforming structures set forth in Solana Beach Municipal Code (SBMC) Section 17.16. Additionally, the project was consistent with the "One-Time Exemption" allowance from the requirement of a DRP to construct a maximum 700 square-foot addition (SBMC Section 17.68.040.B.1.n). Pursuant to the procedures in place at that time, Planning Staff would not review the building permit plans again until all other disciplines had approved and the project was placed in "stamp out" for final approval.

At some point during the course of plan check, the Applicants modified the project scope and the Applicants began construction without the benefit of an issued Building Permit. The change to the project scope no longer complied with the nonconforming or "One-Time Exemption" provisions referenced previously. The majority of the roof of the existing structure was removed for reconstruction, which changed the scope of work from a "remodel/refurbishment" to a "reconstruction" of the existing residence, including the nonconforming portion located in the front-yard setback. Pursuant to the provisions for nonconforming structures, the structural nonconformity would need to be abated in this situation. Additionally, a DRP is now required because the revised scope includes the addition of floor area and the reconstruction of existing floor area, which would exceed the 700 square-foot limit of the "One-Time Exemption" from the DRP. The Applicants were notified of the required discretionary permits and a Stop Work Order was issued for work taking place on the property without permits.

The Applicants are requesting approval of a DRP to reconstruct the 1,768 square-foot existing residence, 399 square-foot existing garage and 35 square-foot covered entry area, construct a 211 square-foot addition to the northwest corner of the existing residence within the buildable area, and construct associated site improvements including driveway improvements and perimeter fencing. The Applicants are requesting a VAR to reconstruct the residence in its current location, approximately 4.5 feet within the front-

yard setback, which includes the reconstruction of structural components of the existing nonconforming roof structure. The project plans are provided in Attachment 2.

Table 1 (below) provides a comparison of the SBMC applicable zoning regulations with the Applicants' proposed design.

Table 1				
LOT INFORMATION				
Property Address:	675 Glenmont Dr.	Zoning Designation:	LR (3 du/ac)	
Lot Size (Gross):	15,600 ft ²	# of Units Allowed:	1 Dwelling Unit, 1 ADU	
Max. Allowable Floor Area:	4,635 ft ²	# of Units Requested:	1 Dwelling Unit	
Proposed Floor Area:	2,213 ft ²	Setbacks:	Required	Proposed
Below Max. Floor Area by:	2,422 ft ²	Front (S)	25 ft.	21.5 ft.
Max. Allowable Height:	25 ft.	Street Side (W)	10 ft.	11.5 ft.
Max. Proposed Height:	15.96 ft.	Interior Side (E)	5 ft.	23.7 ft.
Highest Point/Ridge:	213.57 MSL	Rear (N)	25 ft.	85 ft.
PROPOSED PROJECT INFORMATION				
Floor Area Breakdown:		Required Permits: DRP: Development in the SAOZ; VAR: Front-Yard Setback encroachment		
Existing Living Area	1,768 ft ²	Proposed Parking: 1 Garage, 2 Driveway		
Proposed Living Area	211 ft ²	Proposed Fences and Walls: Yes		
Existing Attached Garage	399 ft ²	Proposed Accessory Dwelling Unit: No		
Covered and Enclosed Exterior Area	35 ft ²	Proposed Accessory Structure: No		
Subtotal	2,413 ft ²	Existing Development: Single-Family		
Off-Street Parking Exemption	- 200 ft ²	Residence to be Reconstructed		
Total Floor Area:	2,213 ft²			
Proposed Grading: Excavation for Footings: 11 yd ³				

Staff has prepared draft findings for approval of the project in the attached Resolution 2020-024 for Council's consideration based upon the information in this report. The applicable SBMC sections are provided in italicized text and conditions from the Community Development, Engineering, and Fire Departments are incorporated in the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions it deems appropriate as a result of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for adoption at a subsequent Council meeting.

The following is a discussion of the findings for a DRP as each applies to the proposed project as well as references to recommended conditions of approval contained in Resolution 2020-024.

Development Review Permit Compliance (SBMC Section 17.68.40):

A DRP is required because the proposed development is on a property located within the SAOZ. In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking, and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2020-024 provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the LR Zone. Properties immediately to the east and west are also located within the LR Zone, as well as those on North Granados Avenue, Rawl Place, and the north side of Canyon Drive. Properties immediately to the south and southeast are located in the Low Medium Residential (LMR) Zone. All surrounding properties are developed with a mixture of one- and two-story single-family residences.

The project, as designed, is consistent with the permitted uses for the LR Zone as described in SBMC Sections 17.20.010 and 17.12.020 should the request for the VAR be granted to encroach into the required 25-foot front yard setback. The property is designated Low Density Residential in the General Plan and intended for single-family residences developed at a maximum density of three dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential

neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ, SAOZ, and Dark Sky Area. The project has been evaluated and could be found to be in conformance with the regulations of the SROZ, SAOZ, and Dark Sky Area, which are discussed later in this report. The project is also located within the Coastal Zone. As a condition of project approval, the Applicants will be required to obtain a Coastal Development Permit, Waiver, or Exemption from the California Coastal Commission prior to the issuance of building or grading permits.

Building and Structure Placement:

The Applicants propose to reconstruct a single-story, single-family residence with an attached two-car garage, construct a single-story addition, and perform associated improvements including improvements to the driveway and perimeter fencing. The project would maintain the general site configuration of the existing development with the residence located within the existing footprint and on the existing building pad on the southern portion of the property. Driveway access would be maintained from Canyon Drive at the southeast corner of the front (south) property line. The replacement roof would change the low pitch (1.5:12) roof to a more modern 5:12 pitch gable roof design.

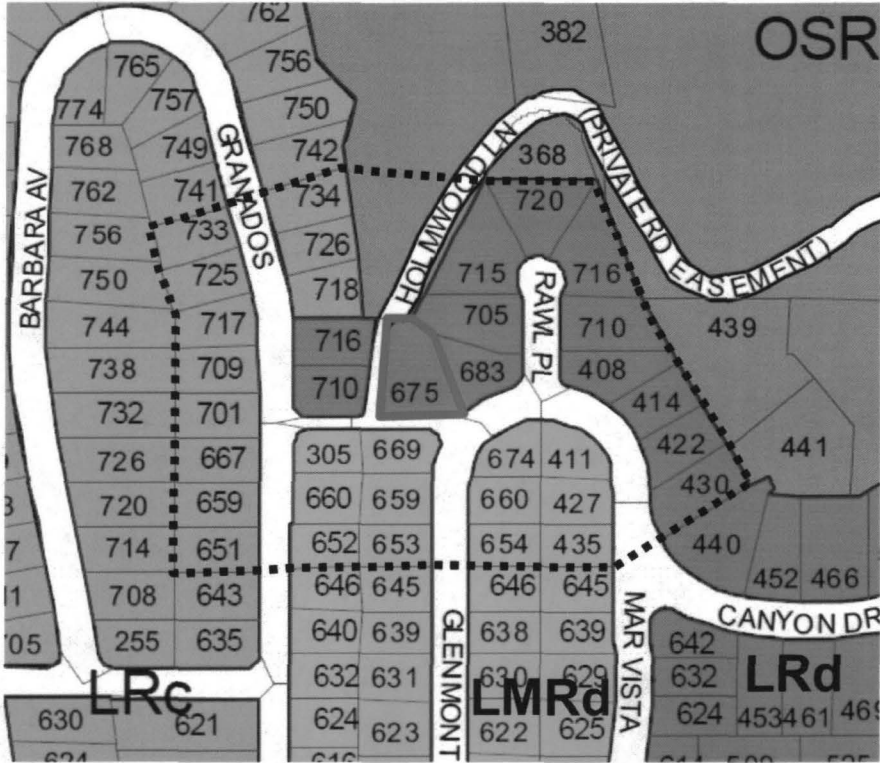
The single-story residence would consist of an open-concept entry area, living room, and dining room; a kitchen with access to the two-car garage and separate access to the proposed pantry and laundry room addition; an office with a full bathroom; a powder room; and a master suite. The project would include reconstruction of the existing 1,768 square-foot residence, 399 square-foot attached two-car garage, and 35 square-foot covered entry, as well as construction of a 211 square-foot addition of living area. The subtotal of the proposed floor area for the project would be 2,413 square feet.

The SBMC parking regulations require two off-street parking spaces per single-family residence. The Code indicates that when required spaces are provided in a garage, 200 square feet of floor area is exempted for each required space. The existing garage included obstructions (door swings and mechanical equipment) in both parking spaces. However, the project includes reconfiguration of the garage, which would result in one of the spaces being obstructed by a door swing and mechanical equipment while the second space would be unobstructed. Since one of the garage spaces would be unobstructed, the project is afforded a 200 square-foot exemption from floor area. With the exemption, the total proposed floor area would be 2,213 square feet, which is 2,422 square feet below the maximum allowable floor area for the 15,600 square-foot lot located in the SROZ. The maximum floor area calculation for this project is as follows:

0.50 for first 6,000 ft ²	3,000 ft ²
0.175 for 6,000 to 15,000 ft ²	1,575 ft ²
0.1 for 15,000 to 20,000 ft ²	60 ft ²
<hr/>	
Maximum Allowable Floor Area:	4,635 ft ²

Neighborhood Comparison:

Staff compared the proposed project to 35 other properties within the surrounding area. This area includes properties on Canyon Drive, Glenmont Drive, Rawl Place, Holmwood Lane, and North Granados, as shown on the following map.



The properties evaluated in this comparison are also located in the LR Zone as well as the Low Medium Residential (LMR) Zone. The existing homes range in size from 1,266 square feet to 5,176 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or non-habitable accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garage and the outdoor covered area:

Project Gross Building Area:	2,413 ft ²
Delete Covered Entry:	- 35 ft ²
Delete Attached Garage:	- 399 ft ²
<hr/>	
Project Area for Comparison to Assessor's Data:	1,979 ft ²

Table 2 is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot.

Table 2						
#	Property Address	Lot Size in ft2 (GIS)	Existing ft2 Onsite (Assessor's)	Proposed / Recently Approved ft2	Max. Allowable ft2	Zone
1	305 Holmwood Ln	8,800	2,149		3,490	LMR
2	660 N Granados Ave	8,800	1,877		3,490	LMR
3	652 N Granados Ave	8,600	3,663		3,455	LMR
4	669 Glenmont Dr	10,200	2,557		3,735	LMR
5	659 Glenmont Dr	9,600	2,781		3,630	LMR
6	653 Glenmont Dr	8,500	1,829		3,438	LMR
7	674 Glenmont Dr	9,400	1,722		3,595	LMR
8	660 Glenmont Dr	9,000	1,416		3,525	LMR
9	654 Glenmont Dr	8,500	1,806		3,438	LMR
10	411 Canyon Dr	9,400	2,858		3,595	LMR
11	427 Canyon Dr	9,000	1,553		3,525	LMR
12	435 Canyon Dr	8,500	3,017		3,438	LMR
13	408 Canyon Dr	13,000	2,286		4,225	LR
14	414 Canyon Dr	10,200	1,972		3,735	LR
15	422 Canyon Dr	11,700	3,367		3,998	LR
16	430 Canyon Dr	13,700	2,197		4,348	LR
17	675 Glenmont Dr	15,600	1,642	1,979	4,635	LR
18	683 Glenmont Dr	9,200	2,999		3,560	LR
19	705 Rawl Pl	12,500	1,337		4,138	LR
20	715 Rawl Pl	18,500	4,355		4,925	LR
21	720 Rawl Pl	14,900	1,266		4,558	LR
22	716 Rawl Pl	16,600	3,890		4,735	LR
23	710 Rawl Pl	15,400	1,562		4,615	LR
24	734 N Granados Ave	10,700	3,174		3,823	LR
25	726 N Granados Ave	10,100	2,644		3,718	LR
26	718 N Granados Ave	10,100	3,031		3,718	LR
27	716 N Granados Ave	10,500	2,484		3,788	LR
28	710 N Granados Ave	9,600	1,812		3,630	LR
29	733 N Granados Ave	10,000	4,101		3,700	LR
30	725 N Granados Ave	10,000	1,799		3,700	LR
31	717 N Granados Ave	9,700	2,161		3,648	LR
32	709 N Granados Ave	10,100	3,733		3,718	LR
33	701 N Granados Ave	10,100	3,250		3,718	LR
34	667 N Granados Ave	10,100	3,575		3,718	LR
35	659 N Granados Ave	10,100	3,281		3,718	LR
36	651 N Granados Ave	10,100	5,176		3,718	LR

Fences, Walls and Retaining Walls:

Within the front yard setback area, the SBMC Section 17.20.040(O) allows fences and walls, or any combination thereof, to be no higher than 42 inches in height as measured from existing grade, except for an additional two feet of fence that is at least 80% open to light. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air.

A portion of the existing perimeter fencing is located outside of the private property and in the Holmwood Lane right-of-way, which is required to be removed. The Applicants propose to construct replacement perimeter fencing on the property that would comply with the fence height regulations.

Currently, the plans show fences and walls that comply with the requirements of SBMC 17.20.040(O) and 17.60.070(C). If the Applicants decide to modify any of the proposed fences and walls or construct additional fences and walls on the project site, a condition of project approval indicates that they would be required to be in compliance with the Municipal Code.

Landscape:

The project is exempt from the water efficient landscaping regulations of SBMC Chapter 17.56 because the project would not modify more than 500 square feet of landscape area. However, a separate condition has been added to require that native or drought-tolerant and non-invasive plant materials and water-conserving irrigation systems are required to be incorporated into the landscaping to the extent feasible.

Parking:

SBMC Section 17.52.040 and the Off-Street Parking Design Manual (OSPDM) require two (2) parking spaces for a single-family residence. The Applicants are proposing to reconfigure an existing attached garage to provide one obstructed parking space and one unobstructed parking space. The garage would be accessed by a driveway on the southeastern side of the property from Canyon Drive. Two additional parking spaces could be located in the driveway and outside of the front-yard setback. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the floor area calculation. The proposed garage will provide one 9-foot by 19-foot parking space that is clear of obstruction. Therefore, 200 square feet of garage area is exempt from the project's total floor area calculation.

Grading:

The project proposes grading in the amount of 11 cubic yards of cut for the excavation of footings to construct the proposed addition.

Lighting:

The project site is located within the City's Dark Sky Area which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). Conditions of project approval include that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060); that all light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area; and that aesthetic illumination of the proposed residence or landscaping is prohibited.

Usable Open Space:

The project consists of the reconstruction of and addition to a single-story, single-family residence with an attached garage on a developed residential lot, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040. As a condition of approval, the Applicants will be required to pay the City's Park Impact Fee.

Scenic Area Overlay Zone (SAOZ) Compliance:

The purpose of the specific requirements of the SAOZ is to regulate development in areas of high scenic value to preserve and enhance the scenic resources present within, and adjacent to, such areas and to assure the exclusion of incompatible uses and structures. It is further recognized that the preservation and enhancement of scenic resources within the City of Solana Beach provides important social, recreation, and economic benefits for both residents and visitors. Specific review criteria are required for properties within the designated areas of the SAOZ. These are established to ensure that proposed development does not interfere with or degrade those visual features of the site or adjacent sites that contribute to its scenic attractiveness, as viewed from the scenic highway or the adjacent scenic, historic, or recreational resource. The following specific criteria shall be evaluated when they are applicable:

1. Building Characteristics
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking and Storage Areas
5. Aboveground Utilities
6. Grading
7. Signs
8. Lighting

An application for development in the SAOZ also requires submittal of a view analysis consisting of an accurate representation of the development as viewed from at least three separate and critical points exterior to the development site and which show the treatment

of the scenic resources present on the site as related to those resources which are adjacent to the site. The view analysis is provided in Attachment 3. The site is located on the hillside along Canyon Drive. The proposed south (front) elevation would be visible from Canyon Drive and Glenmont Drive. The Pacific Ocean is visible when looking west down Canyon Drive. However, the project would not alter the existing scenic view. The following is a review according to the development review criteria listed above.

Building Characteristics

All development shall be compatible with the topography, vegetation and colors of the natural environment and with the scenic, historic and recreation resources of the designated areas.

The proposed project, as shown in the view analysis, would increase the pitch of the existing roof over the single-story residence and raise the main roof ridge. Existing public scenic views of the Pacific Ocean down Canyon Drive would be maintained. Existing vegetation along the front property line screens the property from Canyon Drive. The project has been conditioned to be constructed with exterior colors that are natural dark or earth toned to the extent feasible.

Building and Structure Placement

The placement of buildings and structures shall not detract from the visual setting or obstruct significant views, and shall be compatible with the topography of the site and adjacent areas. In prime viewshed areas designated in the general plan, building and structures should not be placed along bluff-top silhouette lines or on the adjacent slopes within view from a lagoon area, but should be clustered along the bases of the bluffs and on the mesa tops set back from the bluff-top silhouette lines. Buildings and structures should be sited to provide unobstructed view corridors from the nearest scenic highway, or view corridor road. These criteria may be modified when necessary to mitigate other overriding environmental considerations such as protection of habitat or wildlife corridors.

The subject property is not located in any of the prime viewshed areas designated in the General Plan. There are existing westward ocean views down Canyon Drive that would not be impacted by the project. The project would expand the footprint of the existing structure to the northeast within the buildable area of the lot.

Landscaping

The removal of native vegetation shall be minimized and the replacement vegetation and landscaping shall be compatible with the vegetation of the designated area. Landscaping and plantings shall be used to the maximum extent practicable to screen those features listed in paragraphs (F)(4), (5) and (6) of this subsection. Landscaping and plantings shall not obstruct significant views, either when installed or when they reach mature growth.

The project would not significantly modify the existing landscaping on site.

Roads, Pedestrian Walkways, Parking and Storage Areas.

Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas shall be screened from view, to the maximum extent feasible, from either the scenic highway or the adjacent scenic, historic, or recreational resource. Acceptable screening methods shall include, but are not limited to, the use of existing topography, the strategic placement of buildings and structures, or landscaping and plantings which harmonize with the natural landscape of the designated area.

The project would maintain the footprint of the existing driveway and revise the driveway apron to meet City standards.

Aboveground Utilities

Utilities shall be constructed and routed underground except in those situations where natural features prevent undergrounding or where safety considerations necessitate aboveground construction and routing.

The Engineering Department has placed a condition on the project that requires any new utility services to be undergrounded.

Grading

The alteration of the natural topography of the site shall be minimized and shall avoid detrimental effects to the visual setting of the designated area and the existing natural drainage system. Alterations of the natural topography shall be screened from view from either the scenic highway or the adjacent scenic, historic, or recreational resource by landscaping and plantings which harmonize with the natural landscape of the designated area, except when such alterations add variety to or otherwise enhance the visual setting of the designated area. However, design emphasis shall be placed on preserving the existing quality of scenic resources rather than concealment of disturbances or replacement in kind. In portions of the scenic area overlay zone containing sensitive lands, grading may be severely restricted or prohibited.

The proposed grading includes 11 cubic yards of cut for the excavation of footings. The project would not alter the existing topography of the lot.

Signs

Off-site signs shall be prohibited in areas subject to the scenic area overlay zone, except temporary real estate signs pursuant to SBMC 17.64.060. The number, size, location, and design of all other signs shall be consistent with the Comprehensive Sign Ordinance (Chapter 17.64 SBMC) and shall not detract from the visual setting of the designated area or obstruct significant views.

The project consists of the reconstruction of and addition to a single-family residence, with an attached garage, and associated site improvements; therefore, signs are not proposed as part of the development.

Lighting

The interior and exterior lighting of the buildings and structures and the lighting of signs, roads and parking areas shall be compatible with the lighting permitted in the designated area. All exterior lighting, including lighting in designated "dark sky" areas, shall be in conformance with SBMC 17.60.060 (Exterior Lighting Regulations).

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area. The project site is located within the City's Dark Sky Area, which has specific lighting regulations to preserve the traditional semirural character of the area which includes low levels of nighttime illumination. These regulations prohibit the outside illumination for aesthetic or dramatic purposes of any building and/or surrounding landscape, including environmentally sensitive habitat areas (public or private). An additional condition of project approval includes compliance with the specific requirements of the Dark Sky Area.

Structure Development Permit Compliance:

The proposed structure would not exceed 16 feet in height above the pre-existing grade. Therefore, the Applicants are not required to obtain a Structure Development Permit. The project plans show the maximum structure height would be 15.96 feet measured above the proposed grade or 213.57 feet above MSL.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the structure would not exceed 16 feet from the pre-existing grade.

Variance (SBMC Chapter 17.68.020):

As previously stated, the Applicants are requesting Council approval of a VAR to reconstruct an existing legal nonconforming structure that encroaches approximately 4.5 feet into the required 25-foot front-yard setback. Pursuant to SBMC Section 17.08, a "yard" is defined as "an open space on a parcel of land, other than a court, unobstructed and unoccupied from the ground upward." According to SBMC 17.68.020(B)(3), a VAR may be approved in conjunction with a DRP, provided the following required findings can be made:

1. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the general plan and intent of this title.

2. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to other properties in the same zone.
3. That strict or literal interpretation and enforcement of the specified regulation would deprive the Applicants of privileges enjoyed by the owners of other properties in the same zone.
4. That the granting of the variance will not be detrimental to the public health, safety, welfare, or materially injurious to properties or improvements in the vicinity.

The Applicants' explanation and justification for the VAR is included in Attachment 4.

If the above findings can be made by Council, Staff shall incorporate the findings into the draft Resolution included in Attachment 1. If the above findings cannot be made, the Council shall deny the VAR.

Public Hearing Notice:

Notice of the City Council Public Hearing for the project was published in the Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on February 13, 2020. Staff has not received correspondence about the proposed development.

Conditions from the Planning, Engineering, and Fire Departments have been incorporated into the Resolution of Approval.

In conclusion, the proposed project, as conditioned, could be found to be consistent with the Zoning regulations and the General Plan.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15302 of the State CEQA Guidelines. Section 15301 is a Class 1 exemption for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Examples of this exemption include additions to existing structures that would not increase the floor area by more than 50 percent (e). Class 2 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2020-024.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP and VAR.
- Approve the DRP to construct the proposed residence and deny the request for the VAR.
- Deny the project if all required findings for the DRP and/or VAR cannot be made.

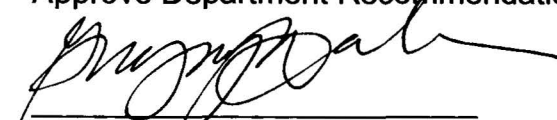
DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum zoning requirements under the SBMC, may be found to be consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and VAR. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Sections 15301 15302 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2020-024 conditionally approving a DRP and VAR to reconstruct a single-story, single-family residence, construct a 211 square-foot single-story addition, and perform associated site improvements at 675 Glenmont Drive, Solana Beach.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2020-024
2. Project Plans
3. View Analysis
4. Variance Request



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: Request for MOD and SDP to Remove Condition XI from Resolution 2015-035, Add 95 Square Feet to an Existing Accessory Living Unit That Exceeds 16 feet in height at 447 E. Cliff Street (Case MOD 19-002/SDP 20-004 Applicant: Donald Davis; APN: 263-160-29; Resolution No. 2020-039)**

BACKGROUND:

The Applicant, Donald Davis, is seeking the Council's approval of a Development Review Permit Modification (MOD) and an administrative Structure Development Permit (SDP) to add 95 square feet to an existing accessory living unit (ALU) on a property currently developed with an existing 1,587 square foot, single family residence. The proposed ALU structural addition will be 22.45 feet above the proposed grade. The property is located on the southeast side of E. Cliff Street and is within the boundaries of the Low Residential (LR) and the Scaled Residential Overlay Zone (SROZ). The Applicant is also requesting a modification to Resolution 2015-035 removing the entirety of Condition XI, related to previous ALU code provisions.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2020-039 (Attachment 1).

DISCUSSION:

The lot is 14,592 square feet in area (gross) and is currently developed with a 1,587 square foot single story residence with a 675 square foot deck and a detached 640 square foot garage and a 640 square foot ALU above the garage. The Applicant is proposing to add 95 square feet to the existing ALU by enclosing a portion of the existing rear deck. The project plans are provided in Attachment 2.

The property is not located within any of the City's Specific Plan areas; however, it is located within the SROZ. The project has been evaluated and could be found to be in

CITY COUNCIL ACTION:

In addition to meeting the zoning requirements, the project must also be found in compliance with the development review criteria. The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping
4. Roads, Pedestrian Walkways, Parking and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a Development Review Permit (DRP) only if all of the findings listed below can be made. The same findings would be required for a MOD as a DRP. If the Council conditionally approves the proposed project, Resolution 2020-039 (Attachment 1) provides the full discussion of the findings.

