

CITY OF SOLANA BEACH
SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



AGENDA

Joint REGULAR Meeting
Wednesday, April 12, 2023 * 6:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

- City Council meetings are video recorded and archived as a permanent record. The [video](#) recording captures the complete proceedings of the meeting and is available for viewing on the City's website.
- Posted Reports & Supplemental Docs contain records up to the cut off time prior to meetings for processing new submittals. Complete records containing meeting handouts, PowerPoints, etc. can be obtained through a [Records Request](#).

PUBLIC MEETING ACCESS

The Regular Meetings of the City Council are scheduled for the 2nd and 4th Wednesdays and are broadcast live. The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

WATCH THE MEETING

- Live web-streaming: Meetings web-stream live on the City's website on the City's [Public Meetings](#) webpage. Find the large Live Meeting button.
- Live Broadcast on Local Govt. Channel: Meetings are broadcast live on Cox Communications - Channel 19 / Spectrum (Time Warner)-Channel 24 / AT&T U-verse Channel 99.
- Archived videos online: The video taping of meetings are maintained as a permanent record and contain a detailed account of the proceedings. Council meeting tapings are archived and available for viewing on the City's [Public Meetings](#) webpage.

AGENDA MATERIALS

A full City Council agenda packet including relative supporting documentation is available at City Hall, the Solana Beach Branch [Library](#) (157 Stevens Ave.), La Colonia Community Ctr., and online www.cityofsolanabeach.org. Agendas are posted at least 72 hours prior to regular meetings and at least 24 hours prior to special meetings. Writings and documents regarding an agenda of an open session meeting, [received](#) after the official posting, and distributed to the Council for consideration, will be made available for public viewing at the same time. In addition, items received at least 1 hour 30 minutes prior to the meeting time will be uploaded online with the agenda posting. Materials submitted for consideration should be forwarded to the [City Clerk's Department](#) 858-720-2400. The designated location for viewing of hard copies is the City Clerk's office at City Hall during normal business hours.

PUBLIC COMMENTS

Written correspondence (supplemental items) regarding an agenda item at an open session meeting should be submitted to the City Clerk's Office at clerkoffice@cosb.org with a) Subject line to include the meeting date b) Include the Agenda Item # as listed on the Agenda.

- Correspondence received after the official posting of the agenda, but two hours prior to the meeting start time, on the meeting day, will be distributed to Council and made available online along with the agenda posting. All submittals received before the start of the meeting will be made part of the record.
- Written submittals will be added to the record and not read out loud.

And/Or

Verbal Comment Participation:

Please submit a speaker slip to the City Clerk prior to the meeting, or the announcement of the Section/Item, to provide public comment. Allotted times for speaking are outlined on the speaker's slip for each agenda section: Oral Communications, Consent, Public Hearings and Staff Reports. Public speakers have 3 minutes each to speak on each topic. Time may be donated by another individual

who is present at the meeting to allow an individual up to 6 minutes to speak. Group: Time may be donated by two individuals who are present at the meeting allowing an individual up to 10 minutes to speak. Group Hearings: For public hearings only, time may be donated by two individuals who are present at the meeting allowing an individual up to 15 minutes to speak.

SPECIAL ASSISTANCE NEEDED

In compliance with the Americans with Disabilities Act of 1990, persons with a disability may request an agenda in appropriate alternative formats as required by Section 202. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the [City Clerk's office](#) (858) 720-2400 at least 72 hours prior to the meeting.

As a courtesy to all meeting attendees, please set all electronic devices to silent mode and engage in conversations outside the Council Chambers.

<u>CITY COUNCILMEMBERS</u>		
Lesa Heebner Mayor		
David A. Zito Deputy Mayor / Councilmember District 1		Jewel Edson Councilmember District 3
Kristi Becker Councilmember District 2		Jill MacDonald Councilmember District 4

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

SPEAKERS:

Please submit your speaker slip to the City Clerk prior to the meeting or the announcement of the Item. Allotted times for speaking are outlined on the speaker's slip for Oral Communications, Consent, Public Hearings and Staff Reports.

READING OF ORDINANCES AND RESOLUTIONS:

Pursuant to [Solana Beach Municipal Code](#) Section 2.04.460, at the time of introduction or adoption of an ordinance or adoption of a resolution, the same shall not be read in full unless after the reading of the title, further reading is requested by a member of the Council. If any Councilmember so requests, the ordinance or resolution shall be read in full. In the absence of such a request, this section shall constitute a waiver by the council of such reading.