1. The proposed development is consistent with the general plan and all applicable requirements of the zoning ordinance including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria.
3. All required permits and approvals have been obtained prior to or concurrently with the development review permit.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The subject site is located on the southeast side of E. Cliff Street within the LR Zone. The properties to the north, south, east and west are also zoned LR except for one property directly across E. Cliff Street which is zoned Public Institutional (PI) and is owned by the Santa Fe Irrigation District. The surrounding properties are developed with a mix of one and two story single-family residences. The project, as designed, is consistent with permitted uses for the LR Zone. The General Plan designates the property as Low Density Residential. The proposed development could be found consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods. Further, the City's General Plan Housing Element encourages accessory living units as a way to provide affordable housing opportunities and the Land Use Element states that an accessory living unit shall be permitted regardless of maximum density or minimum lot size on any parcel containing a single-family detached primary unit within a residential land use designation.

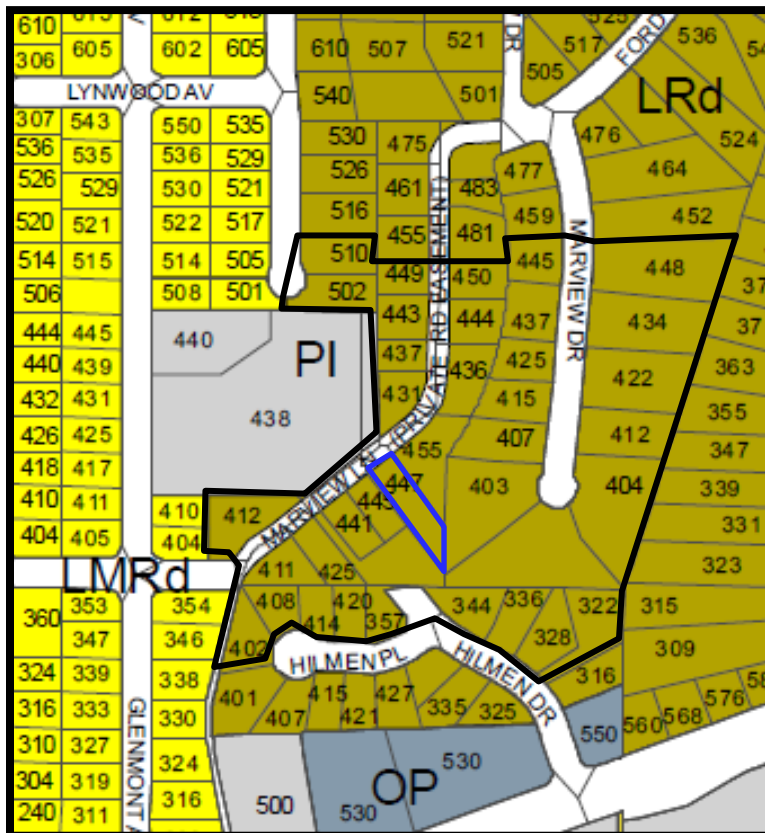
Building Structure and Placement:

The existing property slopes upward from E. Cliff Street as you travel southeast up the driveway. The overall average change in elevation is approximately 18 feet. Once you reach the top of the slope, there is a flat building pad that provides usable yard area around the existing single story residence. A drive aisle along the north side of the existing residence provides access to the existing detached garage. At the northeast corner of the lot, the property slopes upward again approximately 20 feet. The existing detached garage and ALU on the second floor would remain. The applicant proposed to expand the ALU by 95 square feet by enclosing a portion of the existing rear deck space.

The proposed project, as designed, is below the maximum allowable FAR for the property and meets or exceeds the minimum required setbacks.

Neighborhood Comparison:

Staff compared the proposed project to 38 neighboring properties in the LR Zone located on the both the east and west sides of E. Cliff Street, Marview Lane, Marview Drive and the north side of Hilmen Place and Hilmen Drive as shown on the following Zoning Map:



All 38 properties in this comparison are located within the LR Zone and the SROZ Zone. Table 2, on the next page, provides the data for each property including approximate lot

size, existing building area on each lot, and the maximum allowable square footage for potential new development.

The properties in comparison above have a maximum FAR allowance using a tiered formula calculation of .50 for the first 6,000 square feet of lot area, .175 for the next 9,000 square feet, .10 for the next 5,000 square feet and .05 for the remainder of the lot.

The maximum allowable FAR for this 14,592 square foot lot is calculated as follows:

$$\begin{array}{r}
 0.50 \text{ for the first } 6,000 \text{ ft}^2 = 3,000 \text{ ft}^2 \\
 0.175 \text{ for } 6,001 \text{ to } 15,000 \text{ ft}^2 = 1,504 \text{ ft}^2 \\
 \hline
 \text{Maximum Allowable FAR} = \mathbf{4,504 \text{ ft}^2}
 \end{array}$$

Table 2						
#	Property Address	Lot Size in ft ² (GIS info.)	Proposed/ Recently Approved ft ²	Existing ft ² Onsite (Assessor's info.)	Max. Allowable ft ² (S.R.O.Z.)	Zone
1.	510 MAR VISTA DR.	10,900		1,772	4,029	LMR
2.	502 MAR VISTA DR.	8,400		2,764	4,070	LMR
3.	412 E. CLIFF ST.	19,101		2,000	4,985	LR
4.	447 E. CLIFF ST.	14,592	1,682	1,587	4,504	LR
5.	445 E. CLIFF ST.	9,916		2,044	3,685	LR
6.	441 E. CLIFF ST.	10,176		2,911	3,731	LR
7.	425 E. CLIFF ST.	10,400		2,312	3,827	LR
8.	411 E. CLIFF ST.	12,000		2,768	4,028	LR
9.	437 MARVIEW DR.	14,400		2,223	4,139	LR
10.	425 MARVIEW DR.	10,700		1,984	4,139	LR
11.	415 MARVIEW DR.	11,800		2,172	3,999	LR
12.	407 MARVIEW DR.	14,600		3,185	4,510	LR
13.	412 MARVIEW DR.	17,900		3,068	4,883	LR
14.	422 MARVIEW DR.	26,100		3,084	5,372	LR
15.	434 MARVIEW DR.	31,798		2,130	5,665	LR
16.	449 MARVIEW LN.	9,000		2,043	3,502	LR
17.	443 MARVIEW LN.	9,000		2,686	3,841	LR
18.	450 MARVIEW LN.	11,300		2,257	3,900	LR
19.	437 MARVIEW LN.	9,000		N/A	3,264	LR
20.	444 MARVIEW LN.	11,800		2,766	4,044	LR
21.	455 E. CLIFF ST.	17,286		2,812	4,689	LR
22.	431 MARVIEW LN.	13,716		N/A	4,350	LR
23.	436 MARVIEW LN.	14,344		3,363	4,460	LR
24.	437 E. CLIFF ST.	16,800		3,746	4,780	LR
25.	403 MARVIEW DR.	33,961		3,509	6,471	LR
26.	0 MARVIEW DR.	6,044		N/A	3,313	LR
27.	404 MARVIEW DR.	30,529		4,800	5,601	LR

28.	400 MARVIEW DR.	26,330		5,015	5,392	LR
29.	445 MARVIEW DR.	11,100		3,932	3,791	LR
30.	448 MARVIEW DR.	31,473		2,067	5,649	LR
31.	402 HILMEN DR.	11,378		4,112	3,941	LR
32.	357 HILMEN DR.	7,711		2,888	3,299	LR
33.	420 HILMEN PL.	7,153		1,590	3,202	LR
34.	414 HILMEN PL.	7,500		2,845	3,232	LR
35.	408 HILMEN PL.	8,641		1,590	3,462	LR
36.	322 HILMEN DR.	16,138		1,922	4,689	LR
37.	328 HILMEN DR.	12,100		1,590	4,124	LR
38.	336 HILMEN DR.	10,167		3,180	3,729	LR
39.	344 HILMEN DR.	11,208		1,336	3,911	LR

Fences, Walls and Retaining Walls:

SBMC allows for fences and walls in the front and street side yards to be no higher than 42 inches in height above the existing grade and no more than 6 feet high above the existing grade in the interior and rear yards. SBMC also allows wall columns or posts, located not less than five feet apart, to a maximum of height of 5 feet within the front and street side yards.

There is currently a wooden fence located along the southern property line and a chain link fence along the east and northern property lines. There is an existing retaining wall along the northeastern side of the garage. All of these fences and walls will not change with the proposed project and no additional walls or fences are proposed. If the Applicant decides to modify any of the existing fences and walls or construct additional fences and walls to the project site, a condition of project approval indicates that they will be required to be in compliance with SBMC 17.20.040(O) and 17.60.070(C) and (D).

Landscape:

The project is not subject to the water efficient landscaping regulations of SBMC Chapter 17.56. According to the applicability section of SBMC Section 17.56.040, the regulations apply to new single-family residences with new or modified irrigated landscaped areas that exceed 2,500 square feet. There are no proposed landscape changes as part of this project. If the Applicant decides to modify more than 2,500 square feet of irrigated landscaped area during the building permit process, a condition of project approval has been added to the attached resolution that will require the Applicant to provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 prior to building permit issuance.

Parking:

SBMC Section 17.52.040 and the Off Street Parking Design Manual require two (2) parking spaces for a single family residence and one (1) parking space for an accessory

dwelling unit. The property has an existing two-car detached garage, totaling 640 square feet. Three (3) uncovered guest parking spaces are also available within the open area between the existing house and the proposed garage. SBMC Section 17.08.030 indicates that required parking up to 200 square feet per parking space provided in a garage is exempt from the calculation of FAR. 400 square feet of garage area has been exempted from the calculation of FAR for the project.

Grading:

The property slopes upward from E. Cliff Street as you travel southeast up the driveway. Once you reach the top of the driveway, there is a flat building pad area and drive providing access back to the detached garage. The site then begins to slope upward again along the north and east property lines. The proposed addition does not require grading.

Lighting:

Conditions of approval of the project includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC Section 17.60.060). These requirements have been added as conditions of approval.

Usable Open Space:

The project consists of the construction of an addition to the second floor ALU, therefore, usable open space and recreational facilities are neither proposed nor required according to SBMC Section 17.20.040.

Development Review Permit Modification (MOD):

In addition to the proposed enclosure of approximately 95 square feet of the existing balcony to be within and internal to the ALU, the Applicant is requesting to eliminate Condition XI of Resolution 2015-035. Deletion of Condition XI would comply with applicable Accessory Dwelling Unit (ADU) law as subsequently amended both by the state and the City and would remove the rental occupancy restriction that the ALU be occupied by a family member or rented to a lower income household. If the City Council were to approve the request to remove Condition XI from Resolution 2015-035, the ALU would then be conditioned to comply with the current City ADU rental regulations contained in SBMC Section 17.20.040(D), including that accessory dwelling units shall only be used for rental terms of 30 consecutive days or more.

Structure Development Permit Compliance (*SBMC Chapter 17.63*):

The proposed 95 square foot addition exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the requirements of SBMC Chapter 17.63 View Assessment and the Applicant was required to complete the SDP process. A Story Pole Height Certification was issued by a licensed land surveyor on February 3, 2020,

which shows a maximum building height of 22.45 feet measured above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site on February 5, 2020. The deadline to file for View Assessment was March 9, 2020.

No applications for View Assessment were received; therefore, the requirements for the approval of a SDP have been met.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the detached garage/ALU building will not exceed 22.45 feet above the proposed grade or 254.47 feet above the Mean Sea Level (MSL).

A draft Resolution of Approval has been prepared by Staff for the consideration of the City Council and the public (Attachment 1). The draft Resolution is based upon the information provided in this report and Staff's analysis of the proposed project. It provides the applicable SBMC sections in italicized text. Conditions from the Planning, Engineering and Fire Departments have been incorporated into the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions as it deems appropriate as a part of the public hearing process. If the Council determines the project is to be denied, then Staff will prepare a Resolution of Denial for an action to be taken at a subsequent Council meeting.

Notice of the City Council public hearing for the project was published in the North County Times more than 10 days prior to the April 22, 2020 public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site, on April 9, 2020. As of the date of preparation of this Staff Report, Staff has not received any letters, phone calls, or emails from neighbors or interested parties in support of, or in opposition to, the proposed project.

In conclusion, the proposed project, as conditioned, is consistent with the Zoning regulations and the General Plan. Should the Council determine that the findings can be made to approve the project, the SDP will be issued administratively with the MOD.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the State CEQA Guidelines. Class 1 consists of additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. The proposed 95 square foot addition is significantly less than 50 percent of the existing floor area.

FISCAL IMPACT: N/A

WORKPLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2020-039.
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all of the required findings for the approval of a DRP and SDP.
- Deny the project if all of the required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum objective requirements under the SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP and administratively issue a SDP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, Close the Public Hearing;
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2020-039 conditionally approving a MOD to the Resolution 2015-35 conditions of approval and approving an addition of 95 square feet to an existing Accessory Living Unit (ALU) and administratively approving a SDP located on property at 447 E. Cliff Street.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2020-039
2. Project Plans

RESOLUTION NO. 2020-039

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING A DEVELOPMENT REVIEW PERMIT CONDITION MODIFICATION AND ADDITION AND STRUCTURE DEVELOPMENT PERMIT ADDING APPROXIMATELY 95 SQUARE FEET TO AN EXISTING ACCESSORY LIVING UNIT AT 447 E. CLIFF STREET, SOLANA BEACH

**APPLICANTS: DONALD DAVIS
APPLICATION: MOD 19-002/SDP 20-004**

WHEREAS, Donald Davis (hereinafter referred to as “Applicant”), has submitted an application for a Modification (MOD) to a Development Review Permit (DRP) that would eliminated condition XI of Resolution 2015-035, and add approximately 95 square feet to the existing accessory living unit (ALU). The proposed ALU addition exceeds 16 feet in height and therefore also requires a Structure Development Permit (SDP) pursuant to Title 17 (Zoning) of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the public hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on April 22, 2020, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15301(e) of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing, and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

- I. That the foregoing recitations are true and correct.
- II. That the request for a Modification (MOD) to a Development Review Permit, eliminating condition XI of Resolution 2015-035, and an administrative Structure Development Permit to add 95 square feet to an existing Accessory Living Unit (ALU) at 447 E. Cliff Street, is conditionally approved based upon the following Findings and subject to the following Conditions:

III. FINDINGS

- A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The project, as conditioned, is consistent with the City's General Plan designation of Low Density Residential, which allows for a maximum of three dwelling units per acre. The development is also consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods. Further, the City's General Plan Housing Element encourages accessory living units as a way to provide affordable housing opportunities and the Land Use Element states that an accessory living unit shall be permitted regardless of maximum density or minimum lot size on any parcel containing a single-family detached primary unit within a residential land use designation.

Zoning Ordinance Consistency: The project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable FAR, Permitted Uses and Structures (SBMC Section 17.20.020) which provides for uses of the property for a single-family residence. Further, the project adheres to all property development regulations established for the LR Zone and cited by SBMC Section 17.020.030 as well as the specific development regulations of the Scaled Residential Overlay Zone (SROZ) cited in SBMC Section 17.48.040.

The design of the project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum FAR, maximum building height, and parking requirements.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects, as well as protection of the property from adverse surrounding influences.*

The subject site is located on the southeast side of E. Cliff Street within the LR Zone. The properties to the north, south, east and west are also zoned LR except for one property directly across E. Cliff Street is zoned Public Institutional (PI) and is owned by the Santa Fe Irrigation District. The development on the surrounding properties is a mix of one and two-story single family residences. The project, as designed, is consistent with the permitted uses for the LR Zone as described in Solana Beach Municipal Code (SBMC) Sections 17.20.010 and 17.12.020, and is also consistent with the General Plan.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the Scaled Residential Overlay Zone (SROZ) and within the Coastal Zone. The Applicant is required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a building permit.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The proposed 95 square foot addition, as designed, is below the maximum allowable FAR for the property and meets or exceeds the minimum required setbacks and is below the maximum allowable height of 25 feet.

- c. Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is not subject to the water efficient landscaping regulations of SBMC Chapter 17.56. According to the applicability section of SBMC Section 17.56.040, the regulations apply to new single-family residences with new or modified irrigated landscaped area that exceeds 2,500 square feet. The proposed project does include any landscape modifications, therefore this MOD does not trigger the requirements of the water efficient landscape ordinance. If the Applicant decides to modify more than 2,500 square feet of irrigated landscaped area during the building permit process, a condition of project approval has been added to the attached resolution that will require the Applicant to provide a full Landscape Documentation Package in compliance with SBMC Chapter 17.56 prior to building permit issuance. Another condition of project approval

has been added to indicate that if any changes to the existing landscape do occur require native or drought-tolerant and non-invasive plant materials and water conserving irrigation systems to be incorporated into proposed landscaping to the extent feasible.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

SBMC Section 17.52.040 and the Off Street Parking Design Manual require two parking spaces for a single family residence and one parking space for an accessory living unit. The Applicant does not propose any parking changes from the original project as approved by Resolution 2015-035, which approved a project that met the City's parking regulations and standards.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The property slopes upward from E. Cliff Street as you travel southeast up the driveway. No grading or earth-moving operations in connection with the proposed project is required therefore no modification to the existing terrain, slopes or landscaping will occur.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations

of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of the construction of a 95 square foot addition to an existing ALU above an existing garage, therefore usable open space and recreational facilities are not required according to SBMC Section 17.20.040.

- III. All required permits and approvals including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.*

All required permits, including an administrative Structure Development Permit, are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicant obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the California Coastal Commission prior to issuance of Building Permits.

- B. In accordance with Section 17.63.040 (Structure Development Permit) of the Solana Beach Municipal Code, the City Council finds the following:

The proposed structure exceeds 16 feet in height above the existing grade, therefore, the project must comply with all of the requirements of SBMC Chapter 17.63 View Assessment and the Applicant was required to complete the SDP process. A Story Pole Height Certification was issued by a licensed land surveyor on February 3, 2020, which showed a maximum building height of 22.45 feet measured above the proposed grade. Notices to apply for View Assessment were mailed to property owners and occupants within 300 feet of the project site on February 5, 2020. The deadline to file for View Assessment was March 9, 2020.

No applications for View Assessment were received, therefore, the requirements for the approval of a SDP have been met.

As a condition of approval, a height certificate prepared by a licensed land surveyor will be required prior to the framing inspection certifying that the detached garage/ALU building will not exceed 22.45 feet above the proposed grade or 254.47 feet above the Mean Sea Level (MSL).

IV. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicant shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. Building Permit plans must be in substantial conformance with the architectural plans presented to the City Council on April 22, 2020, and located in the project file with a submittal date of January 27, 2020.
- II. Prior to requesting a framing inspection, the Applicant will be required to submit a height certification, signed by a licensed land surveyor, certifying that the building envelope (which is represented by the story poles) is in conformance with the plans as approved by the City Council on April 22, 2020 and the certified story pole plot plan, and will not exceed 22.45 feet in height from the proposed grade or 254.47 feet above MSL from the existing grade.
- III. The accessory dwelling unit shall comply with the requisite rental regulations contained in Section 17.20.040(D), including that the ADU shall only be used for rental terms of 30 consecutive days or more.
- IV. Any proposed onsite fences, walls and retaining walls and any proposed railing located on top, or any combination thereof, shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).
- V. The Applicant shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of Building Permits.
- VI. If the Applicant decides to modify more than 2,500 square feet of the existing irrigated landscaping during the building permit process, the Applicant shall comply with the applicable water efficient landscape regulations of the Municipal Code Section 17.56 and submit a full landscaping documentation package during the building permit process.
- VII. Native or drought tolerant and non-invasive plant materials and water

conserving irrigation systems shall be incorporated into any proposed landscaping and compatible with the surrounding area to the extent feasible.

- VIII. All new exterior lighting fixtures shall be in conformance with the City-wide lighting regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on the street and minimize impact to the surrounding neighbors.

B. Fire Department Conditions:

- I. ACCESS ROAD MINIMUM DIMENSIONS: Fire apparatus access roads shall have an unobstructed improved width of not less than 20 feet; curb line to curb line, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Exception: Single-Family residential driveways; serving no more than two single-family dwellings, shall have minimum of 16 feet, curb line to curb line, of unobstructed improved width. Access roads shall be designed and maintained to support the imposed loads of not less than 75,000 pounds and shall be provided with an approved paved surface to provide all-weather driving capabilities.
- II. OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION: All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles, in accordance with the California Fire Code and the Solana Beach Fire Department.
- III. CLASS “A” ROOF: All structures shall be provided with a Class “A” Roof covering to the satisfaction of the Solana Beach Fire Department.
- IV. Fire Department hose pulls to the furthest part of the structures including garage/accessory living unit shall not exceed 150 feet.

C. Engineering Department Conditions:

- I. If any new utilities are installed, the Applicant shall underground all new utility services including, but not limited to, electrical and telephone.

- II. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
- III. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.

V. ENFORCEMENT

Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.

VI. EXPIRATION

The Development Review Permit and Structure Development Permit for the project will expire 24 months from the date of this Resolution, unless the Applicant has obtained building permits and has commenced construction prior to that date, and diligently pursued construction to completion. An extension of the application may be granted by the City Council according to SBMC 17.72.110.

VII. INDEMNIFICATION AGREEMENT

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications,

reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 22nd day of April, 2020, by the following vote:

AYES: Councilmembers –

NOES: Councilmembers –

ABSENT: Councilmembers –

ABSTAIN: Councilmembers –

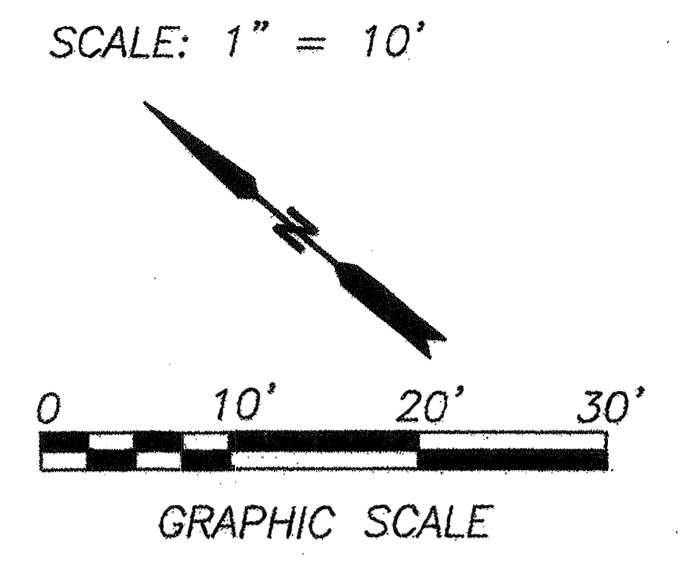
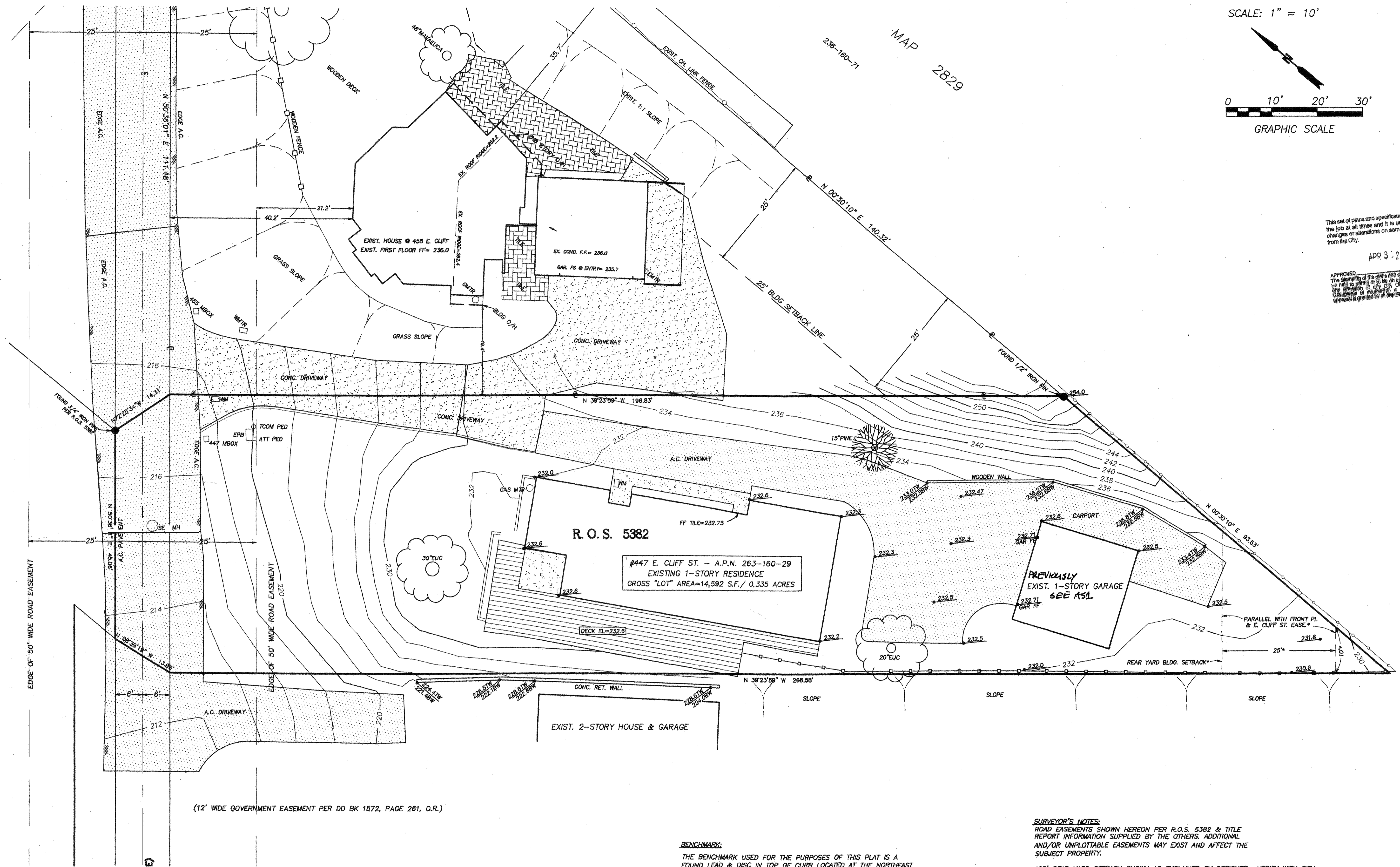
JEWEL EDSON, MAYOR

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations on same without permission from the City.

APR 3 2015

APPROVED: _____
 The Surveyor of this state and professional shall not be held liable for any errors or omissions in this plat or any other information contained herein unless it is shown to be negligent or willful misconduct on the part of the Surveyor or any other person who has approved or caused to be approved the same.

WOODS LAND SURVEYING, INC.
 2180 GARNET AVE., SUITE 3K
 SAN DIEGO, CA 92109
 (858) 273-4700

TOPOGRAPHIC PLAT
DAVIS RESIDENCE - SOLANA BEACH
447 EAST CLIFF DRIVE - PARCEL AS SHOWN ON ROS 5382
 IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, CALIFORNIA

This drawing is the property of Woods Land Surveying, Inc. and shall not be used for any purpose other than that for which it was prepared. It is the responsibility of the user to verify all information shown on this drawing against the actual field conditions. The user agrees to indemnify and hold the Surveyor harmless from any claims or damages arising from the use of this drawing for any purpose other than that for which it was prepared.

DATE	BY	REVISIONS
9-18-14	SLW	ROAD EASEMENTS SHOWN HEREON PER R.O.S. 5382 & TITLE REPORT INFORMATION SUPPLIED BY THE OTHERS. ADDITIONAL AND/OR UNPLOTTABLE EASEMENTS MAY EXIST AND AFFECT THE SUBJECT PROPERTY.
11-5-14	SLW	*25' REAR YARD SETBACK SHOWN AS EXPLAINED BY DESIGNER- VERIFY WITH CITY.
1-5-15	SLW	

BENCHMARK:
 THE BENCHMARK USED FOR THE PURPOSES OF THIS PLAT IS A FOUND LEAD & DISC IN TOP OF CURB LOCATED AT THE NORTHEAST CORNER OF LOMAS SANTA FE DRIVE & HARDO AVE, ELEV: 173.60' DATUM: MSL, NGVD '29. RECORD FROM: CITY OF SAN DIEGO GPS CONTROL NETWORK AS SHOWN ON R.O.S. NO. 14492.

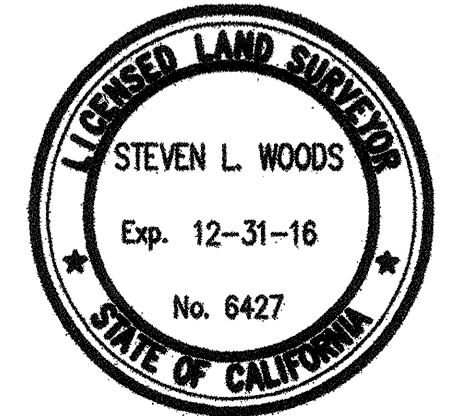
BASIS OF BEARINGS:
 BEARINGS & DISTANCES SHOWN ON THIS PLAT ARE RECORD ONLY, BASED ON FOUND MONUMENTS AND RECORD DATA AS SHOWN ON R.O.S. MAP NO. 5382.

SURVEYOR'S NOTES:
 ROAD EASEMENTS SHOWN HEREON PER R.O.S. 5382 & TITLE REPORT INFORMATION SUPPLIED BY THE OTHERS. ADDITIONAL AND/OR UNPLOTTABLE EASEMENTS MAY EXIST AND AFFECT THE SUBJECT PROPERTY.
 *25' REAR YARD SETBACK SHOWN AS EXPLAINED BY DESIGNER- VERIFY WITH CITY.

DATE OF SURVEY:
 THIS SURVEY WAS PERFORMED BY ME ON 9-17-14.

SLW

STEVEN L. WOODS, REGISTERED LAND SURVEYOR
 STATE OF CALIFORNIA LICENSE NO. 6427
 LICENSE EXPIRATION DATE: 12/31/2016



(12' WIDE GOVERNMENT EASEMENT PER DD BK 1572, PAGE 261, O.R.)

SCALE: 1" = 10'
 WLS NO: DAVIS
 SHEET T-2

CITY OF SOLANA BEACH ENGINEERING NOTES:

RIGHT OF WAY NOTE:

Owner is to obtain a construction permit from the Engineering Department at least 48 hours prior to working in the public right of way. Failure to do so will result in an issuance of stop work notice and double permit fees. It is the responsibility of the owner to know where the location of the property line is.

UTILITY NOTE:

All utilities serving the site shall be installed underground.

DRAINAGE NOTE:

No concentrated drainage flows are permitted over adjacent property lines. Water is to drain away from the structures for a minimum of 5 feet at 2 percent and be conveyed to an approved drainage facility.

EARTHWORK NOTE:

Earthwork, cut or fill, which is over 50 cubic yards, requires an additional Engineering Grading Permit.

Earthwork Quantities This Project:

5 cubic yards excavation of footings, 0 cubic yards cut/fill, 0 cubic yards import/export, 3 cubic yards over-excavation and re-compaction

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) NOTE:

Erosion control measures (e.g. bonded fiber matrix, vegetative cover, jute matting) must be implemented where applicable to prevent soil erosion on site. Sediment control measures (e.g. silt fencing, fiber rolls, detention basins) must be in place to prevent eroded soil from leaving the site. Materials management BMP must also be followed to ensure no contact of rainwater with materials that may contribute to quality degradation downstream (e.g. concrete or stucco washout areas, covered storage areas for hazardous materials, placement of portable toilets over a pervious surface).

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) NOTE:

No directly connected impervious areas (DICA) shall be allowed. DICA means storm runoff generated and conveyed via impervious areas, such as roof, roof drain, driveway, and street. BMP measures shall be identified on the plan. Most common measures are designated turf areas, which receive roof drains and runoff from impervious areas. Turf and landscaped areas that are designated for BMP's shall be delineated on plans and a note placed on plans prohibiting modification or removal of the BMP landscape areas without a City permit.

Total Area of New Impervious Surfaces = -34 SF

STORM WATER QUALITY NOTES

CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CAS010875 (HTTP://WWW.SWRCS.CA.GOV/RWQCB9/PROGRAMS/SD_STORMWATER.HTML); AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?DMW_OBJECTID=090014518008C43).

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CITY BMP'S.

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION & SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS & EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

CONSTRUCTION STORMWATER BMP

LEGEND:

DIRECTION OF LOT DRAINAGE → → →
1% SLOPE (MIN-TYP.)
[DPLU 659] BERM → B → B

WASTE MANAGEMENT CONTROL BMP'S:

- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMP'S:

- SS-2 PRESERVATION OF EXISTING VEGETATION ~PEV~PEV~
- SS-4 HYDROSEEDING (SUMMER) ~TSP~TSP~
- SC-1 STRAW BALE

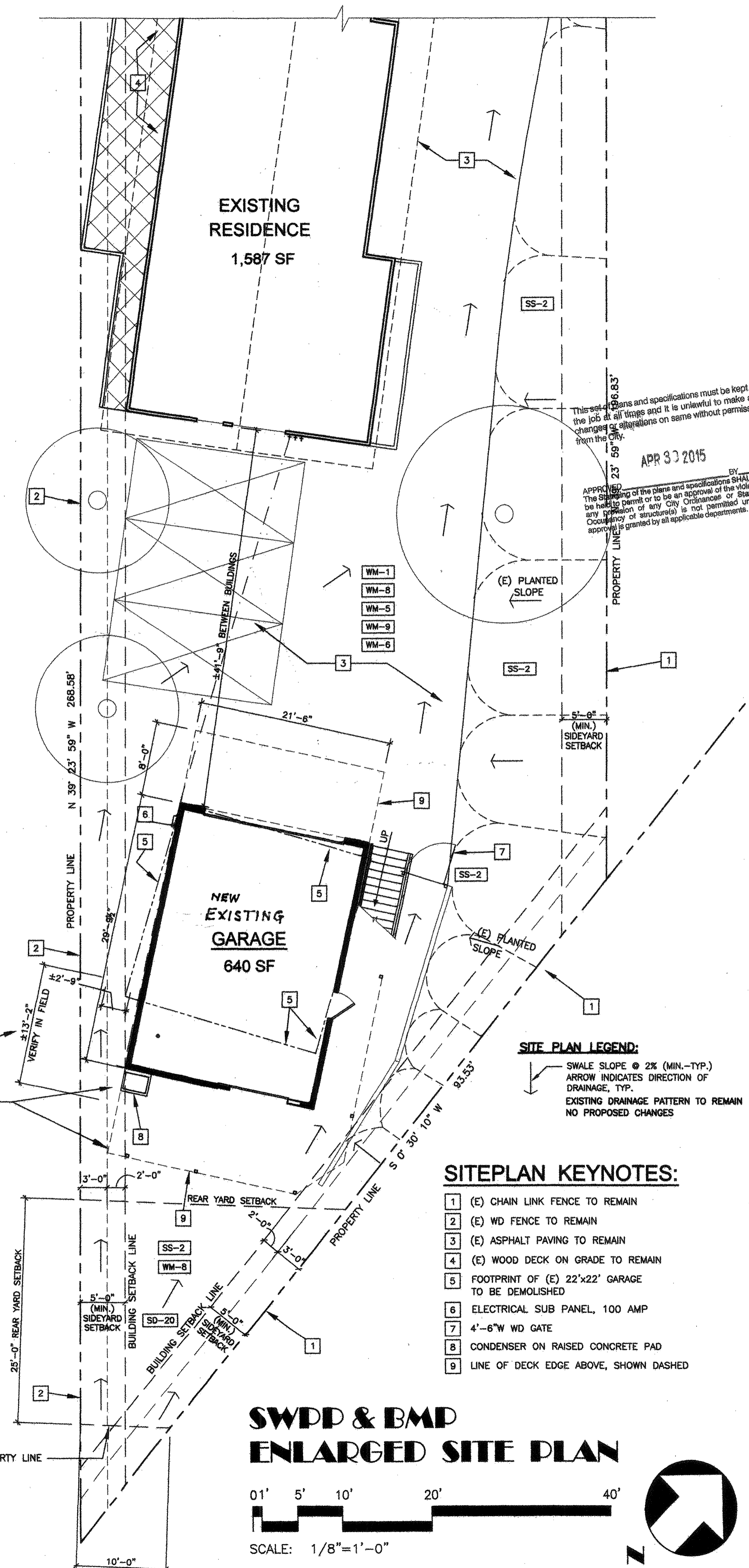
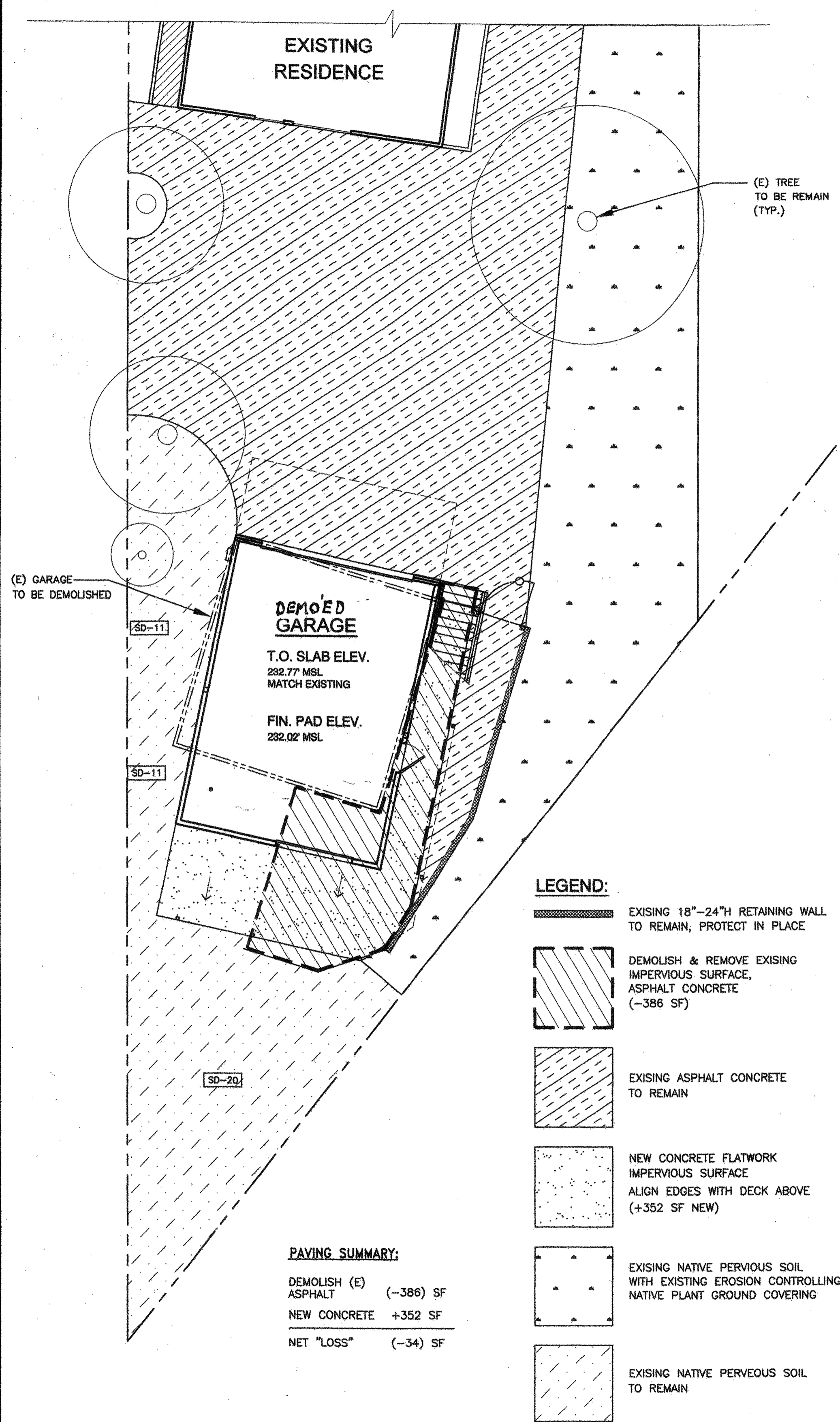
PERMANENT BMP'S:

- SD-10 AT LEAST 70% OF ALL DISTURBED FLAT AREAS WILL BE COVERED WITH PERMANENT LANDSCAPING, BARK, OR MULCH PRIOR TO FINAL APPROVAL.
- SD-11 DRAINAGE FROM ROOF AREA AND OTHER IMPERVIOUS SURFACES SHALL BE DIRECTED TO FLAT VEGETATED AREAS.
- SD-20 SLOPE PAVEMENT TOWARDS FLAT VEGETATED AREAS OR POROUS PAVEMENT.

GENERAL GRADING NOTES:

- TOP OF SLAB FOR NEW GARAGE TO MATCH TOP OF SLAB FOR EXISTING GARAGE.
- FINISH GRADE WILL PROVIDE A MINIMUM POSITIVE DRAINAGE OF 2% TO SWALE 5'-0" AWAY FROM BUILDING.

REDUCE THIS PORTION OF ROOF EAVE OVERHANG FROM 4'-0" TO ±1'-3" IN ORDER TO COMPLY WITH MINIMUM REQUIRED SIDEYARD SETBACK
DECK & ROOF OVERHANG CAN ENCR OACH 2 FEET INTO MIN. REQUIRED SIDEYARD SETBACK PER SBMC 17.20.020 (C)(3) g 4.)
"... BALCONIES MAY PROJECT INTO REQUIRED YARDS A MAXIMUM DISTANCE OF 2 FEET PROVIDED THEY ARE SUPPORTED AT OR BEHIND THE BUILDING SETBACK LINE."



APPROVED: APR 3 2015
BY: [Signature]
The signing of this plan and specifications shall not be taken as an approval of the validity of the information or any City Ordinance or Statute. Coordination of structures is not permitted until approval is granted by all applicable departments.

Davis
Garage & Accessory Living Unit
447 E. Cliff St. Solana Beach, Ca 92075

Submittal for:	Date:
CDP/SDP Review	9/24/14
Response to Plan Review Issues	11/5/14
2nd Response to Plan Review Issues	1/28/15
3rd Response to Plan Review Issues	2/10/15
Plan Review	3/23/15
No.:	Revision:
Plan Review Issues	4/22/15

Title:
SWPP & BMP ENLARGED SITE PLAN & PAVING PLAN

No.:

AS-1

Sheet of

25 FOOT MAX. HEIGHT LIMIT

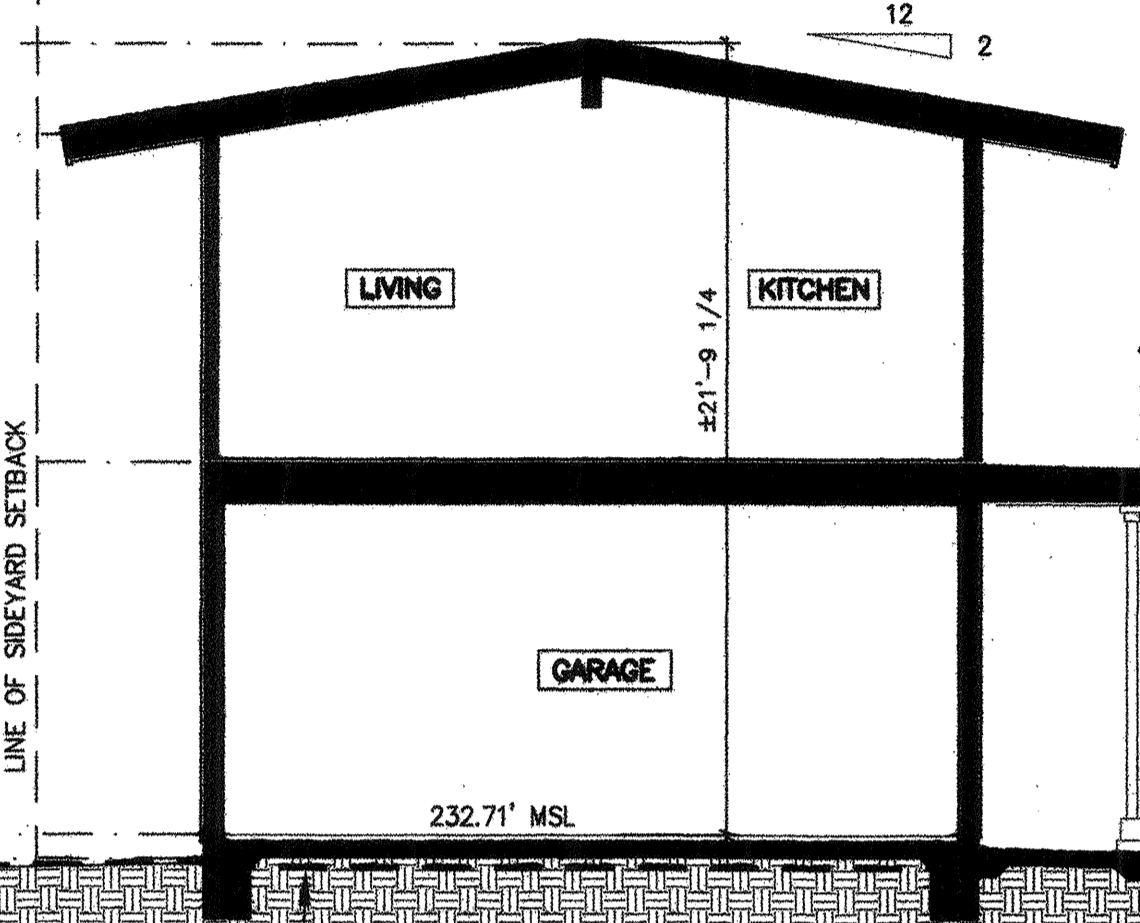
257.02' MSL
MAX. HEIGHT
254.47' MSL
T.O. RIDGE FRAMING
9'-1" ABV. FIN. 2nd FLR.
T.O. PLATE

10'-1 5/8" AFS
FIN. 2nd FLR.

232.71' MSL
T.O. SLAB
232.02' MSL
T.O. GRADE

PRE-EXISTING GRADE AND PROPOSED GRADE AROUND PROPOSED BUILDING ARE THE SAME.

PRE-EXISTING GRADE IS 8" BELOW EXISTING TOP OF SLAB OF (E) GARAGE THAT WILL BE DEMOLISHED AND RE-BUILT



SITE SECTION A-A

SCALE: 3/16"=1'-0"

APPROVED
The Signing of the plans and specifications must be by a Licensed Professional Engineer or Licensed Professional Architect. The Engineer or Architect shall be responsible for the design and construction of the structure. The City Ordinance does not permit the issuance of a Certificate of Occupancy if the structure is not approved by the City. Approval is granted by all applicable departments.

APR 30 2015

BUILDING HEIGHT:
The vertical distance between the lower of the pre-existing grade or the finished grade to the highest point of the structure, excluding approved architectural features and appurtenances such as, but not limited to, chimneys, vents, and antennas. The height measurement shall run with the land in accordance with the applicable grade and shall be made within the planes of the exterior walls. Those portions of basements not visible and below pre-existing and finished grade shall not be included in the height measurement.