CALL TO ORDER AND ROLL CALL:

CLOSED SESSION REPORT:

FLAG SALUTE:

APPROVAL OF AGENDA:

PROCLAMATIONS/CERTIFICATES: *Ceremonial*

None at the posting of this agenda

PRESENTATIONS: *Ceremonial items that do not contain in-depth discussion and no action/direction.*

None at the posting of this agenda

ORAL COMMUNICATIONS:

Comments relating to items on this evening's agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today's agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.7.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on March 08, 2023.

[Item A.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for March 04, 2023 – March 24, 2023.

[Item A.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.3. General Fund Adopted Budget for Fiscal Year 2022/2023 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2022/2023 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.4. Animal Control Services Contract. (File 0200-10)

Recommendation: That the City Council

1. Adoption of **Resolution 2023-045** authorizing the City Manager to execute an Agreement with San Diego Humane Society for the delivery of Animal Control Services for the City of Solana Beach.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.5. Community Development Block Grant (CDBG) Cooperative Agreement Extension.
(File 0390-32)

Recommendation: That the City Council

1. Adopt **Resolution 2023-040** authorizing the automatic renewal of the Community Development Block Grant Cooperation Agreement for the qualification periods of July 1, 2024 to June 30, 2025; July 1, 2025 to June 30, 2026; and July 1, 2026 to June 30, 2027.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.6. Principal Management Analyst Position. (File 0510-10)

Recommendation: That the City Council

1. Adopt **Resolution 2023-044** approving the creation of the Principal Management Analyst position at pay grade M-4 of the Management Salary Schedule 1.
2. Approve a FY 2022/2023 appropriation of \$20,000 to the General Fund and \$2,000 to non-General Fund funds allocated between salary and benefits as determined by the Finance Department.
3. Authorize the City Treasurer to amend the FY 2022/2023 Adopted Budget accordingly.

[Item A.6. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

A.7. Building Permit Review and Inspection Services. (File 0800-20)

Recommendation: That the City Council

1. Adopt **Resolution 2023-046** authorizing the City Manager to increase the Estimated Building Permit Revenue by \$220,000 from \$305,000 to \$525,000 and increase Professional Services Budget in the Community Development Department Building Services by \$200,000 from \$391,250 to \$591,250.

[Item A.7. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

NOTE: The City Council shall not begin a new agenda item after 10:30 p.m. unless approved by a unanimous vote of all members present. (SBMC 2.04.070)

B. PUBLIC HEARINGS: (B.1.)

This portion of the agenda provides citizens an opportunity to express their views on a specific issue as required by law after proper noticing by submitting a speaker slip (located on the back table) to the City Clerk. After considering all of the evidence, including written materials and oral testimony, the City Council must make a decision supported by findings and the findings must be supported by substantial evidence in the record. An applicant or designee(s) for a private development/business project, for which the public hearing is being held, is allotted a total of fifteen minutes to speak, as per SBMC 2.04.210. A portion of the fifteen minutes may be saved to respond to those who speak in opposition. *All other speakers should refer to the public comment section at the beginning of the agenda for time allotment.* Please be aware of the timer light on the Council Dais.

B.1. Public Hearing: 241 Pacific Ave., Applicant: Richard Schrager, Case: DRP 22-014. (File 0600-40)

The proposed project meets the minimum objective requirements under the LUP, SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt **Resolution 2023-033** conditionally approving an interior remodel to an existing multi-level, single family residence as well as the relocation of two exterior staircases and the construction of a covered porch area at 241 Pacific Avenue.

[Item B.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C. STAFF REPORTS: (C.1. – C.2.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. Quarterly Investment Report. (File 0350-44)

Recommendation: That the City Council

1. Accept and file the Cash and Investment Report for the quarter ended December 31, 2022.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

C.2. Street Maintenance and Repairs Project – Fiscal Year 2022/23. (File 0820-35)

Recommendation: That the City Council

1. Adopt **Resolution 2023-041**:
 - a. Approving the list of streets scheduled for maintenance and repairs as part of the 2022/23 Street Maintenance and Repairs Project.
 - b. Authorizing the City Engineer to advertise for construction bids for the 2022/23 Street Maintenance and Repairs Project.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