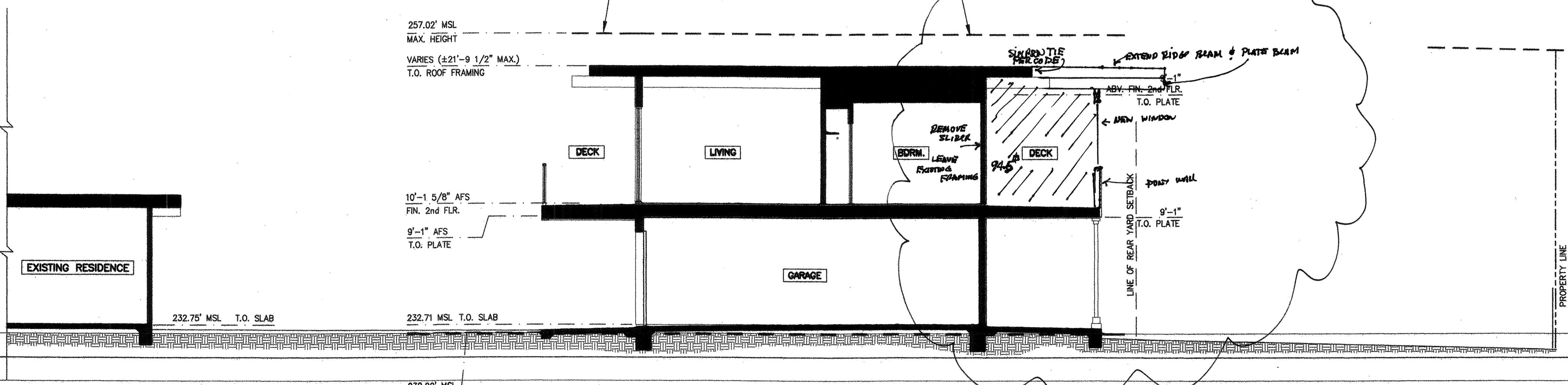
25 FOOT MAX. HEIGHT LIMIT

257.02' MSL
MAX. HEIGHT
VARIES (±21'-9 1/2" MAX.)
T.O. ROOF FRAMING

10'-1 5/8" AFS
FIN. 2nd FLR.
9'-1" AFS
T.O. PLATE

232.75' MSL T.O. SLAB
232.71' MSL T.O. SLAB

232.02' MSL
T.O. GRADE



SITE SECTION B-B

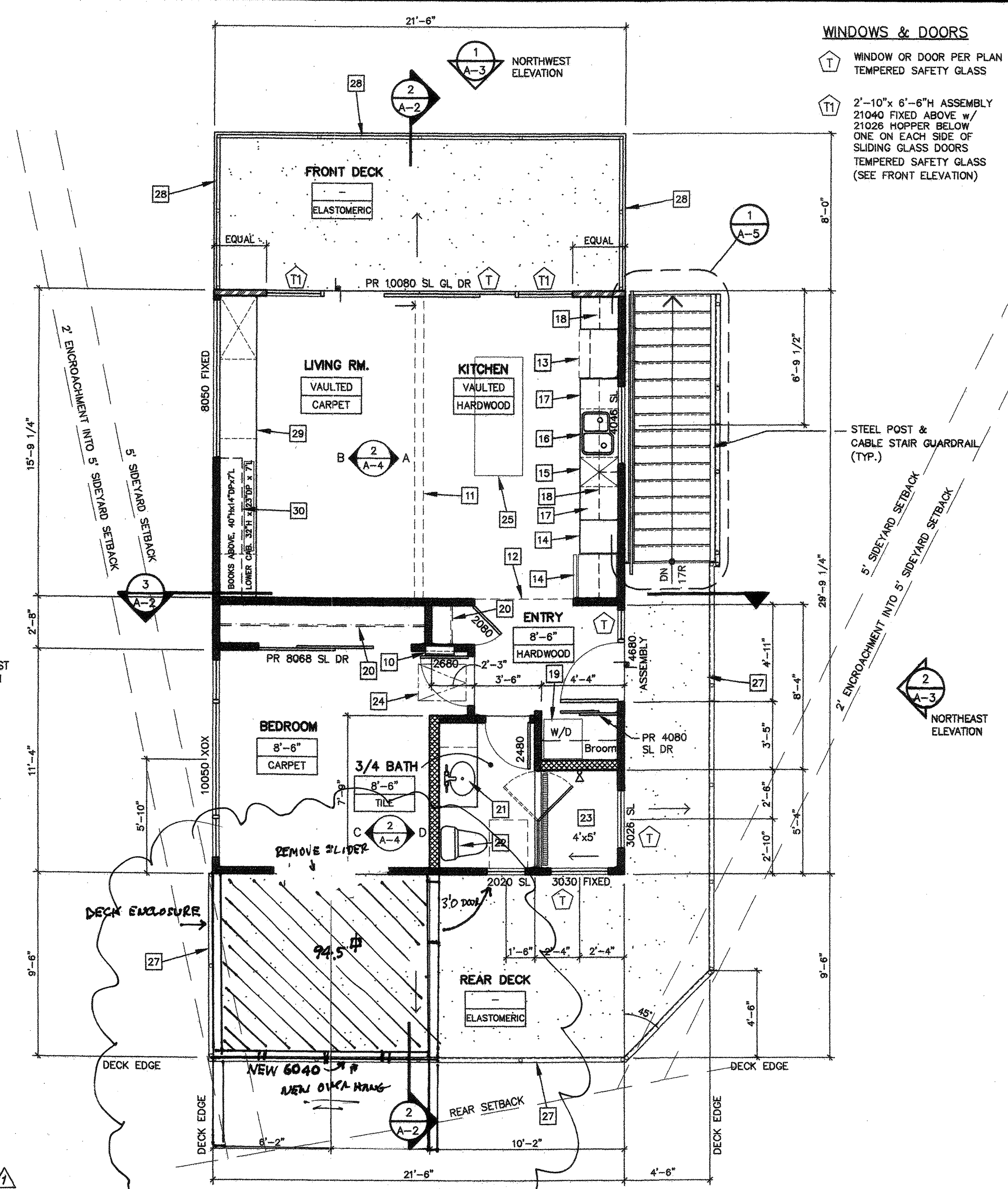
SCALE: 3/16"=1'-0"

Davis
Garage & Accessory Living Unit
447 E. Cliff St. Solana Beach, Ca 92075

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No.:	Revision:
Plan Review Issues	4/22/15

Title:
SITE SECTIONS

No. **AS-2** of



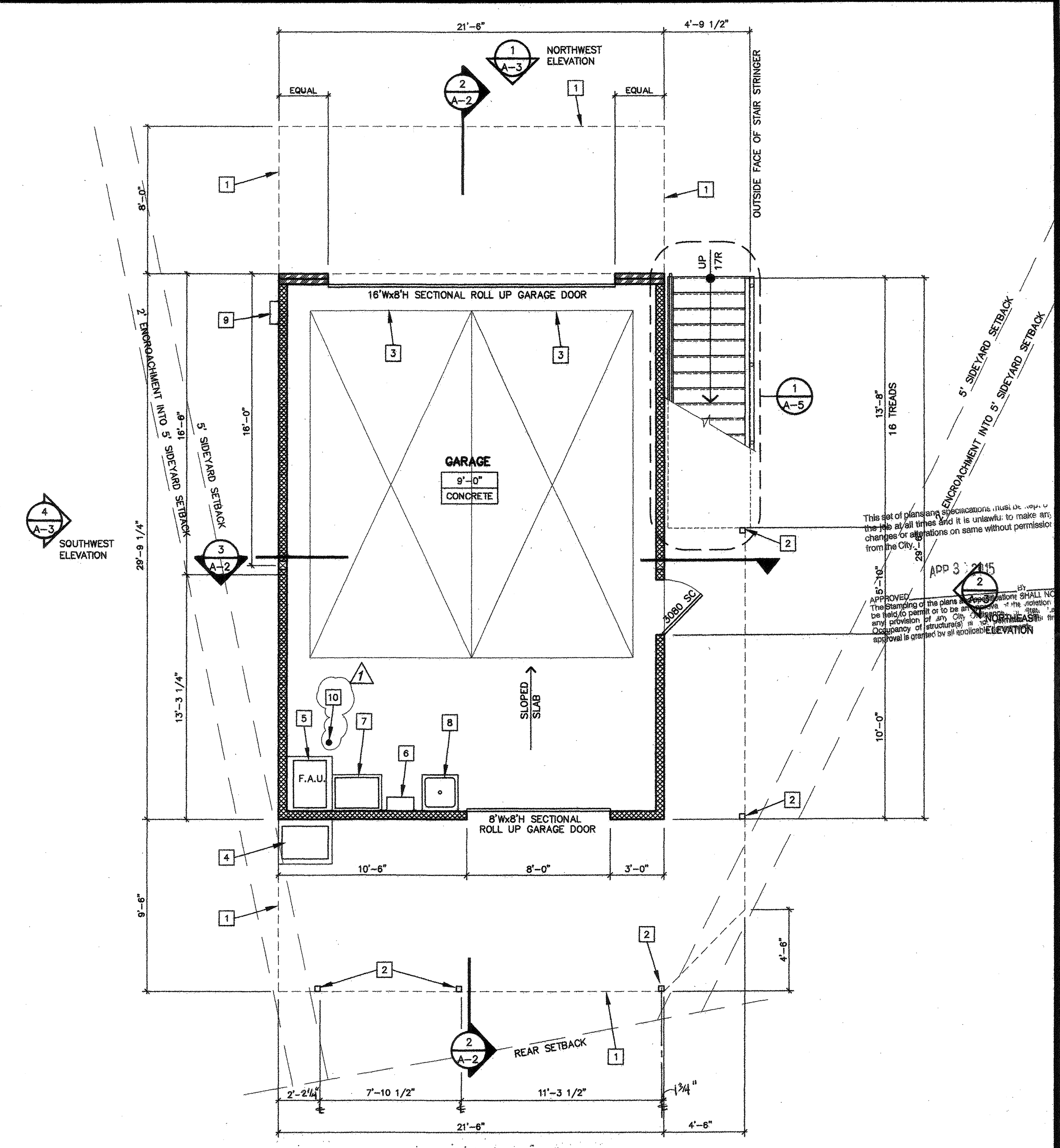
WINDOWS & DOORS
 ① WINDOW OR DOOR PER PLAN TEMPERED SAFETY GLASS
 ⑪ 2'-10" x 6'-6" ASSEMBLY 21040 FIXED ABOVE w/ 21026 HOPPER BELOW ONE ON EACH SIDE OF SLIDING GLASS DOORS TEMPERED SAFETY GLASS (SEE FRONT ELEVATION)

STEEL POST & CABLE STAIR GUARDRAIL (TYP.)
 5' SIDEYARD SETBACK
 2' ENCROACHMENT INTO 5' SIDEYARD SETBACK

PLUMBING NOTES:
 1. PROVIDE WATER CONSERVING FIXTURES PER CPC Sections 403 & 408 AS FOLLOWS:
 a.) PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE, (GPM).
 b.) PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE, (GPM).
 c.) PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2 GALLONS PER MINUTE, (GPM).
 d.) PROVIDE WATER CLOSETS WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH. CPC Sec 402.0.
 2. THE CONTROL VALVES IN BATHTUBS, SHOWERS, AND TUB-SHOWER COMBINATIONS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC Section 414.5 & 418.0.

SAFETY GLAZING REQUIREMENTS per section R308.4
 Glazing in the following locations shown on plans as safety glazing in accordance with Section R308.4 (see exceptions):
 a.) Glazing in doors.
 b.) Glazing in the walls/doors surrounding bathtubs and showers where the bottom exposed edge of the glazing is less than 60 inches above the standing surface.
 c.) Glazing adjacent to a door where the nearest exposed edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the walking surface. Exceptions:
 i.) Glazing in walls on the latch side of and perpendicular to the plane of the door in a closed position.
 ii.) Glazing that is adjacent to the fixed panel of patio doors.
 d.) Glazing in individual and fixed or operable panels that meet all of the following conditions:
 i.) Exposed area of an individual pane is greater than 9 square feet, and;
 ii.) Exposed bottom edge is less than 18 inches above the floor, and;
 iii.) Exposed top edge is greater than 36 inches above the floor, and;
 iv.) One or more walking surfaces are within 36 inches horizontally of the plane of the glazing
 e.) Glazing adjacent to stairways, landings, and ramps within 36 inches horizontally of a walking surface when the exposed surface of the glass is less than 60 inches above the plane of the adjacent walking surface.
 f.) Glazing in walls enclosing stairway landings or within 60 inches horizontally of the bottom tread of stairways where the bottom edge of the glass is less than 60 inches above the nose of the tread.

SECOND FLOOR PLAN KEYNOTES:
 ⑩ ELECTRICAL CIRCUIT BREAKER BOX
 ⑪ DROPPED/EXPOSED RIDGE BEAM ABOVE, SHOWN DASHED
 ⑫ LINE OF SOFFIT OR DROPPED CEILING ABOVE, 8'-0" A.F.F., SHOWN DASHED
 ⑬ RANGE/OVEN 30"W & 30"W S/S EXHAUST HOOD ABOVE
 ⑭ REFRIGERATOR/FREEZER, 27"W MFR. BY "SUBZERO"
 ⑮ DISHWASHER PER OWNER, 18"W
 ⑯ DBL KITCHEN SINK IN BASE CABINET, 30"W
 ⑰ STONE/TILE COUNTERTOP OVER BASE CABINET, ALSO SEE INTERIOR ELEV.
 ⑱ UPPER CABINETS w/ ADJ. SHELVES, ALSO SEE INTERIOR ELEV.
 ⑲ TALL CABINETS 21"Wx84"Hx24"D
 ⑳ STACKABLE WASHER/DRYER PER OWNER
 ㉑ CLOSET POLE AND SHELF ABOVE
 ㉒ SINK PER OWNER IN 48"W BASE CABINET WITH BANK OF DRAWERS, w/ STONE OR TILE COUNTERTOP w/ MATCHING BACKSPLASH
 ㉓ WATER CLOSET, PROVIDE 30" WIDE (MIN.) CLEAR SPACE AND 24" MIN. FRONT CLEARANCE.
 ㉔ SHOWER w/STONE/TILE FLR-CLG, SLOPE STONE/TILE FLOOR TO TRENCH DRAIN 6"H CURB w/ ±30"W TEMPERED GLASS ENCLOSURE TO 6'-8" A.F.F. PROVIDE 30"W PIVOT HINGE DOOR WITH 180 DEGREE SWING AS SHOWN
 ㉕ 22"x36" ATTIC ACCESS. PROVIDE 30" (MIN.) VERTICAL CLEARANCE @ OPENING
 ㉖ MOVABLE ISLAND, ±30"Wx72"L w/ STONE COUNTERTOP @ 36" A.F.F.
 ㉗ DUCT CHASE
 ㉘ STEEL POST AND CABLE GUARDRAIL
 ㉙ TEMPERED GLASS GUARDRAIL w/ POWDER COATED ANODIZED ALUM. POSTS & BOTTOM RAIL
 ㉚ CUSTOM BASE CABINETS PER OWNER, ALSO SEE INT. ELEV.
 ㉛ CUSTOM BOOK SHELVING PER OWNER, ALSO SEE INT. ELEV.



GENERAL NOTES:
 1. ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.
 2. GARAGE IS FOR SOLE USE BY TENANT ABOVE.

GARAGE FLOOR PLAN KEYNOTES:
 ① LINE OF DECK OVERHANG ABOVE, SHOWN DASHED
 ② WD POST
 ③ 9'x19' PARKING SPACE
 ④ CONDENSER ON RAISED CONCRETE PAD
 ⑤ FAU ON 18"H RAISED PLATFORM PER CPC Section 508.14. STRAPPED TO RESIST SEISMIC FORCES
 ⑥ TANKLESS WATER HEATER PER TITLE 24
 ⑦ WHOLE HOUSE WATER FILTRATION SYSTEM PER OWNER
 ⑧ SERVICE SINK
 ⑨ ELECTRICAL SUB-PANEL, 100 AMP
 ⑩ 3" DIA. STL. PIPE EMBED IN CONCRETE

WALL SCHEDULE:
 2 x 4 WD STUDS @ 16" O.C.
 2 x 6 WD STUDS @ 16" O.C.
 BACK-TO-BACK HARDI-FRAME SHEAR PANELS PER STRUCTURAL
 HARDI-FRAME SHEAR PANEL PER STRUCTURAL

SYMBOL LEGEND - FLOOR PLAN:
 GREAT ROOM --- ROOM NAME
 8'-1" --- CEILING HEIGHT (TO BOTTOM OF STRUCTURE)
 TILE --- FLOOR MATERIAL
 BUILDING SECTION ① --- DETAIL NUMBER
 SECTION --- SHEET NUMBER
 EXTERIOR ELEVATION ① --- ELEVATION NUMBER
 --- SHEET NUMBER
 INTERIOR ELEVATION A-4 --- SHEET NUMBER
 A --- ELEVATION REFERENCE, (TYP.)
 ① --- TEMPERED GLASS (I.E. SAFETY GLAZING)

SECOND FLOOR PLAN 1/4"=1'-0" 2

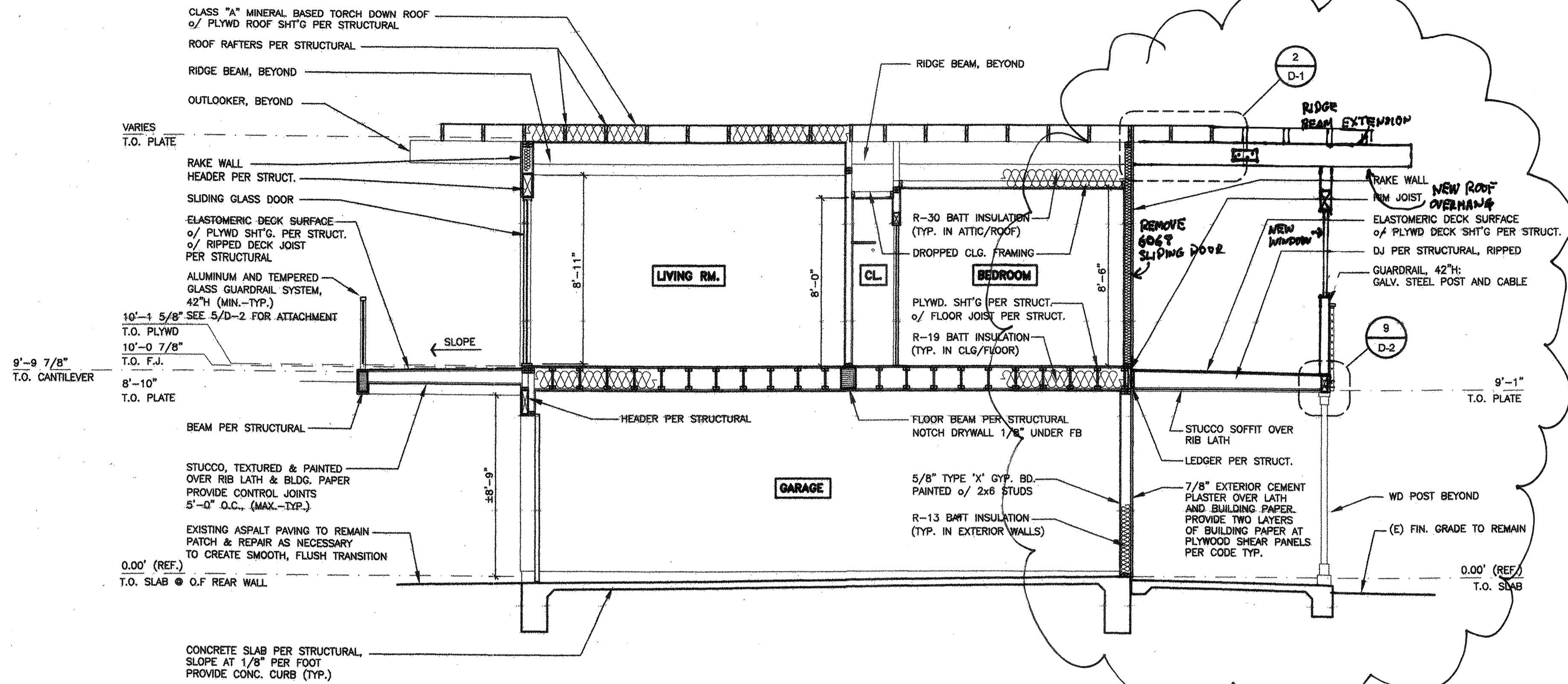
FIRST FLOOR PLAN 1/4"=1'-0" 1

Davis
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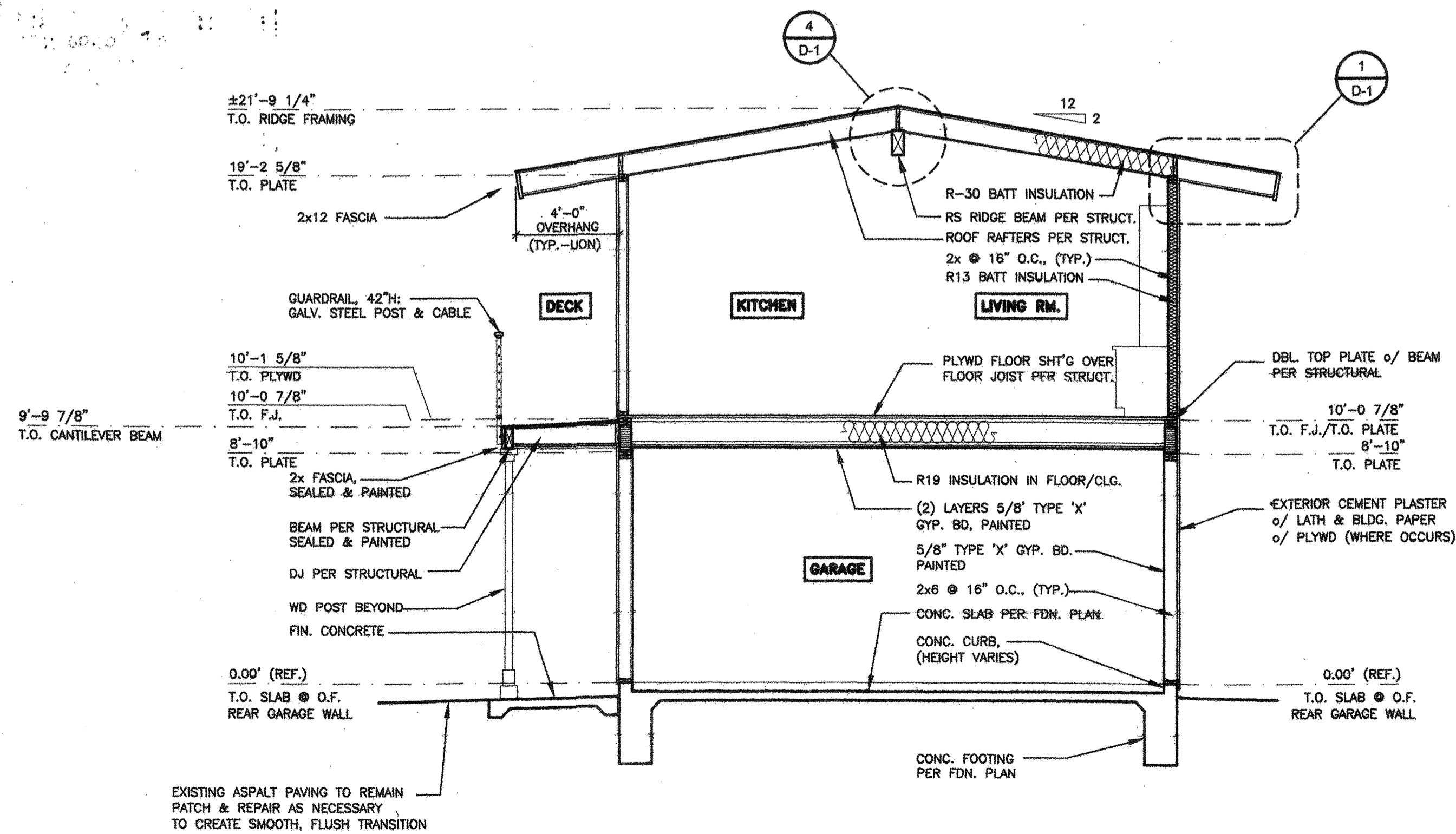
Title:
FLOOR PLANS
 No.:
A-1
 Sht: of

NOTE:
DIMENSIONS SHOWN HERE ARE RELATIVE TO TOP OF SLAB
FOR HEIGHTS RELATIVE TO EXISTING/FINISHED GRADE SEE
EXTERIOR ELEVATIONS ON SHEET A-3



BUILDING LONGITUDINAL SECTION 1/4"=1'-0" 2

NOTE:
DIMENSIONS SHOWN HERE ARE RELATIVE TO TOP OF SLAB
FOR HEIGHTS RELATIVE TO EXISTING/FINISHED GRADE SEE
EXTERIOR ELEVATIONS ON SHEET A-3



BUILDING CROSS SECTION 1/4"=1'-0" 3

ROOF LEGEND:

- DV DORMER ROOF VENT
"D100RG" MFR. BY SANTA ROSA LEAD PRODUCTS
100 SQ IN HALF ROUND, 26GA GALV. STEEL - ALL GALVANIZED
- STORY POLE ELEVATION
ABOVE TOP OF SLAB (TAKEN AT MEAN SEA ELEVATION)
MEAN SEA LEVEL
NOTE: EXISTING GARAGE TOP OF SLAB IS +232.77' U.S.G.S. mean sea level
- STORY POLE LOCATION

BUILDING HEIGHT:

The vertical distance between the lower of the pre-existing grade or the finished grade to the highest point of the structure, excluding approved architectural features and appendages such as, but not limited to, chimneys, vents, and antennas. The height measurement shall run with the land in accordance with the applicable grade and shall be made within the planes of the exterior walls. Those portions of basements not visible and below pre-existing and finished grade shall not be included in the height measurement.