WORK PLAN COMMENTS:

Adopted June 22, 2022

COMPENSATION & REIMBURSEMENT DISCLOSURE:

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: [Council Committees](#)

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

- a. City Selection Committee (meets twice a year) Primary-Heebner, Alternate-Edson
- b. Clean Energy Alliance (CEA) JPA: Primary-Becker, Alternate-Zito
- c. County Service Area 17: Primary-MacDonald, Alternate-Edson
- d. Escondido Creek Watershed Authority: Becker / Staff (no alternate).
- e. League of Ca. Cities' San Diego County Executive Committee: Primary-MacDonald, Alternate-Becker. Subcommittees determined by its members.
- f. League of Ca. Cities' Local Legislative Committee: Primary-MacDonald, Alternate-Becker
- g. League of Ca. Cities' Coastal Cities Issues Group (CCIG): Primary-MacDonald, Alternate-Becker
- h. North County Dispatch JPA: Primary-MacDonald, Alternate-Becker
- i. North County Transit District: Primary-Edson, Alternate-MacDonald
- j. Regional Solid Waste Association (RSWA): Primary-Zito, Alternate-MacDonald
- k. SANDAG: Primary-Heebner, 1st Alternate-Zito, 2nd Alternate-Edson. Subcommittees determined by its members.
- l. SANDAG Shoreline Preservation Committee: Primary-Becker, Alternate-Zito
- m. San Dieguito River Valley JPA: Primary-MacDonald, Alternate-Becker
- n. San Elijo JPA: Primary-Zito, Primary-Becker, Alternate-City Manager
- o. 22nd Agricultural District Association Community Relations Committee: Primary-Edson, Primary-Heebner

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

- a. Business Liaison Committee – Zito, Edson
- b. Fire Dept. Management Governance & Organizational Evaluation – Edson, MacDonald
- c. Highway 101 / Cedros Ave. Development Committee – Heebner, Edson
- d. Parks and Recreation Committee – Zito, Becker
- e. Public Arts Committee – Edson, Heebner
- f. School Relations Committee – Becker, MacDonald
- g. Solana Beach-Del Mar Relations Committee – Heebner, Edson

CITIZEN COMMISSION(S)

- a. Climate Action Commission – Zito, Becker

ADJOURN:

Next Regularly Scheduled Meeting is April 26, 2023

Always refer to the City's website Event Calendar for an updated schedule or contact City Hall. www.cityofsolanabeach.org 858-720-2400

AFFIDAVIT OF POSTING

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO } §
CITY OF SOLANA BEACH }

I, Angela Ivey, City Clerk of the City of Solana Beach, do hereby certify that this Agenda for the April 12, 2023 Council Meeting was called by City Council, Successor Agency to the Redevelopment Agency, Public Financing Authority, and the Housing Authority of the City of Solana Beach, California, was provided and posted on April 5, 2023 at 3:20 p.m. on the City Bulletin Board at the entrance to the City Council Chambers. Said meeting is held at 6:00 p.m., April 12, 2023, in the Council Chambers, at City Hall, 635 S. Highway 101, Solana Beach, California.

Angela Ivey, City Clerk
City of Solana Beach, CA

UPCOMING CITIZEN CITY COMMISSION AND COMMITTEE MEETINGS:

Regularly Scheduled, or Special Meetings that have been announced, are posted on each Citizen Commission's Agenda webpage. See the [Citizen Commission's Agenda webpages](#) or the City's Events [Calendar](#) for updates.

- **Budget & Finance Commission**
- **Climate Action Commission**
- **Parks & Recreation Commission**
- **Public Arts Commission**
- **View Assessment Commission**



CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, AND HOUSING AUTHORITY

MINUTES

Joint Meeting - Closed Session

Wednesday, March 08, 2023 at 5:00 p.m.

City Hall / Council Chambers, 635 S. Highway 101, Solana Beach, California

Minutes contain a summary of significant discussions and formal actions taken at a City Council meeting.

CITY COUNCILMEMBERS

Lesa Heebner

Mayor

David A. Zito

Deputy Mayor/
Councilmember
District 1

Jewel Edson

Councilmember
District 3

Kristi Becker

Councilmember
District 2

Jill MacDonald

Councilmember
District 4

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 5:03 p.m.

Present: Lesa Heebner, David A. Zito, Jewel Edson, Kristi Becker, Jill MacDonald

Absent: None

Also Gregory Wade, City Manager

Present: Elizabeth Mitchell, Assistant City Attorney

PUBLIC COMMENT ON CLOSED SESSION ITEMS (ONLY): None

Report to Council Chambers and submit speaker slips to the City Clerk before the meeting recesses to closed session

CLOSED SESSION:

1. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION

Pursuant to Government Code Section 54956.9(d)(2)

Two (2) Potential cases

No reportable action.

ADJOURN:

Mayor Heebner adjourned the meeting at 5:33 p.m.

CITY OF SOLANA BEACH

SOLANA BEACH CITY COUNCIL, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY,
PUBLIC FINANCING AUTHORITY, & HOUSING AUTHORITY



MINUTES

Joint REGULAR Meeting
Wednesday, March 08, 2023 * 6:00 p.m.

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CITY COUNCILMEMBERS

Lesa Heebner
Mayor

David A. Zito
Councilmember District 1
Kristi Becker
Councilmember District 2

Jewel Edson
Councilmember District 3
Jill MacDonald
Councilmember District 4

Gregory Wade
City Manager

Johanna Canlas
City Attorney

Angela Ivey
City Clerk

CALL TO ORDER AND ROLL CALL:

Mayor Heebner called the meeting to order at 6:00 p.m.

Present: Lesa Heebner, David A. Zito, Jewel Edson, Kristi Becker, Jill MacDonald
Absent: None
Also Greg Wade, City Manager
Present: Johanna Canlas, City Attorney
Angela Ivey, City Clerk
Dan King, Assistant City Manager
Mo Sammak, City Engineer/Public Works Dir.
Rod Greek, Interim Finance Dir.
Joseph Lim, Community Development Dir.

CLOSED SESSION REPORT: None

FLAG SALUTE:

APPROVAL OF AGENDA:

Motion: Moved by Deputy Mayor Zito and second by Councilmember Becker to approve.
Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

ORAL COMMUNICATIONS: None

Comments relating to items on this evening’s agenda are taken at the time the items are heard. This portion of the agenda provides an opportunity for members of the public to address the City Council on items relating to City business and not appearing on today’s agenda by submitting a speaker slip (located on the back table) to the City Clerk. Pursuant to the Brown Act, no action shall be taken by the City Council on public comment items. Council may refer items to the City Manager for placement on a future agenda. The maximum time allotted for each presentation is THREE MINUTES. No donations of time are permitted (SBMC 2.04.190). Please be aware of the timer light on the Council Dais.

COUNCIL COMMUNITY ANNOUNCEMENTS / COMMENTARY:

An opportunity for City Council to make brief announcements or report on their activities. These items are not agendized for official City business with no action or substantive discussion.

A. CONSENT CALENDAR: (Action Items) (A.1. - A.8.)

Items listed on the Consent Calendar are to be acted in a single action of the City Council unless pulled for discussion. Any member of the public may address the City Council on an item of concern by submitting to the City Clerk a speaker slip (located on the back table) before the Consent Calendar is addressed. Those items removed from the Consent Calendar by a member of the Council will be trailed to the end of the agenda, while Consent Calendar items removed by the public will be heard immediately after approval of the Consent Calendar to hear the public speaker.

All speakers should refer to the public comment section at the beginning of the agenda for details. Please be aware of the timer light on the Council Dais.

A.1. Minutes of the City Council.

Recommendation: That the City Council

1. Approve the Minutes of the City Council meetings held on February 08, 2023.

Approved Minutes <https://www.cityofsolanabeach.org/en/government/public-meetings/agendas-minutes-videos>

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.2. Register Of Demands. (File 0300-30)

Recommendation: That the City Council

1. Ratify the list of demands for February 11, 2023 – February 24, 2023.

Item A.2. Report (click here)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk’s Office.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.3. General Fund Adopted Budget for Fiscal Year 2022/2023 Changes. (File 0330-30)

Recommendation: That the City Council

1. Receive the report listing changes made to the Fiscal Year 2022-2023 General Fund Adopted Budget.

[Item A.3. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve.
Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.5. Sales, Transaction, and Use Tax Audit Services. (File 0390-05)

Recommendation: That the City Council

1. Adopt **Resolution 2023-027:**

- a. Authorizing the City Manager to execute an amendment to the Professional services Agreement with Hinderliter de Llamas and Associates, in an amount not to exceed \$45,000, for Sales, Transaction and Use Tax Audit Services for Fiscal Year 2022/23 which increases the total authorized contract from \$100,000 to \$125,000.
- b. Appropriating \$25,000 from the General Fund – Undesignated Reserves to the Professional Services Agreement with Sales, Transaction and Use Tax Audit Services for Fiscal Year 2022/23.
- c. Authorizing the City Treasurer to amend the Fiscal Year 2022/23 Adopted Budget accordingly.