ROOF KEYNOTES:

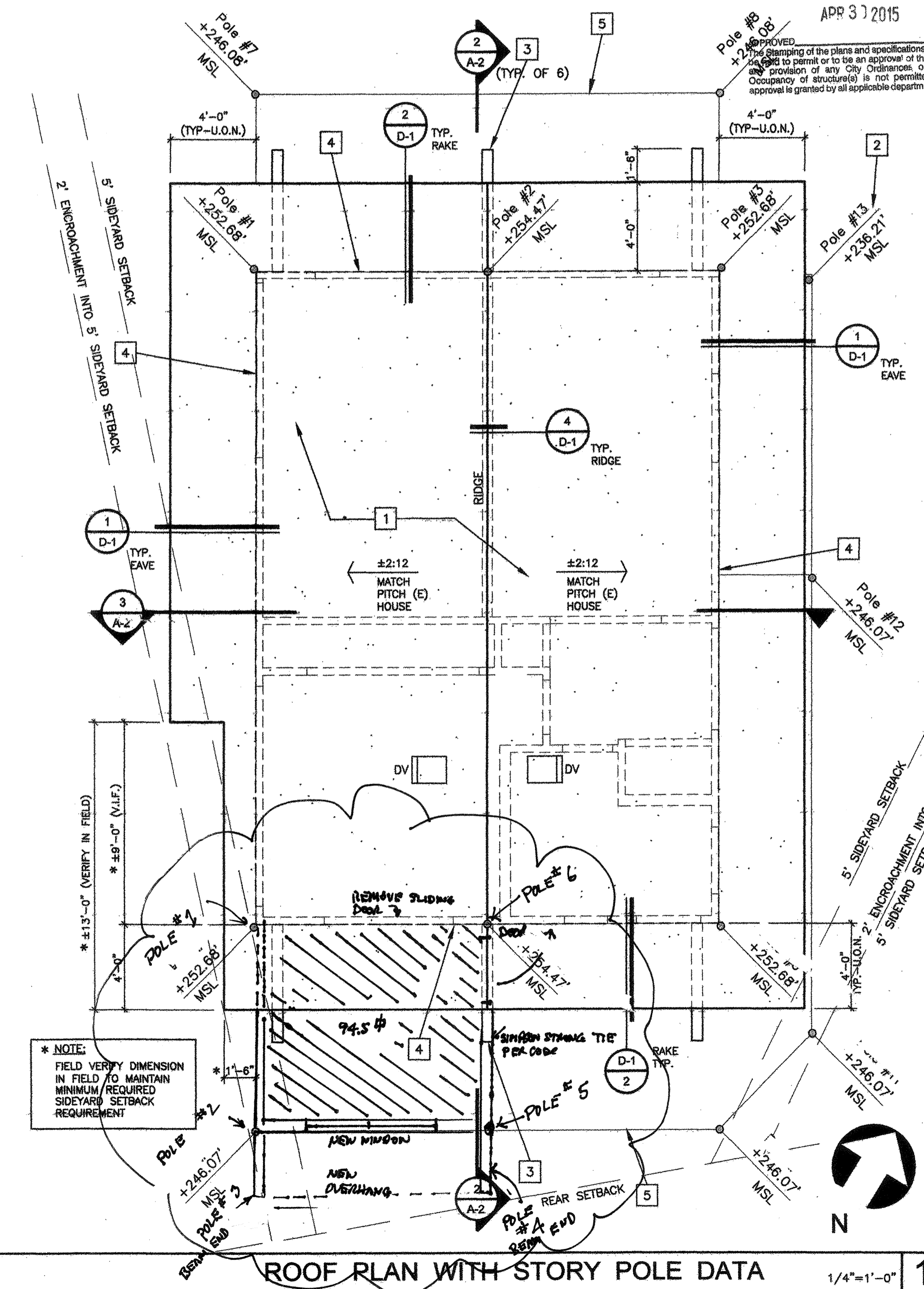
- 1 BUILT UP ROOFING: CLASS "A" BUILT-UP MODIFIED BITUMEN SYSTEM #9, SEE ESR-2018 "POLYGLASS USA, INC" (MANUFACTURER), OAE INSTALL ACCORDING TO MFR'S LATEST RECOMMENDATIONS OVER 19/32" (32/16) APA RATED PLYWD SHIT'G.
A CLASS "A" ROOF ASSEMBLY SHALL BE INSTALLED ALL ROOF ASSEMBLY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2013 CRC (MIN.) CLASS "A" RATED.
- 2 STORY POLE ELEVATION - THIRTEEN TOTAL
- 3 OUTRIGGER - SIX TOTAL
- 4 LINE OF 2ND WALL BELOW, SHOWN DASHED
- 5 LINE OF 2ND STORY DECK BELOW

ATTIC FAVE VENT CALCULATIONS:

NEW AREA REQUIRING VENTILATION (I.e. WITH ATTIC) = 301 SF
(AREA OVER BEDROOM, BATH, ENTRY & CLOSETS ONLY)

- REQUIRED: 1 SF VENT PER 300 SF OF ENCLOSED ATTIC AREA
301 / 300 = 1 SF
REQUIRED: 1 SF or 144 SQ. IN.
- PROVIDED: (2) 16" DIA HALF ROUND DORMER VENTS
APPROX. FREE AIR PER VENT = 100 SQ IN
PROVIDED: 1.39 SF or 200 SQ. IN.

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations on same without permission from the City.



Davis
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No. Revision:	
Plan Review Issues	4/22/15

Title:
ROOF PLAN, & BUILDING SECTIONS

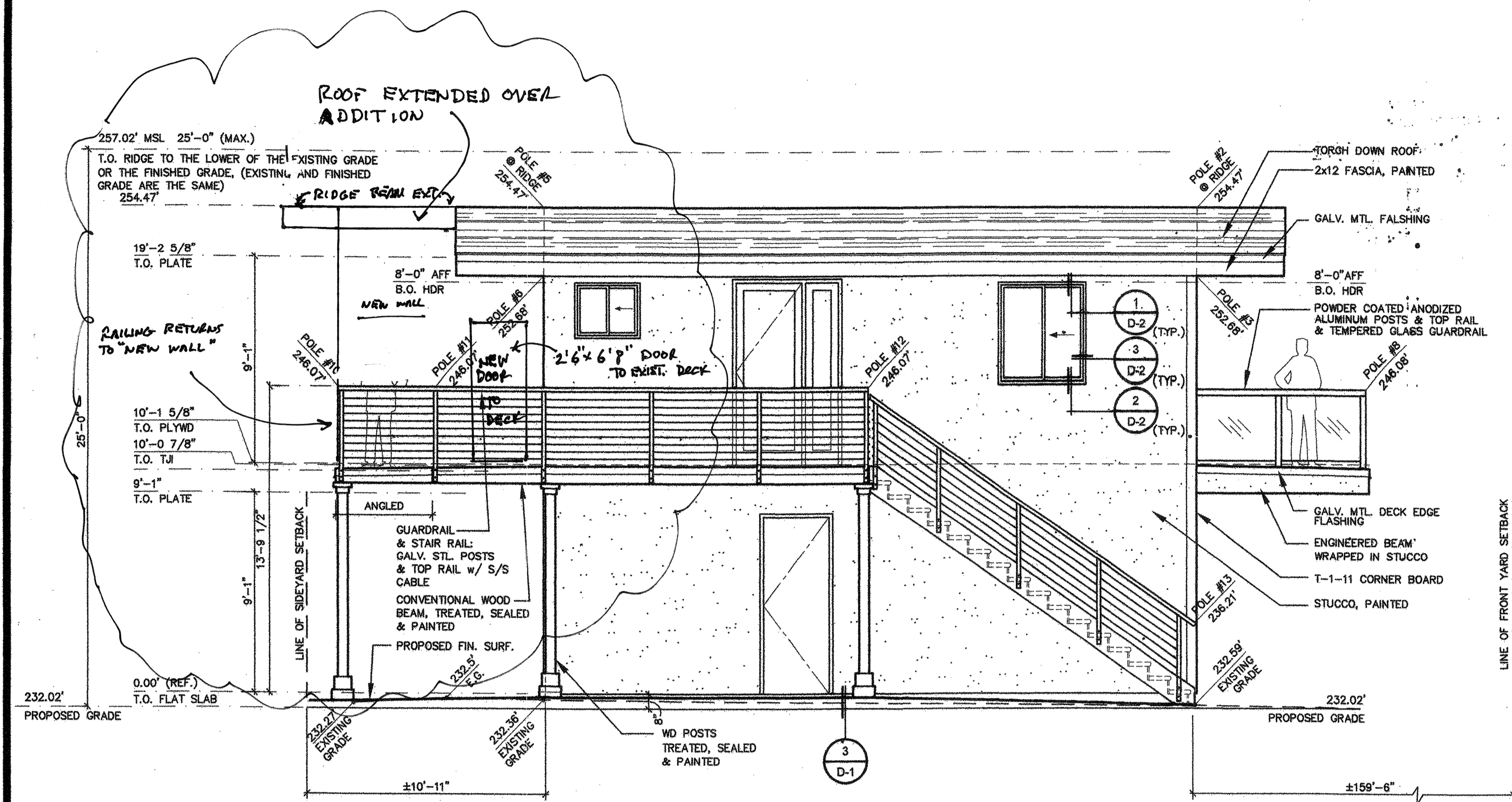
No. A-2
Sheet of

BUILDING HEIGHT:

The vertical distance between the lower of the pre-existing grade or the finished grade to the highest point of the structure, excluding approved architectural features and appurtenances such as, but not limited to, chimneys, vents, and antennas. The height measurement shall run with the land in accordance with the applicable grade and shall be made within the planes of the exterior walls. Those portions of basements not visible and below pre-existing and finished grade shall not be included in the height measurement.

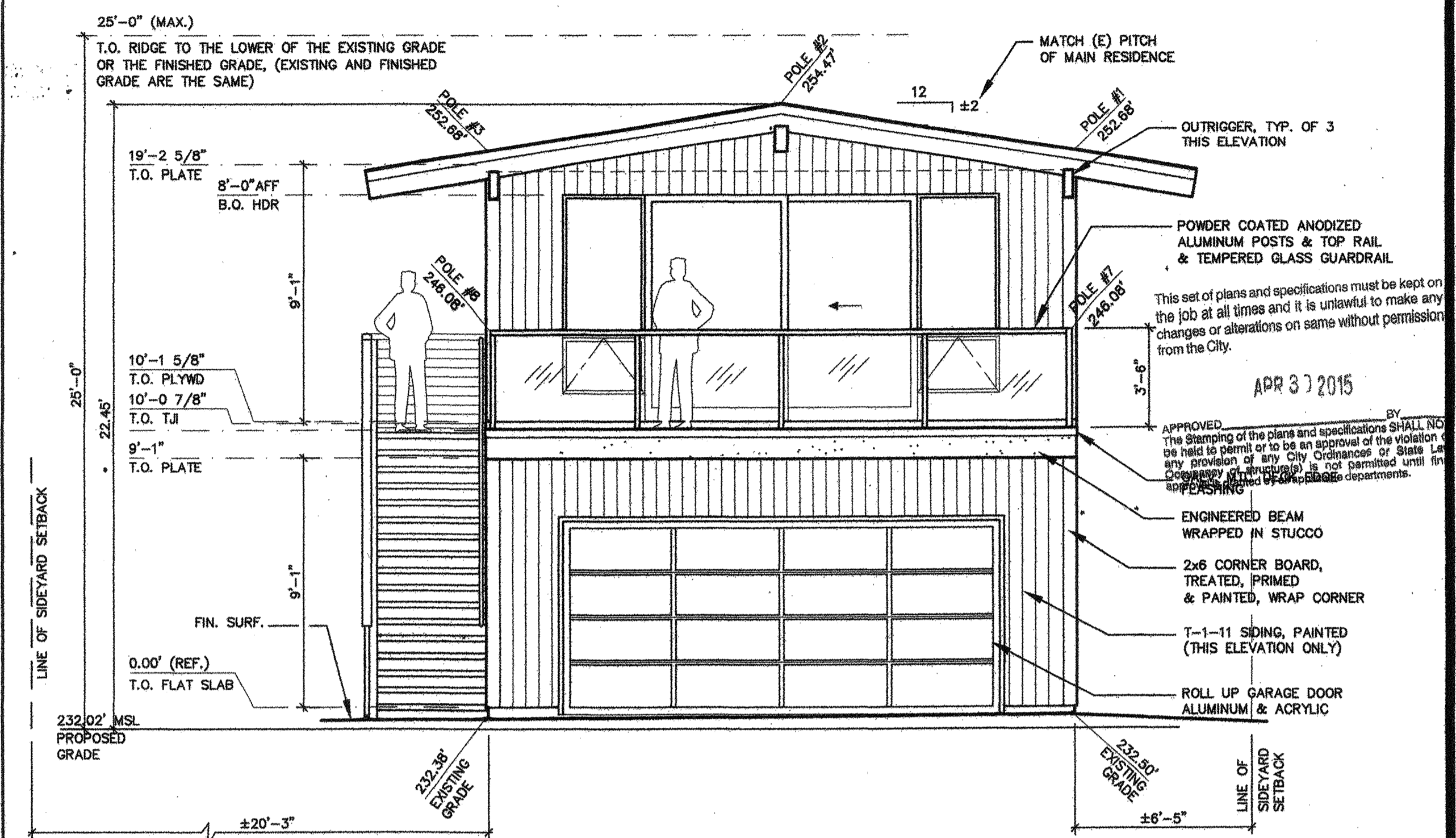
ABBREVIATIONS:

E.G. EXISTING GRADE
F.G. FINISH GRADE
T.O. TOP OF



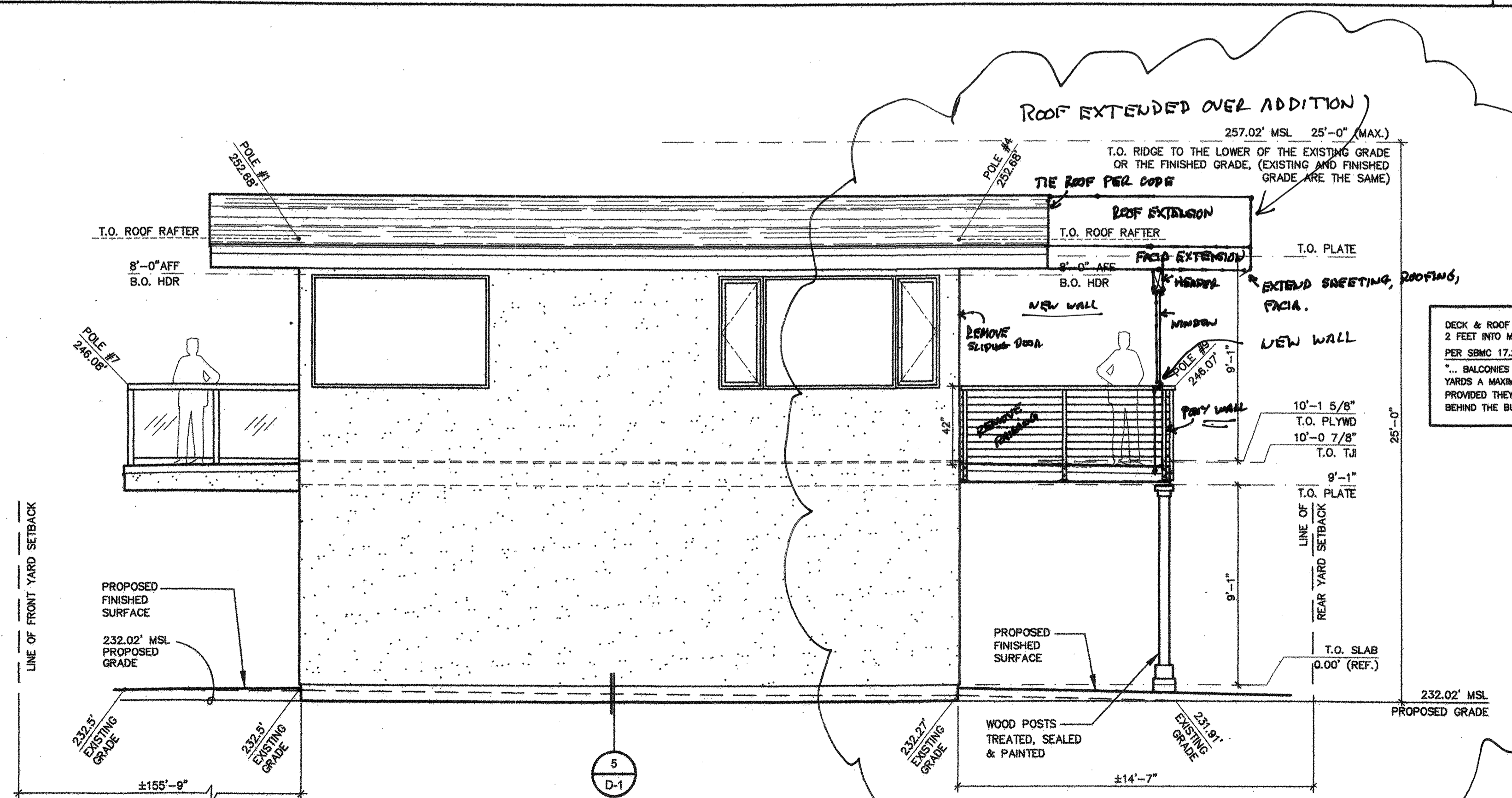
NORTHEAST (LEFT SIDE) ELEVATION

1/4"=1'-0" 2



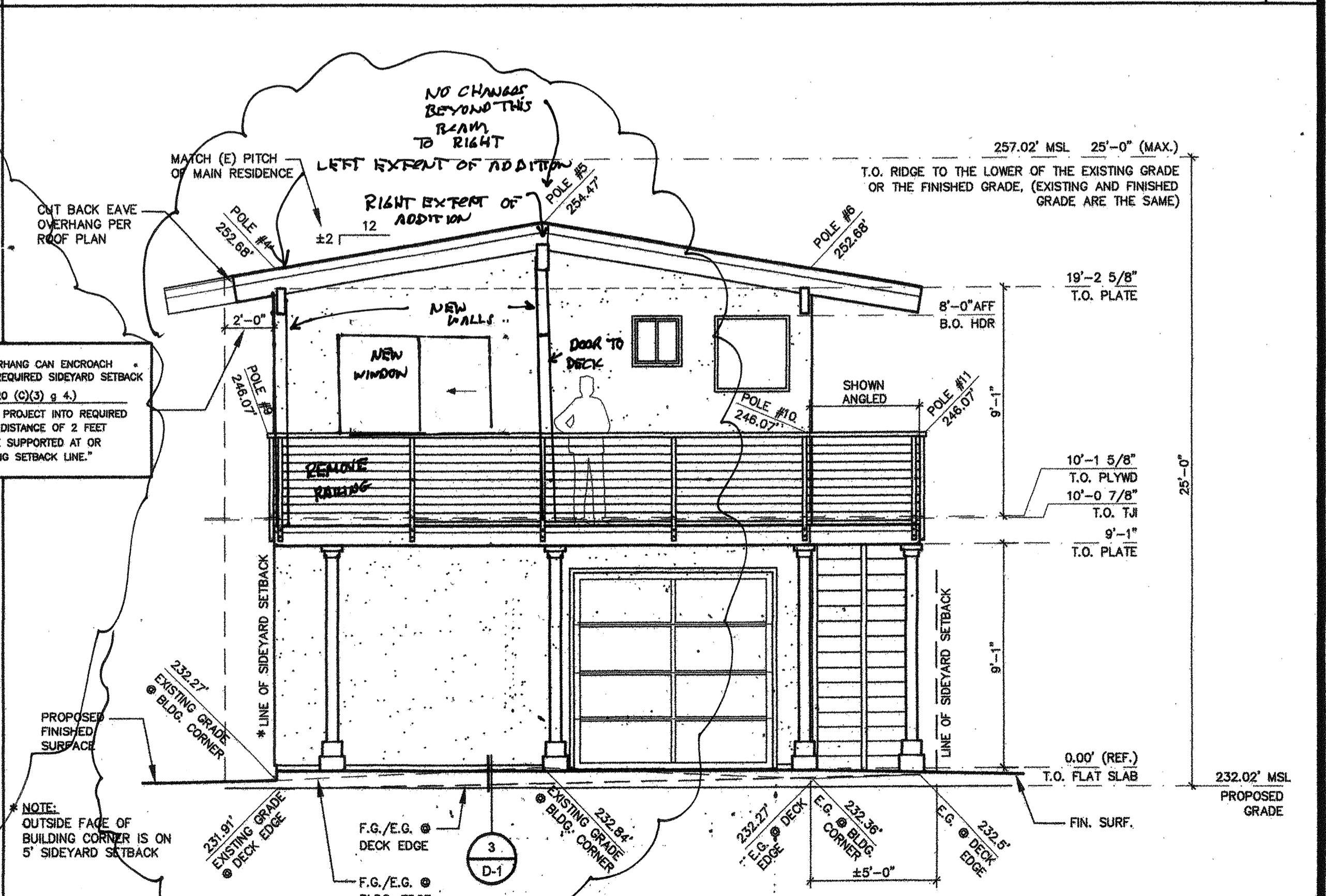
NORTHWEST (FRONT) ELEVATION

1/4"=1'-0" 1



SOUTHWEST (RIGHT SIDE) ELEVATION

1/4"=1'-0" 4



SOUTHEAST (REAR) ELEVATION

1/4"=1'-0" 3

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Plan Review	3/23/16
No.:	Revision:
Plan Review Issues	4/22/16

Title:
EXTERIOR ELEVATIONS

No.:
A-3
Sh#: of

LEGEND:

- 3/4" DIA. GAS LINE
- 1/2" DIA. GAS LINE

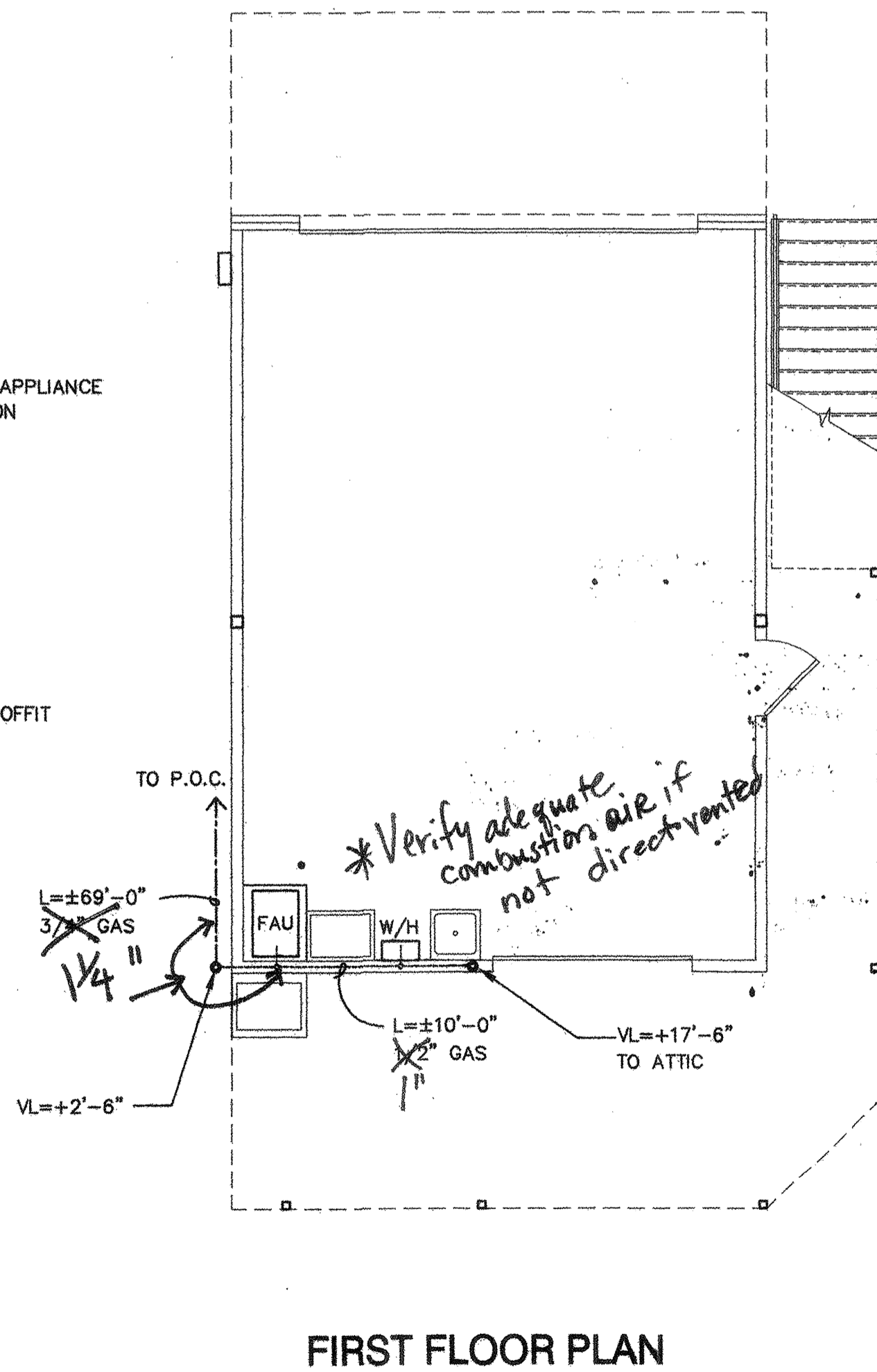
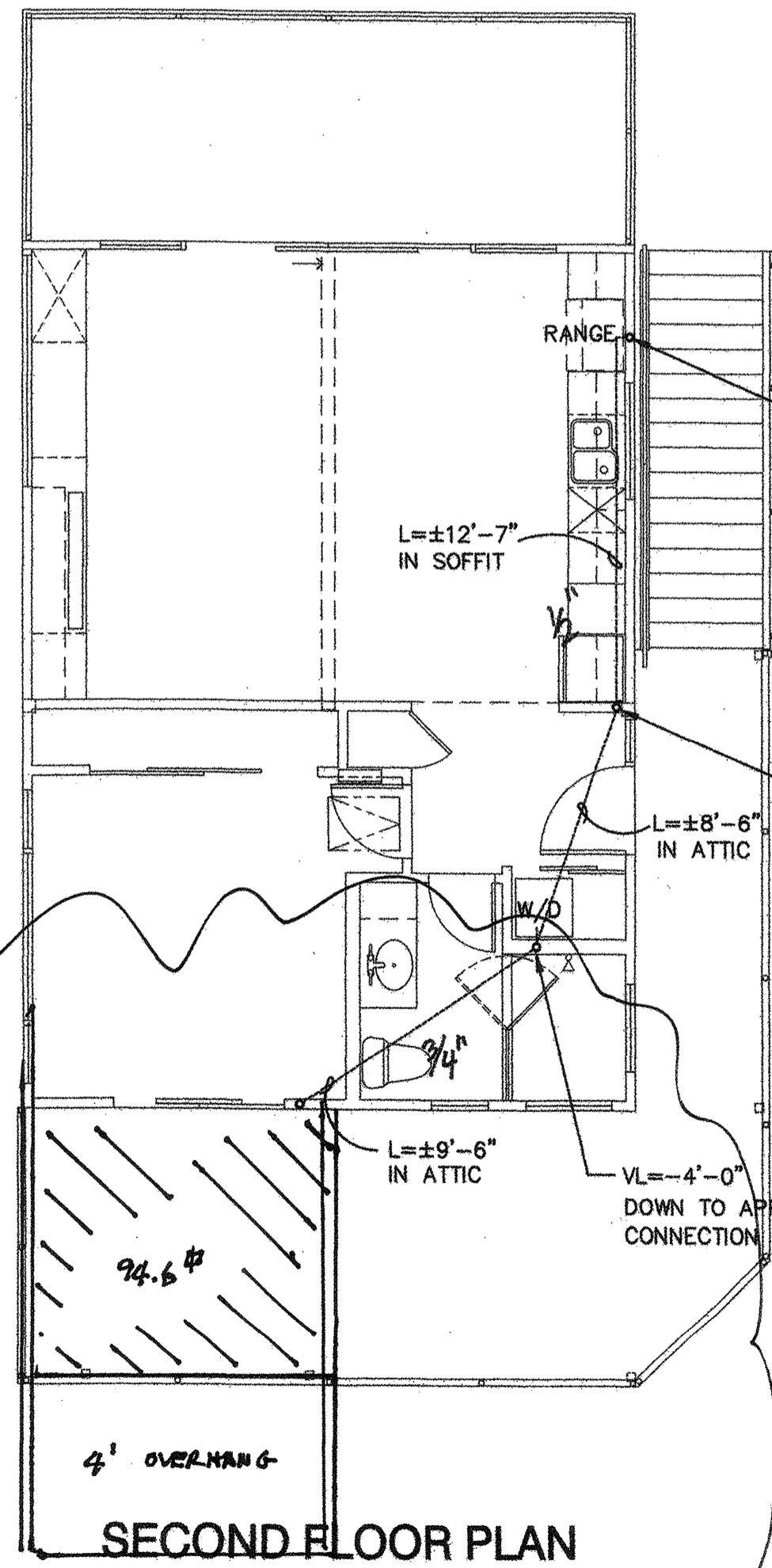
ABBREVIATIONS:

- L LENGTH OF PIPE (HORIZONTAL)
- VL LENGTH OF PIPE (VERTICAL)

GAS APPLIANCE USAGE LEGEND:

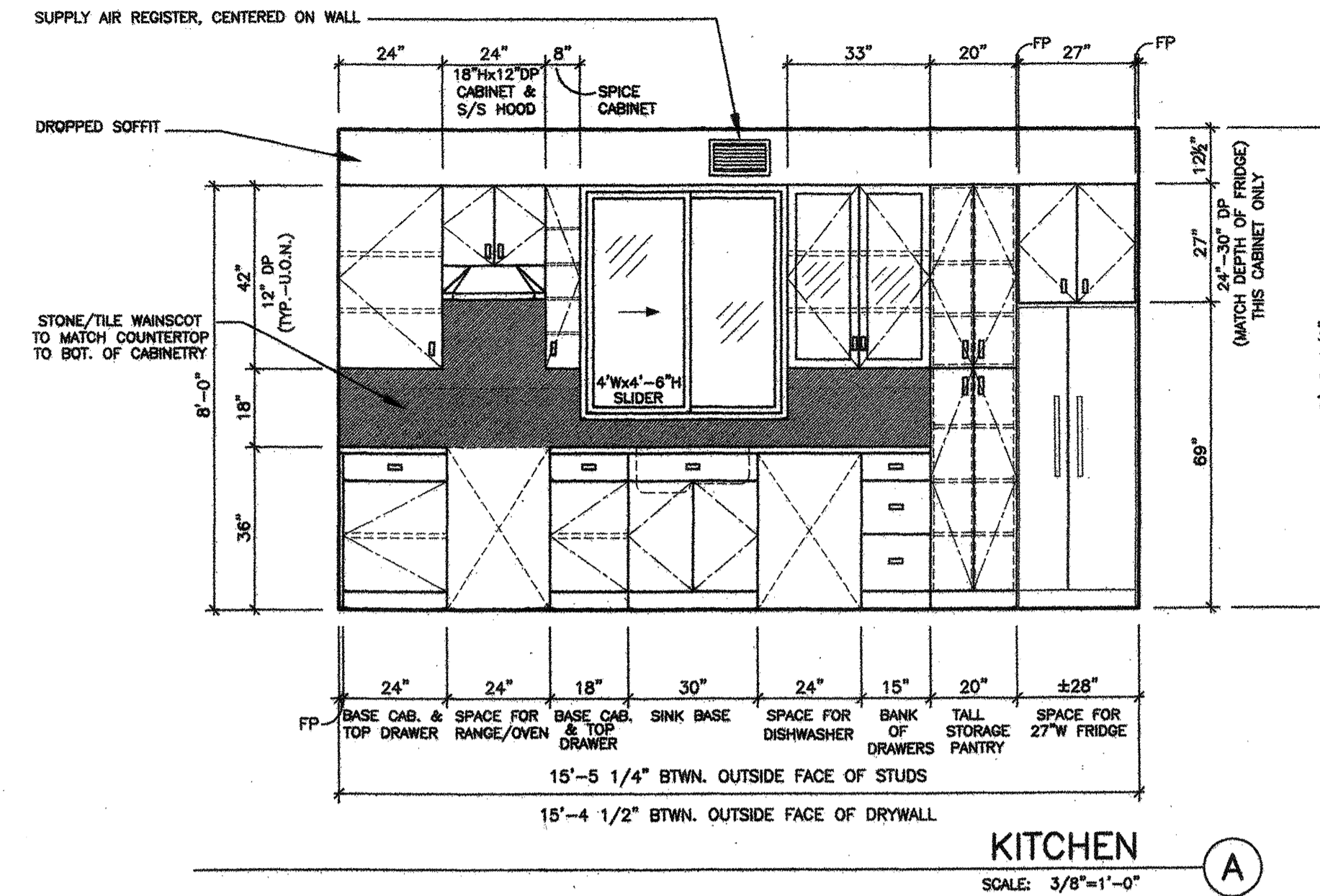
ID	ITEM	MANUF.	MODEL #	BTU/hr
(A)	WATER HEATER	NORITZ NR50-ID	GG30T06AVG00	120,000
(B)	RANGE/OVEN	WHIRLPOOL	WEG760H0DS	35,000
(C)	FORCED AIR UNIT	YORK	TG9S040A08MP11	40,000
(D)	CLOTHES DRYER	WHIRLPOOL	LTG5243D	25,000
TOTAL				220,000

TOTAL LENGTH OF 3/4" GAS PIPE = ±69'
 TOTAL LENGTH OF 1/2" GAS PIPE = ±77'
 TOTAL BTU DRAW (ALL APPLIANCES) = 220,000 BTU

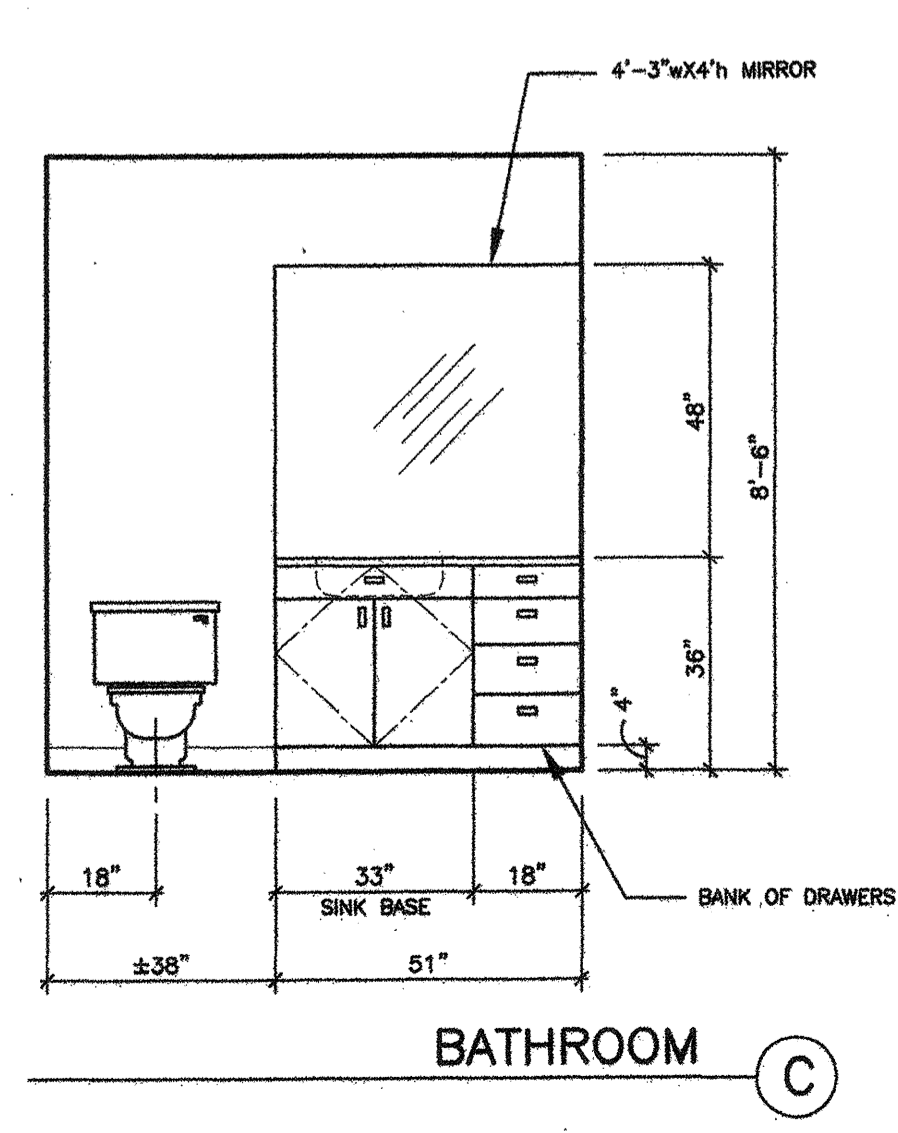
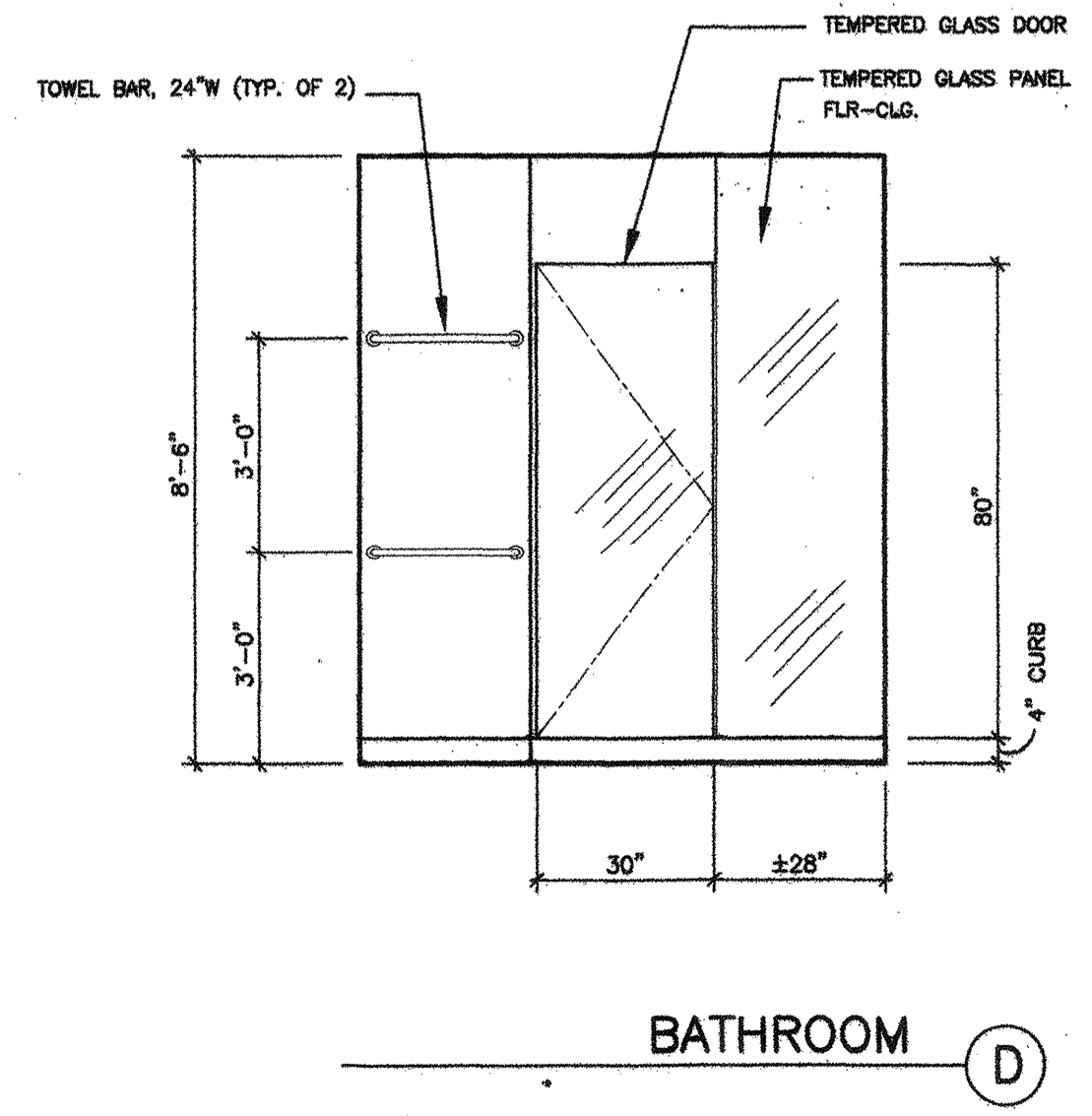
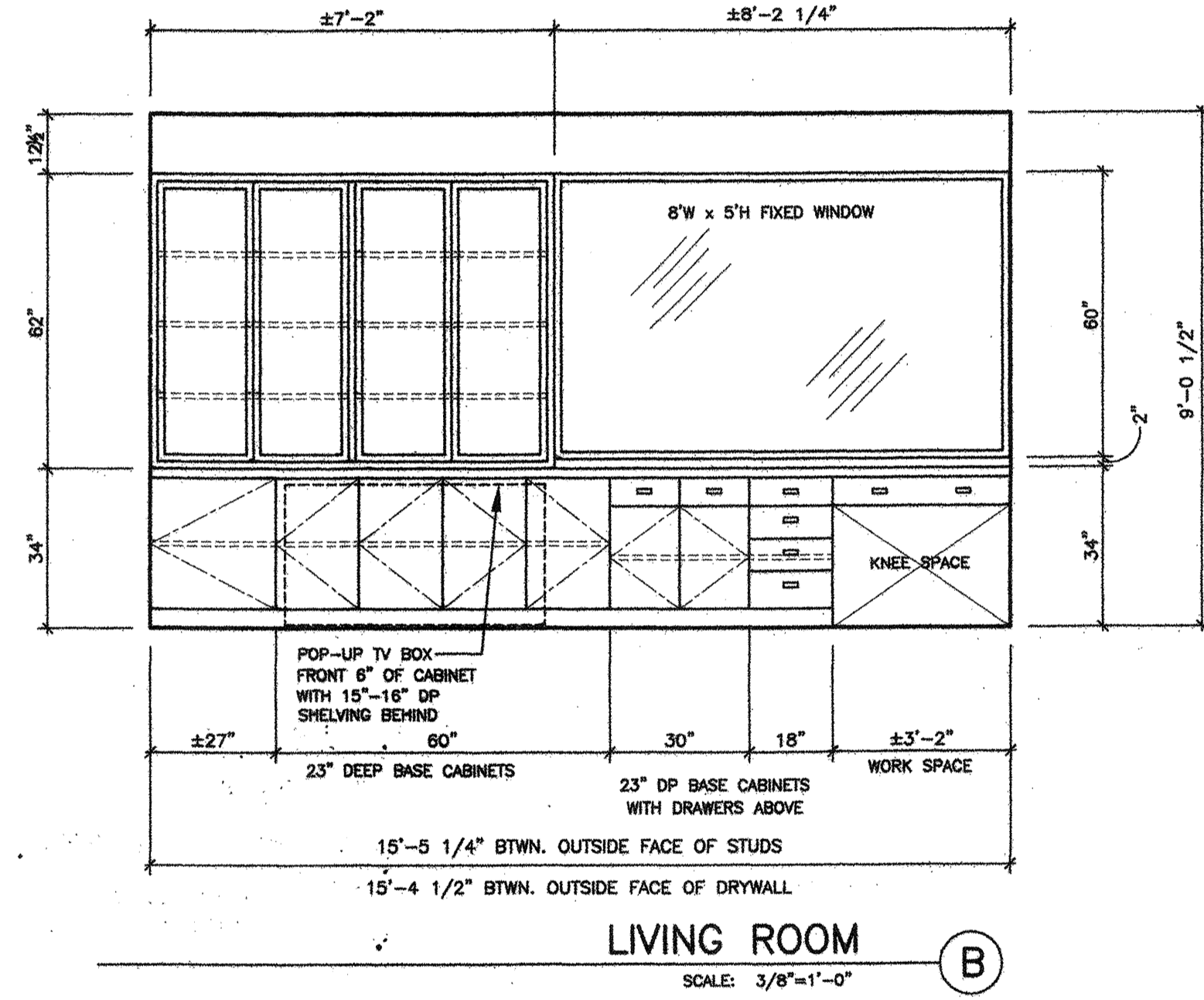


GAS PIPING LAYOUT

SCALE: 1/8"=1'-0"



APR 30 2015
 APPROVED: The stamping of the plans and specifications shall be held to permit or to be in approval of the City Ordinance or any provision of any City Ordinance or any provision of any City Ordinance as not permitting any changes or alterations on same without the approval of the City.



INTERIOR ELEVATIONS

SCALE: 3/8"=1'-0"

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No.:	Revision:
(A) Plan Review Issues	4/22/15

INTERIOR ELEVATIONS & GAS PIPING

No. **A-4**
 Sht. of



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: Engineering Department
SUBJECT: **Public Hearing: Council Consideration of Resolution No. 2020-041 Adopting the *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2021 through 2025**

BACKGROUND:

The San Diego Association of Governments (SANDAG) is required by State and Federal laws to develop and adopt a Regional Transportation Improvement Program (RTIP) every two years. The RTIP is a multi-year program of proposed major highway, arterial, transit, and bikeway projects including the *TransNet* Program of Projects. The current 2018 RTIP was adopted by the SANDAG Board on September 28, 2018 and covers the five-year fiscal period 2018/19 through 2022/23. The RTIP includes projects funded by the 2004 Proposition A (*TransNet* Extension). The 2018 RTIP can be downloaded at the following SANDAG website:

https://www.sandag.org/uploads/projectid/projectid_547_24597.pdf

To meet the requirements of the *TransNet* Extension Ordinance, SANDAG will prepare an update to the *TransNet* Program of Projects (POP) covering the five-year period from FY 2020-2021 through FY 2024-2025. This update will be programmed as an amendment to the 2018 RTIP. It is anticipated that the *TransNet* POP will be presented for approval to the SANDAG Board in September 2020.

This item is before the City Council for the consideration of Resolution No. 2020-041 (Attachment 1) adopting the five-year *TransNet* Local Street Improvement Program of Projects (POP) for Fiscal Years (FY) 2020/21 through 2024/25.

CITY COUNCIL ACTION:

DISCUSSION:

The RTIP is a planning document that lists all major transportation improvement projects for the region. A transportation project generally has to be listed on the RTIP in order to be eligible for *TransNet*, State or Federal funding. The RTIP for San Diego County is prepared by SANDAG. SANDAG prepares a five-year program and updates this program every two years with input provided from local agencies in the county.

SANDAG requires local agencies to submit a separate project submittal form for each project that is to be included in the RTIP. The submittal of the projects to SANDAG must include evidence of formal action by the legislative body of the City, preferably by resolution. SANDAG also requires that the local agency hold a public hearing prior to adoption of the 2020 five-year *TransNet* Program of Projects (POP) project list. After all public agencies in the region submit a resolution to SANDAG approving their portion of the POP, SANDAG will then adopt the 2020 POP for the entire region. It is anticipated that SANDAG will adopt the POP in September 2020.

The City has advertised a public hearing for April 22, 2020 to receive public input with regards to the 2020 POP. SANDAG recently provided a five-year forecast, which has been adjusted for COVID-19 impacts, projecting that the City will receive the following amounts in *TransNet* revenues:

FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25
\$86,000	\$133,000	\$170,000	\$185,000	\$201,000

The above amounts exclude debt service payments for the Highway 101 Westside Improvements. Currently, no Federal or State transportation funding is approved for City of Solana Beach transportation projects. At the City Council meeting on April 8, 2020, during the COVID-19 Budget Impact discussion, it was reported that the funding for FY 2020-21 had been reduced from \$141,000 to \$99,000 due to COVID-19 related reductions to sales tax revenues. This has since be revised lower to an estimated \$86,000 for FY 2020-21.

For the 2020 POP (RTIP Amendment 14), Attachment 2 lists two projects to be carried over (Pavement Resurfacing and Pavement Maintenance) and one project to be closed (Glencrest Drive at Lomas Santa Fe). Attachment 2 details the proposed funding program for the upcoming years for the two carried over projects. The Lomas Santa Fe Active Transportation Improvements project is not shown in Attachment 2 because no amendments are proposed at this time. While no new projects are proposed as part of this amendment, the City may include additional projects or modification of existing projects through the quarterly amendment process.

CEQA COMPLIANCE STATEMENT:

Adoption of the POP is not a project under CEQA. Environmental review will be addressed prior to City Council approval to advertise construction bids for each project.

FISCAL IMPACT:

Adopting the POP will allow the City to receive *TransNet* funding. There is no fiscal impact at this time. However, the estimated *TransNet* funding for FY 2020-21 has been reduced from \$141,000 to \$86,000 due to COVID-19 related impacts.

WORK PLAN:

N/A

OPTIONS:

- Adopt Staff recommendation.
- Deny Staff recommendation.
- Provide direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the public hearing, Report Council disclosures, Receive public testimony, and Close the public hearing.
2. Consider Adoption of Resolution 2020-041, approving the *TransNet* Local Street Improvement Program list of projects for Fiscal Years 2021 through 2025.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2020-041
2. List of 2018 RTIP Projects (Amendment 14)

RESOLUTION 2020-041

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, ADOPTING THE *TRANSNET* LOCAL STREET IMPROVEMENT PROGRAM OF PROJECTS FOR FISCAL YEARS 2021 THROUGH 2025

WHEREAS, on November 4, 2004, the voters of San Diego County approved the San Diego Transportation Improvement Program Ordinance and Expenditure Plan (*TransNet* Extension Ordinance); and

WHEREAS, the *TransNet* Extension Ordinance provides that SANDAG, acting as the Regional Transportation Commission, shall approve on a biennial basis a multi-year program of projects submitted by local jurisdictions identifying those transportation projects eligible to use transportation sales tax (*TransNet*) funds; and

WHEREAS, the City of Solana Beach was provided with an estimate of annual *TransNet* local street improvement revenues for Fiscal Years 2021 through 2025; and

WHEREAS, the City of Solana Beach has held a noticed public meeting with an agenda item that clearly identified the proposed list of projects prior to approval of the projects by its authorized legislative body in accordance with Section 5(A) of the *TransNet* Extension Ordinance and Rule 7 of SANDAG Board Policy No. 31.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That pursuant to Section 2(C)(1) of the *TransNet* Extension Ordinance, the City of Solana Beach certifies that no more than 30 percent of its cumulative revenues shall be spent on local street and road maintenance-related projects.
3. That pursuant to Section 4(E)(3) of the *TransNet* Extension Ordinance, the City of Solana Beach certifies that all new projects, or major reconstruction projects, funded by *TransNet* revenues shall accommodate travel by pedestrians and bicyclists, and that any exception to this requirement permitted under the Ordinance and proposed shall be clearly noticed as part of the City of Solana Beach's public hearing process.
4. That pursuant to Section 8 of the *TransNet* Extension Ordinance, the City of Solana Beach certifies that the required minimum annual level of local discretionary funds to be expended for street and road purposes will be met throughout the 5-year period consistent with the most recent Maintenance of Effort Requirements adopted by SANDAG.
5. That pursuant to Section 9A of the *TransNet* Extension Ordinance, the City of Solana Beach certifies that it will extract \$3,623, plus all applicable

annual increases, from the private sector for each newly constructed residential housing unit in that jurisdiction (unless exempted under the *TransNet* Extension Ordinance,) and shall contribute such exactions to the Regional Transportation Congestion Improvement Program (RTCIP).

6. That pursuant to Section 13 of the *TransNet* Extension Ordinance, the City of Solana Beach certifies that it has established a separate Transportation Improvement Account for *TransNet* revenues with interest earned expended only for those purposes for which the funds were allocated.

7. That pursuant to Section 18 of the *TransNet* Extension Ordinance, the City of Solana Beach certifies that each project of \$250,000 or more will be clearly designated during construction with *TransNet* project funding identification signs.

8. That the City of Solana Beach does hereby certify that all other applicable provisions of the *TransNet* Extension Ordinance and SANDAG Board Policy 31 have been met.

9. That the City of Solana Beach agrees to indemnify, hold harmless, and defend SANDAG, the San Diego County Regional Transportation Commission, and all officers and employees thereof against all causes of action or claims related to City of Solana Beach's *TransNet* funded projects.

PASSED AND ADOPTED this 22nd day of April 2020, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

JEWEL EDSON, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

Table 1
2018 Regional Transportation Improvement Program
Amendment No. 14
San Diego Region (in \$000s)

Solana Beach, City of

MPO ID: SB16		RTIP #:18-14									
Project Title:	Pavement Resurfacing							RAS (M-48)			
Project Description:	Various streets as determined by pavement management program. Street list to be uploaded annually; RTCIP to be used on Lomas Santa Fe Dr - in Solana Beach, pavement overlays							TransNet - LSI: CR			
Change Reason:	Increase funding										
	Capacity Status:NCI		Exempt Category:Safety - Pavement resurfacing and/or rehabilitation								
Est Total Cost: \$1,391											
	TOTAL	PRIOR	18/19	19/20	20/21	21/22	22/23	FUTURE	PE	RW	CON
TransNet - LSI	\$814	\$53	\$98	\$68	\$35	\$130	\$130	\$300			\$814
TransNet - LSI Carry Over	\$530	\$265	\$50	\$100	\$75	\$20	\$20				\$530
Local RTCIP	\$47	\$47									\$47
TOTAL	\$1,391	\$365	\$148	\$168	\$110	\$150	\$150	\$300			\$1,391
PROJECT LAST AMENDED 18-09											
	TOTAL	PRIOR	18/19	19/20	20/21	21/22	22/23	FUTURE	PE	RW	CON
TransNet - LSI	\$554	\$53	\$98	\$68	\$75	\$130	\$130				\$554
TransNet - LSI Carry Over	\$530	\$265	\$50	\$100	\$75	\$20	\$20				\$530
Local RTCIP	\$47	\$47									\$47
TOTAL	\$1,131	\$365	\$148	\$168	\$150	\$150	\$150				\$1,131

MPO ID: SB18		RTIP #:18-14									
Project Title:	Pavement Maintenance							TransNet - LSI: Maint			
Project Description:	Street locations to be determined by city wide condition assessment; street list to be uploaded annually - slurry seals and localized pavement repairs										
Change Reason:	Increase funding										
	Capacity Status:NCI		Exempt Category:Safety - Pavement resurfacing and/or rehabilitation								
Est Total Cost: \$330											
	TOTAL	PRIOR	18/19	19/20	20/21	21/22	22/23	FUTURE	PE	RW	CON
TransNet - LSI	\$180			\$50	\$50			\$80			\$180
TransNet - LSI Carry Over	\$150		\$50			\$50	\$50				\$150
TOTAL	\$330		\$50	\$50	\$50	\$50	\$50	\$80			\$330
PROJECT LAST AMENDED 18-00											
	TOTAL	PRIOR	18/19	19/20	20/21	21/22	22/23	FUTURE	PE	RW	CON
TransNet - LSI	\$100			\$50	\$50						\$100
TransNet - LSI Carry Over	\$150		\$50			\$50	\$50				\$150
TOTAL	\$250		\$50	\$50	\$50	\$50	\$50				\$250

** Pending final SANDAG approval

**2018 Regional Transportation Improvement Program
Amendment No. 14
San Diego Region (in \$000s)**

Solana Beach, City of

COMPLETED

MPO ID: SB20

RTIP #:18-14

Project Title: Glencrest Drive at Lomas Santa Fe Reconstruction TransNet - LSI: CR

Project Description: Point location at Lomas Santa Fe Drive - In Solana Beach, this is a reconstruction of Glencrest Drive at the intersection with Lomas Santa Fe Drive to eliminate the abrupt descent at the cross gutter and within the crosswalk, which will improve the operation and safety for pedestrians and vehicles. The reconstruction will upgrade the pedestrian crossing to meet ADA requirements, including new pedestrian ramps. Sidewalks will be extended approx 50 ft. on each side up Glencrest Drive. The roadway approaching Lomas Santa Fe Drive will be reconstructed and overlaid with 1" to improve safety and operation of vehicles entering the intersection. The project ends approximately 90-feet north of Lomas Santa Fe Drive.

Change Reason: Complete project

Capacity Status:NCI Exempt Category:Air Quality - Bicycle and pedestrian facilities

Est Total Cost: **\$80**

	TOTAL	PRIOR	18/19	19/20	20/21	21/22	22/23	FUTURE	PE	RW	CON
TransNet - LSI	\$4		\$4								\$4
TransNet - LSI Carry Over	\$76		\$76								\$76
TOTAL	\$80		\$80								\$80

PROJECT LAST AMENDED 18-01

	TOTAL	PRIOR	18/19	19/20	20/21	21/22	22/23	FUTURE	PE	RW	CON
TransNet - LSI	\$4		\$4								\$4
TransNet - LSI Carry Over	\$76		\$76								\$76
TOTAL	\$80		\$80								\$80

** Pending final SANDAG approval

**2018 Regional Transportation Improvement Program
Amendment No. 14
San Diego Region (in \$000s)**

RTIP Fund Types

<i>Local Funding</i>	
RTCIP	Regional Transportation Congestion Improvement Program
<i>TransNet-LSI</i>	Prop. A Extension Local Transportation Sales Tax - Local System Improvements
<i>TransNet-LSI Carry Over</i>	TransNet - LSI funds previously programmed but not requested/paid in year of allocation



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: City Manager's Department
SUBJECT: **Follow up from Solana Energy Alliance (SEA) 2/12/20 Quarterly Update**

BACKGROUND:

Community Choice Aggregation (CCA), authorized by Assembly Bill 117, is a state law that allows cities, counties and other authorized entities to aggregate electricity demand within their jurisdictions in order to purchase and/or generate alternative energy supplies for residents and businesses within their jurisdiction while maintaining the existing electricity provider for transmission and distribution services. The goal of a CCA is to provide a higher percentage of renewable energy electricity at competitive and potentially cheaper rates than existing Investor Owned Utilities (IOUs), while giving consumers local choices and promoting the development of renewable power sources and programs and local job growth.

The City of Solana Beach's (City) CCA, Solana Energy Alliance (SEA), was established by the City Council through adoption of Ordinance 483 on December 13, 2017 and began serving customers in June 2018. SEA is the first CCA to launch in San Diego Gas & Electric territory and remains the only CCA operating in San Diego County.

Solana Beach was the first community to launch a CCA in San Diego, however, it consistently expressed a desire to collaborate and work with other agencies to expand CCA in the region and partner in a larger local program. In October 2019, the City Council adopted Resolution 2019-136, approving the Joint Powers Agreement that created the Clean Energy Alliance (CEA) Joint Powers Authority (JPA), along with the cities of Carlsbad and Del Mar. In December 2019, the City Council adopted Resolution 2019-156, approving an amendment to the SEA Implementation Plan, which reflected Solana Beach's intention to join CEA and transition its customers during CEA's enrollment in May 2021. The Implementation Plan Amendment has been submitted to the California Public Utilities Commission (CPUC) for review and certification.

CITY COUNCIL ACTION:

The CEA Board approved the CEA Implementation Plan and Statement of Intent in December 2019, which has now been certified by the CPUC. The CEA JPA Agreement establishes a minimum renewable energy content of 50% renewable sourced (and in no event lower than the renewable content of SDG&E's base product) and a target of up to 2% savings compared to SDG&E's generation rate.

SEA customers Power Charge Indifference Adjustment (PCIA) vintage is 2017, based on the June 2018 SEA establishment. SEA customers will maintain their PCIA vintage which establishes the basis of the fees charged by SDG&E for energy SDG&E procured on behalf of the CCA customers which now must be liquidated at market prices.

This item is before Council to receive a report on SEA financial projections, provide follow up from the February 12, 2020 City Council SEA Quarterly Update and provide direction regarding potentially adjusting SEA rates.

DISCUSSION:

The City Council established SEA with the goal of offering cleaner energy, local control, local benefits and rate savings compared to the generation rates of San Diego Gas & Electric (SDG&E) and supporting the City's Climate Action Plan's aggressive goal of 100% renewable energy by 2035. SEA launched with its default product, SEA Choice, sourced from 50% renewable and 75% greenhouse gas free sources. In addition, SEA offers SEA Green, its voluntary 100% renewable energy product option. The City Council also established a goal of providing a 3% rate savings to customers as compared to SDG&E's generation rates.

Since its launch in June 2018, SEA rates have consistently provided a savings to customers on its energy generation services of at least 3%, while providing a default energy product from 50% renewable and 75% carbon free sources. During this same time, SEA has been impacted by changes in the energy market, SDG&E generation and PCIA rates and regulatory compliance requirements. These issues have had a cumulative impact of putting pressure on SEA net revenues.

Current financial projections indicate that maintaining the current 3% discount, along with continuing to provide a 50% renewable and 75% carbon free default energy product will result in temporary negative cash flow projections.

At its February 12, 2020 City Council meeting, the Council provided the following direction to Staff regarding future adjustments to the SEA program:

- Maintain 50% renewable and 75% carbon free default energy
- Defer repayment of administrative costs to General Fund to SEA close-out while also looking at possibility of continuing reimbursing SEA direct costs
- Consider decreasing the rate discount to address negative cash flow

The City Council also requested the following information be brought back for review:

- Historical SDG&E Power Charge Indifference Adjustment (PCIA) & generation rates since 2017
- Change in energy costs since 2017 (including resource adequacy & carbon free)
- Updated Financial Model reflecting alternative rate discounts

SDG&E Generation & PCIA Rate since 2017

\$ per kWh	1/1/17	1/1/18	1/1/19	1/1/20	% chg 2020 vs 2017
PCIA	0.02095	0.02267	0.03175	0.03187	52.12%
Gen Rate (Winter)	0.07196	0.07075	0.07685	0.06897	-4.16%
Gen Rate (Summer)	0.14106	0.17244	0.15061	0.13526	-4.11%

Since 2017, the PCIA rate (also known as the “exit fee”), a fee SEA customers pay to SDG&E, has increased by over 50%. The increase has been driven largely due to the change in the methodology used in calculating the fee. The change was the subject of a highly contentious CPUC proceeding which evaluated different alternatives related to how the PCIA is calculated. The final CPUC decision resulted in a significant jump in the rate from 2018 to 2019, resulting in SEA needing to reduce its rates (to maintain the 3% rate reduction) to customers and lowering SEA revenues.

During that same period, SDG&E’s generation rates have decreased which has also resulted in the need for SEA to further reduce its rates to maintain a 3% rate reduction. This, too, negatively impacted SEA revenues.

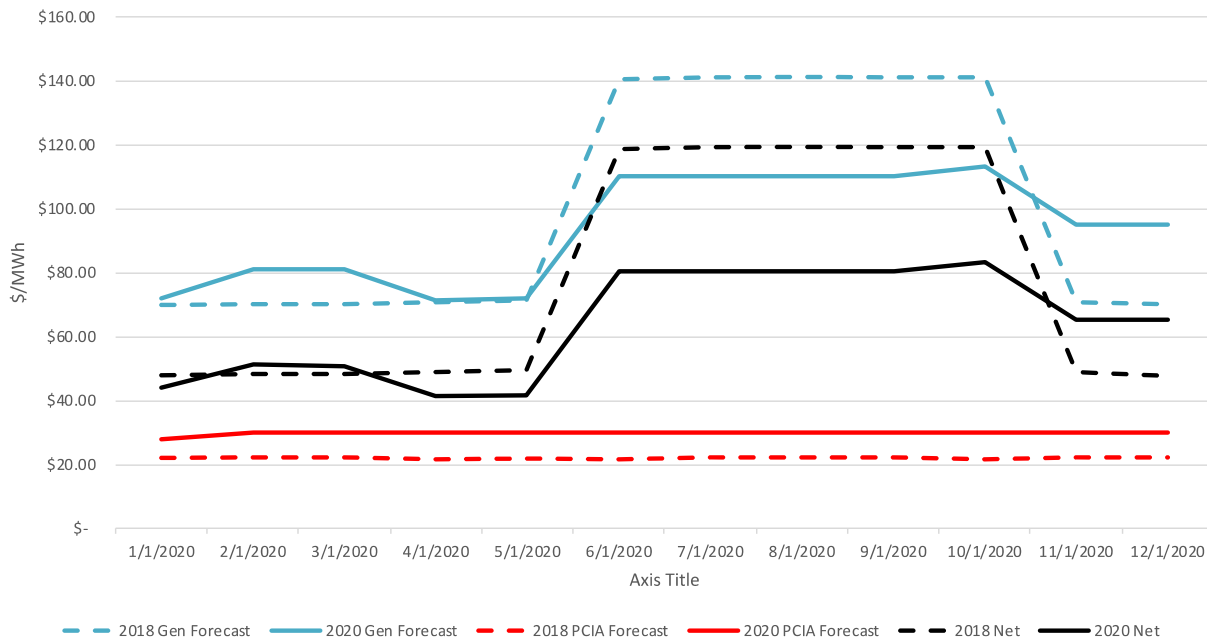
At the same time SDG&E generation rates have decreased, customers have experienced a significant increase in electric delivery charges. The summer baseline charge has increased by 129% from the 1/1/17 rates to 1/1/20 rates (from \$.06743 to \$.15448 per kWh). Please note, however, that SEA only procures and provides energy to its customers and is not involved in transmission and distribution (T&D) services and costs. All SEA customers pay these T&D costs and are subject to these increases.

The following chart reflects the 2018 forecasts to 2020 forecasts for generation rates and PCIA. The overall impact of the rate changes is a reduction to the SEA 2020 revenue forecast by approximately \$950,000 compared to what was forecasted in 2018.

SDG&E Gen & PCIA Rates: 2020

6/1/2018 Forecast vs. 4/14/2020 Forecast

2020 rates reduce 2020 revenue forecast by ~\$950,000 relative to 2018 rates if at rate parity.



Change in Energy Costs since 2017

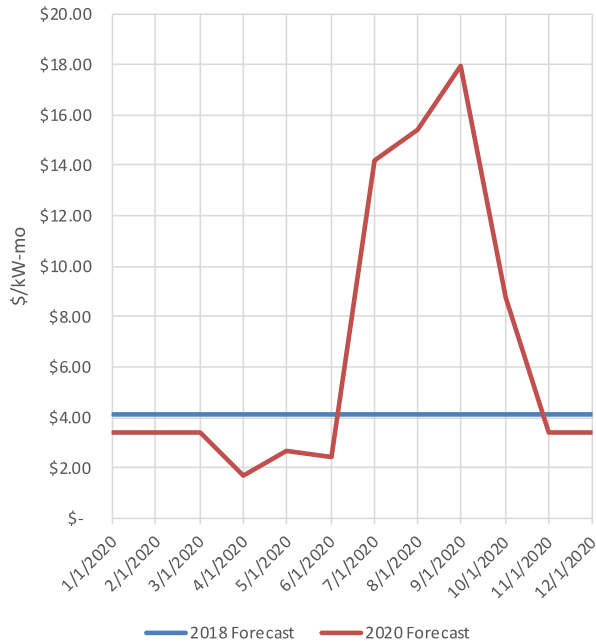
The reductions in SEA net results, driven by the impact of the increase in PCIA and decrease in generation rates, is being further exacerbated by the unexpected changes in energy costs over the past several years.

The following chart provides the comparison of forecasted resource adequacy prices in 2018 vs 2020. The overall impact is an increase in costs to SEA of approximately \$330,000 compared to what was forecasted in 2018.

Resource Adequacy Prices: 2020

6/1/2018 Forecast vs. 4/14/2020 Forecast

2020 RA market prices increase 2020 costs by ~\$330k relative to 2018 prices.



	2018 Forecast			2020 Forecast		
	System	Local	Flex	System	Local	Flex
1/1/2020	\$1.15	\$2.88	\$0.10	\$2.50	\$0.60	\$0.35
2/1/2020	\$1.15	\$2.88	\$0.10	\$2.50	\$0.60	\$0.35
3/1/2020	\$1.15	\$2.88	\$0.10	\$2.50	\$0.60	\$0.35
4/1/2020	\$1.15	\$2.88	\$0.10	\$0.75	\$0.60	\$0.35
5/1/2020	\$1.15	\$2.88	\$0.10	\$1.75	\$0.60	\$0.35
6/1/2020	\$1.15	\$2.88	\$0.10	\$1.50	\$0.60	\$0.35
7/1/2020	\$1.15	\$2.88	\$0.10	\$13.25	\$0.60	\$0.35
8/1/2020	\$1.15	\$2.88	\$0.10	\$14.50	\$0.60	\$0.35
9/1/2020	\$1.15	\$2.88	\$0.10	\$17.00	\$0.60	\$0.35
10/1/2020	\$1.15	\$2.88	\$0.10	\$7.80	\$0.60	\$0.35
11/1/2020	\$1.15	\$2.88	\$0.10	\$2.50	\$0.60	\$0.35
12/1/2020	\$1.15	\$2.88	\$0.10	\$2.50	\$0.60	\$0.35

Increases in RA costs have been driven largely by natural gas generating facility retirements exceeding new generating facility build during the past 5 years, and reductions in the ability of solar generation to meet net peak demand as the timing of peak load has shifted. Uncertainty caused by changing regulations around RA, such as the introduction of a 3-year local RA requirement and the potential of a Central Buyer, has created added uncertainty and challenges for LSEs and likely contributed to the increase in costs.

In addition to an increase in costs related to resource adequacy, SEA is experiencing increased costs for renewable and carbon free energy. The following chart compares the 2018 forecast of 2020 costs vs the current forecast of 2020 costs:

REC and Carbon-Free Prices: 2020

6/1/2018 Forecast vs. 4/14/2020 Forecast

	PCC1	PCC2	CF	Total
Cost Impact (2020 vs. 2018)	\$ (30,680)	\$ 63,220	\$ 82,860	\$ 115,400



While PCC1 (also known as Bucket 1) renewable energy costs have come down, that decrease is not enough to make up for the increase in costs of PCC2 and carbon free. The most significant change SEA has experienced is the more than double increase in carbon free costs. Overall, these changes are driving up annual SEA costs by over \$115,000.

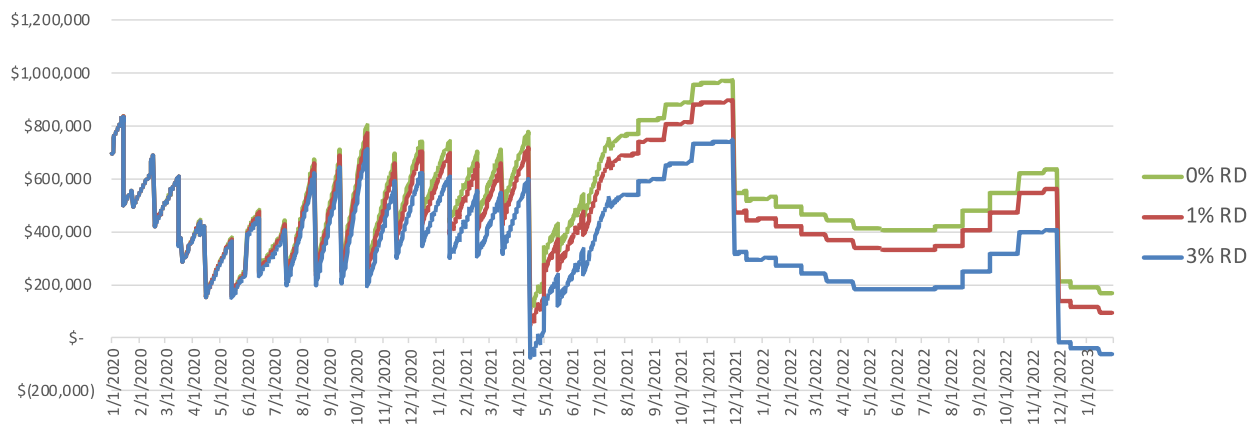
The cumulative effect of these market conditions is summarized below:

Loss in Revenue	\$950,000
Increased RA Costs	\$330,000
Increase renewable & CF Costs	<u>\$115,400</u>
Overall reduction to net results	\$1,395,400

The current forecasts have been analyzed to determine the impact to SEA cash forecasts, and its ability to continue to offer the 3% discount on generation rates to its customers. The chart below reflects the results of this analysis through 1/31/2023.

SEA Cash Scenarios

	Avg Cash		Min Cash		Ending Balance		
	2020	2021	2020	2021	5/1/2021	12/31/2021	1/31/2023
3% RD	\$419,649	\$456,277	\$152,721	-\$75,888	\$134,962	\$297,027	-\$59,780
1% RD	\$448,215	\$590,181	\$154,105	\$45,960	\$262,164	\$448,343	\$91,536
0% RD	\$462,498	\$657,133	\$154,797	\$106,884	\$325,766	\$524,001	\$167,193



- 4/1 SDG&E rate update reduced SEA’s ending cash balance by \$327k relative to the 2/12/2020 forecast
- Due to negative cash outlook, model now assumes GF will be repaid 50% in Dec 2021 and 50% in Dec 2022

As demonstrated in the chart above, with the 3% discount, it is projected SEA’s cash balance would be negative in April 2021 and that the general fund loan would not be completely paid back at the final close out of SEA (an estimated \$59,780 would remain unreimbursed). Should the rate discount be adjusted to 1%, cash balances remain positive through the close-out of SEA, with an estimated \$91,536 of funds available for Solana Beach use. Moving to rate parity with SDG&E would also result in positive cash balances and an estimated cash balance at close-out of \$167,193.

SDG&E has implemented a rate change, effective 4/1/2020 that decreases generation rates. Typically, when SDG&E changes its rates, SEA reviews its rates to determine if rate changes are needed to maintain the desired rate reductions. Commensurate with this review, Staff is requesting that the Council provide direction on potentially changing the rate reduction to improve the financial outlook of SEA as it closes out operations and transitions to the CEA. Based on the feedback provided at this meeting, Staff will bring back an item at the next City Council meeting for the Council to consider approving new rates at a public hearing.

CEQA COMPLIANCE STATEMENT:

The action being considered by the City Council is exempt from the California Environmental Quality Act (CEQA) because it is not a “project” under Section 15378(b)(5) of CEQA Guidelines.

FISCAL IMPACT:

SEA rates are set to provide funding to cover operating costs, including procurement of renewable, carbon free and conventional energy. Maintaining the 3% rate discount does not generate sufficient revenue to cover SEA costs through close-out. If SEA goes to a 1% discount, \$91,536 cash balance is projected at January 2023; at rate parity cash balance at close-out increases to \$167,193.

WORK PLAN:

Environmental Sustainability – Policy Development – Implement Solana Energy Alliance

OPTIONS:

- Direct Staff to bring an adjusted generation rate schedule that:
 - Continues 3% Rate Discount
 - Reduces Rate Discount to 1%
 - Sets rates at parity with SDG&E
- Approve Staff recommendations
- Do not approve Staff recommendations
- Provide alternative direction to Staff

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council:

1. Provide direction regarding the rate discount to apply in developing an adjusted rate schedule.
2. Direct Staff to schedule a rate public hearing with an updated rate schedule reflecting Council direction at the May 13, 2020 City Council meeting.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 22, 2020
ORIGINATING DEPT: City Manager
SUBJECT: **Consideration of Resident & Business Relief Measures Related to COVID-19**

BACKGROUND:

As a result the Coronavirus pandemic and the disease it causes, known as COVID-19, stay at home orders have been implemented both nationwide, here in California and at the local level. These orders include establishment of social distancing and sanitation protocols, the prohibition of social gatherings, the closure of schools, colleges and universities and the closure of non-essential businesses. These measures have resulted in significant economic hardship particularly to individuals who have become unemployed and to small businesses across the country including here in Solana Beach. As of April 16, 2020, unemployment claims surpassed 22 million, roughly the net numbers of jobs created in the 9 ½ year stretch that began after the Great Recession up until the emergence of the COVID-19 pandemic.

At the direction of City Council (Council), Staff has been actively engaged in assessing ways in which the City might be able to provide assistance to those in need. Staff has been providing information regularly via eBlasts regarding both federal and state assistance programs made available through the CARES Act and by the State of California. Additionally, Staff has been working closely with the Solana Beach Chamber of Commerce (Chamber) to pursue ways in which we can all support the Solana Beach business community during this unprecedented public health and economic crisis.

Also at the direction of Council, this item is before the Council for discussion and consideration of ways in which the City might assist residents and businesses during the COVID-19 pandemic.

COUNCIL ACTION: <hr/> <hr/>

DISCUSSION

Business Certificates and Short Term Vacation Rentals (STVR)

Renewals for Business Certificates and STVRs are typically mailed out annually by the end of November for the upcoming year's renewal. This year, due to delays with implementing the licensing program that is part of the City's new TRAKiT software, renewals have not yet been sent. Staff posted this delay on the City's website with an advisory notice that active 2019 Business Certificate holders were still considered in good standing. Although we are nearing resolution of the software implementation, Business Certificate renewals have still not been sent. It is not expected that the licensing program will be implemented before the middle of May.

On November 28, 2018, the Council approved an updated Schedule of Fees, effective January 1, 2019, following a citywide comprehensive Master Fee Study conducted during Fiscal Year (FY) 2017/18. The majority of the City's fees had not been updated since the City's last master fee study in 2006. The Business Certificate renewal notices for the 2019 renewal year were mailed at the beginning of November 2018 before Council approved the updated 2019 fee schedule. As such, these renewal fees were based on the City's Schedule of Fees for 2018. Consequently, businesses and STVRs were charged pursuant to the 2018 Schedule of Fees not on the new Schedule of Fees that went into effect on January 1, 2019.

On November 13, 2019, the Council also approved a 2.5% annual adjustment to the City's Schedule of Fees with an effective date of January 1, 2020. If the renewals had been mailed November of 2019 as in previous years, the 2020 renewal fees would have been based on the City's Schedule of Fees effective January 1, 2020, inclusive of the 2019 increase and the 2.5% annual adjustment.

The history of the Business Certificate, Fire Inspection and STVR renewal fees is shown in the following table. Business Certificate renewal fees include a fire inspection fee for those businesses located in the City that are not home occupations and, therefore, require inspection to ensure compliance with applicable codes.

	2018 Fee (1)	2019 Fee (1) (2)	2020 Fee 2.5% Increase
Business Certificate Renewal			
Home Occupation	\$17	\$47	\$48
Out of City	\$17	\$47	\$48
In-City	\$17	\$47	\$48
Fire Inspection (In-City only)			
0-1,000 SF	\$38	\$100	\$103
1,001-3,500 SF	\$58	\$200	\$205
3,501-10,000 SF	\$153	\$265	\$272
>10,000 SF	\$458	\$795	\$815
STVR Renewal	\$17	\$55	\$56

(1) Renewal Fees for 2019 were charged per 2018 Fee Schedule because the 2019 renewals were mailed out prior to Council adoption and effective date of the updated 2019 fees.

(2) Business Certificate and STVR Renewal Fees and Fire Inspection Fees had not been increased since 2011 resulting in this increase supported by the FY 2017/18 Master Fee Study.

As Council has directed Staff to investigate possible relief measures to offer Solana Beach businesses, Council may consider offering relief from the pending Business Certificate and STVR renewal fees to be collected at a level other than the fees established for 2020. Any decision made by Council regarding renewal fees would be incorporated into the renewals that are expected to be mailed Business Certificate and STVR permit holders in May 2020.

Annual Sewer Rates

The City typically conducts a comprehensive sewer rate and revenue plan update (Sewer Rate Study) every five years to calculate, update and adopt applicable rates for the conveyance and treatment of sewage based on the cost to provide system maintenance, new infrastructure, increased capacity and sewage treatment. On June 10, 2015, the Council adopted the current Sewer Rates for FY's 2015/16 through 2019/20 following a sewer rate study completed in the spring of 2015. On January 22, 2020, Council authorized the preparation of a new Sewer Rate Study upon which updated sewer rates were to be considered by the Council for adoption to support the sewer treatment system over the next five years.

Annual sewer rates are collected through the property tax rolls and based on the number of equivalent dwelling units (EDU) assigned to a property's structure. A single-family residence is 1.0 EDU and the FY 2019/20 EDU rate is \$682.31 per EDU.

Staff would normally be coming to Council with a sewer rate study and recommendations for adjusting the EDU for FY 2020/21 through FY 2024/25. As it stands, the current Sewer Rate Study is not yet completed and has been delayed by COVID-19 related staffing challenges and work priorities. As such, and in the interest of providing possible additional relief to the City's residences and businesses, Council may also consider holding sewer rates at the FY 2019/20 level for all or part of FY 2020/21.

Solana Energy Alliance (SEA)

The City understands that our resident's and the business community's lives and incomes have been adversely impacted by this public health crisis. In an effort to provide some relief and peace of mind, Council could also consider that customers of SEA not be sent to collections if they are experiencing financial difficulties and unable to pay their bills during these difficult times. In addition, San Diego Gas and Electric (SDG&E) has announced that they will not shut off power or charge late fees (including to SEA customers) during this pandemic.

Coordination with the Business Community

From the onset of this crisis, Staff has been in constant contact with the Chamber and developed a COVID-19 dedicated business webpage with resources for financial assistance. Staff has collaborated with the Chamber to keep an updated list of restaurants that are open for take-out and delivery and placed this list on the City's webpage and eBlasted it out to the community. Staff values the relationship we have built with the Chamber and continues to work with them on developing programs to further assist the business community. Staff has also begun participating in weekly calls with the North County Economic Development Council (NCEDC) and invited the Chamber to these calls that allow us to have open conversations and dialogue with other regional Chambers of Commerce and business districts to share information and strategies to assist our respective businesses. NCEDC sends out a newsletter three times a week with information on the ever-evolving resources and programs available to small businesses. Staff is committed to working with all of our businesses and regional organizations to collaborate and educate the business community on financial resources and programs available to assist them through these difficult times.

City Partnership with North County Food Bank

The City, in alignment with its City of Kindness Initiative, formed a unique partnership with the North County Food Bank (a chapter of the San Diego Food Bank) to raise money to feed those in need during these difficult times. Many more people are facing food insecurity issues during this public health crisis and could use assistance to navigate these difficult times. The food drive started April 1st and was planned to go the entire month with a goal of raising \$5,000. Staff is proud to announce that, due to the overwhelming support and impressive generosity of the people in this community, the goal was reached and surpassed in less than two weeks.

Hillside Slope Failures During Recent Rainfall

During the recent heavy rainfall events, several slopes throughout the City experienced failure and mudslides. Areas affected by these events included Santa Fe Hills, Solana Highlands, Turfwood Condominiums and East Solana Circle. After initial assessment by Staff which included follow up and communication with the affected property owners and HOAs, Staff expects the submittal of several grading permit applications to the City. Staff is prepared to review and assist with the issuance of the grading permits for the repair of the damaged hillside slopes throughout the City.

There are approximately twenty (20) different locations throughout the City that are in need of slope repairs. It is also possible that some of these locations would be repaired under one permit. While, from a technical and topographical standpoint, many of the slopes are significant, the earthwork quantities under which the fees are calculated are all relatively small. Therefore, the fees for these grading permits would fall under the minimum amount of \$2,050.

Given the timing of these slope failures, property owners and/or their HOAs may also be struggling with the economic fallout of the COVID-19 pandemic. Given that these grading permits could be handled by in-house Engineering Staff for review and issuance, the Council could consider permit fee relief or fee deferral for these permits.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

When the 2020 Business Certificate and STVR permit renewals are mailed and assuming all renewal fees billed are collected, the City could expect to receive the following Business Certificate and STVR permit revenue using the following fee schedules:

	Fee Schedule		
	2018	2019	2020
Business Certificates	\$ 90,439	\$ 233,221	\$ 238,966
STVR Permits	4,182	13,530	13,776

Staff can provide any changes to these estimates based on direction provided by Council.

The Adopted Budget for FY 2019/20 and 2020/21 included \$5,518,700 and \$5,535,800, respectively, in sewer service charges using the current rate of \$682.31/EDU. The FY 2020/21 increase of \$17,100 was for potential increases in EDUs in the City. No adjustment will be required to the FY 2020/21 budget if Council chooses not adjust the EDU rate before the end of FY 2019/20.

Grading permit fees associated with the steep slope repairs were not anticipated in this year's budget. As such, any cost incurred would be borne in staff time only.

WORK PLAN:

N/A

OPTIONS:

- Receive the report.
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council discuss and consider ways in which the City might assist residents and businesses during the COVID-19 pandemic and provide direction to Staff as necessary.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

PENTAMATION
 DATE: 04/06/2020
 TIME: 08:28:43

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 1
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20200321 00:00:00.000' and '20200403 00:00:00.000'
 ACCOUNTING PERIOD: 10/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96888	03/26/20	5029	BILL SMITH FOREIGN CAR S	00160006170	FRNTR-BATTERY	0.00	135.71
1011	96889	03/26/20	2555	BOB HOFFMAN VIDEO PRODUC	00150005450	COUNCL MTG-7/10-11/20	0.00	9,576.00
1011	96890	03/26/20	101	CAMEO PAPER & JANITORIAL	00160006170	TISSUE/TOWELS	0.00	118.04
1011	96891	03/26/20	3695	CORKY'S PEST CONTROL INC	00165006570	TREMITE TREATMENT-FS	0.00	1,834.00
1011	96892	03/26/20	412	CSMFO	00150005300	2020 MEMBRSHP-BERKUTI	0.00	110.00
1011	96893	03/26/20	2217	DELL MARKETING L.P.	13550005450	REPLACEMENT PCS	0.00	3,759.90
1011	96894	03/26/20	739	DEPARTMENT OF JUSTICE	00150005400	FINGERPRINT APP-FEB	0.00	128.00
1011	96894	03/26/20	739	DEPARTMENT OF JUSTICE	00160006140	FINGERPRINT APP-FEB	0.00	32.00
TOTAL CHECK							0.00	160.00
1011	96895	03/26/20	5851	JASON LOUIS GREENSTEIN	00150005400	J. GREENSTEIN-LIVESCEN	0.00	25.00
1011	96896	03/26/20	2887	LANCE,SOLL & LUNGHARD, L	55000007750	FY19 AUDIT SVC	0.00	31.90
1011	96896	03/26/20	2887	LANCE,SOLL & LUNGHARD, L	65278007810	FY19 AUDIT SVC	0.00	241.10
1011	96896	03/26/20	2887	LANCE,SOLL & LUNGHARD, L	50900007700	FY19 AUDIT SVC	0.00	1,360.10
1011	96896	03/26/20	2887	LANCE,SOLL & LUNGHARD, L	00150005300	FY19 AUDIT SVC	0.00	1,946.90
TOTAL CHECK							0.00	3,580.00
1011	96897	03/26/20	5849	O.C. INTERPRETING AGENCY	00155005550	SPANISH WRKSHP-LC	0.00	330.00
1011	96898	03/26/20	50	OFFICE DEPOT INC	00155005550	MRKR/MS PAD/PPR PAD	0.00	41.35
1011	96898	03/26/20	50	OFFICE DEPOT INC	00150005300	HEATER	0.00	85.87
1011	96898	03/26/20	50	OFFICE DEPOT INC	00150005350	PAPER/CUPS	0.00	377.05
TOTAL CHECK							0.00	504.27
1011	96899	03/26/20	31	SOLANA BEACH CHAMBER OF	25055005570	Q1 VISITOR CENTER	0.00	3,750.00
1011	96899	03/26/20	31	SOLANA BEACH CHAMBER OF	25055005570	Q2 VISITOR CENTER	0.00	3,750.00
TOTAL CHECK							0.00	7,500.00
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	ELECTRIC STAPLER	0.00	247.81
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	RFND-ELCTRC STPLR	0.00	-79.19
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00170007100	RFND-MGC ERASERS	0.00	-38.78
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	BUS CARD STAND	0.00	5.27
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005350	FILE FOLDERS	0.00	6.45
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005350	INK STAMP PADS	0.00	9.68
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	PENS	0.00	10.70
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	PHONE STAND	0.00	11.63
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	KEYBRD WRST REST	0.00	15.47
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005350	COPY STAMPS	0.00	17.55
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00170007100	MAGIC ERASERS	0.00	38.78
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00170007100	MAGIC ERASERS	0.00	38.78
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005300	BINDR/HIGHLTR/HOOK	0.00	44.45
1011	96900	03/26/20	1231	STAPLES CONTRACT & COMME	00150005200	STANDING MAT	0.00	66.90
TOTAL CHECK							0.00	395.50
1011	96901	03/26/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	AD-HSNG ELMNT WRKSHP	0.00	535.67

PENTAMATION
 DATE: 04/06/2020
 TIME: 08:28:43

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 2
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20200321 00:00:00.000' and '20200403 00:00:00.000'
 ACCOUNTING PERIOD: 10/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96902	03/26/20	5815	WRIGHT CONSTRUCTION ENGI	450	9925 PV RML RTN RLS	0.00	2,099.00
1011	96903	04/02/20	5856	AEG HOLDCO LLC	00165006570	ASBESTOS/LEAD TEST-FS	0.00	1,075.00
1011	96903	04/02/20	5856	AEG HOLDCO LLC	00165006570	ASBESTOS/LEAD TEST-CH	0.00	1,275.00
TOTAL CHECK							0.00	2,350.00
1011	96904	04/02/20	2137	AFLAC	001	MARCH 20	0.00	895.40
1011	96905	04/02/20	4832	AT&T CALNET 3	50900007700	9391012277 2/24-3/23	0.00	13.51
1011	96905	04/02/20	4832	AT&T CALNET 3	00165006540	9391012279 2/24-3/23	0.00	44.08
TOTAL CHECK							0.00	57.59
1011	96906	04/02/20	1120	BAKER IRON WORKS INC	00170007100	PLAQUES W/STAND	0.00	570.00
1011	96907	04/02/20	218	DATATICKET INC.	00160006140	SSN REQUEST-FEB	0.00	5.00
1011	96907	04/02/20	218	DATATICKET INC.	00160006140	PRKNG TCKT ADMIN-FEB	0.00	433.97
TOTAL CHECK							0.00	438.97
1011	96908	04/02/20	269	DUDEK & ASSOCIATES INC.	50998336510	9833 PUMP STN-PHS-JAN	0.00	6,333.64
1011	96908	04/02/20	269	DUDEK & ASSOCIATES INC.	50998336510	9833 PUMP STN-PHS-FEB	0.00	6,578.56
TOTAL CHECK							0.00	12,912.20
1011	96909	04/02/20	5836	ENVIROMENTAL TESTING & T	00165006570	ENVIROMENTAL TESTING-X	0.00	4,750.00
1011	96910	04/02/20	4166	HOGAN LAW APC	00150005250	MRSL-GENERL LEGAL-FEB	0.00	260.00
1011	96911	04/02/20	11	ICMA RETIREMENT TRUST-45	001	ICMA PD 04/03/20	0.00	12,430.38
1011	96912	04/02/20	3859	ICMA RETIREMENT TRUST-RH	001	ICMA PD 04/03/20	0.00	2,107.52
1011	96913	04/02/20	5852	JONATHAN GOODMACHER	001	RFND-04/18/20-LC	0.00	156.39
1011	96913	04/02/20	5852	JONATHAN GOODMACHER	001	RFND-04/18/20-LC	0.00	834.00
TOTAL CHECK							0.00	990.39
1011	96914	04/02/20	5848	JON'S FLAGS & POLES INC.	00160006120	MOURNING FLAG	0.00	108.75
1011	96915	04/02/20	323	LIEBERT CASSIDY INC	00150005400	PROF SVC-FEB 20	0.00	76.00
1011	96916	04/02/20	5549	MICHAEL BAKER INTERNATIO	22093826510	9382.03 LSF CORR-III	0.00	10,911.55
1011	96916	04/02/20	5549	MICHAEL BAKER INTERNATIO	22893826510	9382.03 LSF CORR-III	0.00	1,212.40
TOTAL CHECK							0.00	12,123.95
1011	96917	04/02/20	5407	PJ CASTORENA, INC.	55000007750	CCA WKLY ENRL-3/16&23	0.00	73.56
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.64
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.64
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	21100007600	LAUNDRY-PUB WORKS	0.00	2.64
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	7.04
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	7.04
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006520	LAUNDRY-PUB WORKS	0.00	7.04
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	10.54

PENTAMATION
 DATE: 04/06/2020
 TIME: 08:28:43

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 3
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20200321 00:00:00.000' and '20200403 00:00:00.000'
 ACCOUNTING PERIOD: 10/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	10.54
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	50900007700	LAUNDRY-PUB WORKS	0.00	10.54
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	11.86
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	11.86
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006560	LAUNDRY-PUB WORKS	0.00	11.86
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	21.08
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	21.08
1011	96918	04/02/20	111	MISSION LINEN & UNIFORM	00165006530	LAUNDRY-PUB WORKS	0.00	21.08
TOTAL CHECK							0.00	159.48
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	247	9362PAV RPR RTN-FEB	0.00	-3,653.15
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	247	9362PAV RPR RTN-FEB	0.00	-1,895.42
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	459	9362PAV RPR RTN-FEB	0.00	-199.76
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	20293626510	9362.20 PAV RPR-FEB	0.00	36,012.98
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	24793626510	9362PAV RPR RTN-FEB	0.00	1,895.42
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	20293626510	9362PAV RPR CNT-FEB	0.00	20,164.76
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	24793626510	9362PAV RPR CNT-FEB	0.00	45,250.00
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	24793626510	9362PAV CTN RTN-FEB	0.00	3,653.15
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	45994566510	9456.20PAV RPR CNTFEB	0.00	3,795.41
1011	96919	04/02/20	3754	PAL GENERAL ENGINEERING	45994566510	9456.20PAV CT RTN-FEB	0.00	199.76
TOTAL CHECK							0.00	105,223.15
1011	96920	04/02/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-PW-FEB	0.00	5.00
1011	96920	04/02/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-FEB	0.00	15.80
1011	96920	04/02/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-LC-FEB	0.00	15.80
1011	96920	04/02/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-FEB	0.00	31.00
1011	96920	04/02/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-FEB	0.00	56.70
1011	96920	04/02/20	5608	PALOMAR MTN PREMIUM SPRI	00165006570	DRINKING WATER-CH-FEB	0.00	110.60
TOTAL CHECK							0.00	234.90
1011	96921	04/02/20	5853	PATRICK O'CONNOR	001	RFND-3/23-3/25-FCCC	0.00	225.00
1011	96921	04/02/20	5853	PATRICK O'CONNOR	001	RFND-3/23-3/25-FCCC	0.00	256.00
TOTAL CHECK							0.00	481.00
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-MAR-FC	0.00	32.00
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-MAR-LC	0.00	32.00
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-MAR-PW	0.00	32.00
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-MAR-MS	0.00	32.00
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-MAR-FS	0.00	37.00
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	PEST CONTROL-MAR-CH	0.00	49.50
1011	96922	04/02/20	5361	HABITAT PROTECTION, INC	00165006570	AS ND PST CNTL-MAR-MS	0.00	27.00
TOTAL CHECK							0.00	241.50
1011	96923	04/02/20	141	SANTA FE IRRIGATION DIST	00165006560	005506015 0116-0316	0.00	136.32
1011	96923	04/02/20	141	SANTA FE IRRIGATION DIST	00165006560	005506016 0116-0316	0.00	267.82
1011	96923	04/02/20	141	SANTA FE IRRIGATION DIST	00165006560	005979003 0116-0316	0.00	279.61
1011	96923	04/02/20	141	SANTA FE IRRIGATION DIST	20375007510	005979004 0116-0316	0.00	204.70
1011	96923	04/02/20	141	SANTA FE IRRIGATION DIST	20375007510	007732000 0116-0316	0.00	136.32
TOTAL CHECK							0.00	1,024.77
1011	96924	04/02/20	169	SDG&E CO INC	00165006540	UTILITIES-02/05-03-06	0.00	462.79
1011	96924	04/02/20	169	SDG&E CO INC	00165006530	UTILITIES-02/05-03-06	0.00	463.40

PENTAMATION
 DATE: 04/06/2020
 TIME: 08:28:43

CITY OF SOLANA BEACH, CA
 CHECK REGISTER - DISBURSEMENT FUND

PAGE NUMBER: 4
 ACCTPA21

SELECTION CRITERIA: transact.gl_cash='1011' and transact.ck_date between '20200321 00:00:00.000' and '20200403 00:00:00.000'
 ACCOUNTING PERIOD: 10/20

FUND - 001 - GENERAL FUND

CASH ACCT	CHECK NO	ISSUE DT	VENDOR	NAME	BUDGET UNIT	-----DESCRIPTION-----	SALES TAX	AMOUNT
1011	96924	04/02/20	169	SDG&E CO INC	00165006530	UTILITES-02/05-03/08	0.00	743.78
1011	96924	04/02/20	169	SDG&E CO INC	00165006540	UTILITES-02/05-03/08	0.00	1,010.80
1011	96924	04/02/20	169	SDG&E CO INC	00165006570	UTILITIES-02/05-03-06	0.00	1,463.89
1011	96924	04/02/20	169	SDG&E CO INC	20375007510	UTILITES-02/05-03/08	0.00	2,504.47
1011	96924	04/02/20	169	SDG&E CO INC	00165006570	UTILITES-02/05-03/08	0.00	5,152.34
1011	96924	04/02/20	169	SDG&E CO INC	21100007600	UTILITIES-02/05-03-06	0.00	6,633.70
TOTAL CHECK							0.00	18,435.17
1011	96925	04/02/20	5855	SUE ZOIS	001	RFND-04/09/20-LC	0.00	40.00
1011	96926	04/02/20	5704	THE HOME DEPOT PRO	00165006570	BLEACH/GLVS/RAGS	0.00	421.75
1011	96926	04/02/20	5704	THE HOME DEPOT PRO	00165006560	BLEACH/GLVS/RAGS	0.00	1,265.27
TOTAL CHECK							0.00	1,687.02
1011	96927	04/02/20	3265	THE LAND STEWARDS	00165006520	POLY SAND BAGS-CH	0.00	362.87
1011	96928	04/02/20	5854	TORRE MIDDLETON	001	RFND-04/04/20-FCCC	0.00	10.00
1011	96928	04/02/20	5854	TORRE MIDDLETON	001	RFND-04/04/20-FCCC	0.00	156.39
1011	96928	04/02/20	5854	TORRE MIDDLETON	001	RFND-04/04/20-FCCC	0.00	1,058.00
TOTAL CHECK							0.00	1,224.39
1011	96929	04/02/20	4534	TRAFFIC SUPPLY, INC	00165006540	SPEED LIMIT SIGN/POLE	0.00	489.36
1011	96930	04/02/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-HSNG APR	0.00	259.66
1011	96930	04/02/20	2097	UT SAN DIEGO - NRTH COUN	00155005550	PUB HRNG-19-007 DRP	0.00	314.31
TOTAL CHECK							0.00	573.97
1011	96931	04/02/20	3723	WAGeworks	00150005400	FSA ADMIN-MAR	0.00	123.50
1011	V900100	04/02/20	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-DEC	0.00	3,936.00
1011	V900100	04/02/20	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-FEB	0.00	4,239.50
1011	V900100	04/02/20	5834	KIMLEY-HORN AND ASSOCIAT	45999055550	9905.03 PROF SVC-JAN	0.00	12,941.00
TOTAL CHECK							0.00	21,116.50
1011	V900101	04/02/20	13	SOLANA BEACH FIREFIGHTER	001	FD DUES PD 04/03/20	0.00	913.50
TOTAL CASH ACCOUNT							0.00	233,138.88
TOTAL FUND							0.00	233,138.88
TOTAL REPORT							0.00	233,138.88