[Item A.5. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve.
Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.6. U.S. Army Corps of Engineers (USACE) 50-Year Project. (File 0740-80)

Recommendation: That the City Council

1. Adopt **Resolution 2023-028:**

- a. The City Manager, or his designee, to request and accept payment of all grant funding successfully obtained from the State of California Department of Parks for ultimate pass-through to the USACE as part of the local cost share match.
- b. The City Manager, or his designee, to pay the invoice from the USACE dated January 26, 2023 for the incremental non-Federal cash contribution from the City of Solana Beach for Federal Fiscal Year (FY) 2023 for the amount of \$1,359,706.00, no later than March 10, 2023, to support initial construction of the Project.
- c. The use of Sand Replenishment/Coastal Access Funds (Capital Project Fund450) in the amount of \$300,000.00 and \$313,556.00 of General Fund Reserves for payment of the \$1,359,706.00 to support initial construction of the Project.

- d. The use of Sand Mitigation and Public Recreation Impact Mitigation funds or newly secured Grant Funds to reimburse \$313,556.00 to the General Fund when such funding is available.
- e. The City Manager, or his designee, to pay the invoice from the USACE dated January 26, 2023 for the incremental non-Federal cash contribution from the City of Solana Beach for Federal Fiscal Year (FY) 2023 for the amount of \$7,705,000 via California State Parks, Division of Boating and Waterways, to support initial construction of the Project.
- f. The City Manager to act on behalf of the City of Solana Beach, in consultation with the City Attorney, to negotiate and execute all agreements and amendments and to pay any anticipated local cost share requirements related to the USACE Project on behalf of the City.

[Item A.6. Report \(click here\)](#)

[Item A.6. Updated Report #1 \(added 3-8-23 at 11am\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve.

Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.7. City's Housing and Safety Element Update. (File 0610-10)

Recommendation: That the City Council

1. Adopt **Resolution 2023-030** authorizing the City Manager to execute Amendment #4 to the Professional Services Agreement with Kimley-Horn and Associates Inc. increasing the contract amount by \$15,000 for an amount not to exceed \$171,200.

[Item A.7. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve.

Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.8. Terminating the Proclamation of the Existence of a Local Emergency.

(File 0240-25)

Recommendation: That the City Council

1. Adopt **Resolution 2023-029** terminating the Proclamation of the Existence of a Local Emergency due to COVID-19.

[Item A.8. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved by Councilmember Edson and second by Deputy Mayor Zito to approve.

Approved 5/0. Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

C. STAFF REPORTS: (C.1. – C.2.)

Submit speaker slips to the City Clerk.

All speakers should refer to the public comment section at the beginning of the agenda for time allotments. Please be aware of the timer light on the Council Dais.

C.1. Santa Fe Christian Schools Alternative Story Pole Plan - Field Lighting.

(File 0400-40)

Recommendation: That the City Council

1. Consider approving the Santa Fe Christian Schools alternative story pole plan and if the City Council approves the requested alternative, adopt **Resolution 2023-032**.

[Item C.1. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Joe Lim, Community Development Director, presented a PowerPoint (on file).

Council, Staff, and Applicant representatives, Keith Francis and Kurt de Pfyffer, discussed that the lighting chosen was the best lighting without light spillage with the fewest number of poles, the balloon height option due to the height, they will have to be refilled over time with helium, the City's helium balloon ban, increasing the noticing radius due to the height and potential impact, they took drone footage of the campus to produce a rendering to scale with various viewpoints, providing the elevations that reflect the heights in relation to the campus buildings.

Motion: Moved by Mayor Heebner and second by Deputy Mayor Zito to approve and adding a 1,000 sq. ft. noticing radius, 30 full days of balloon height, noticed on the website for inquiries, returning to Council providing views from various vantage points and site elevations in relation to other buildings on campus, and that Staff monitor wind gust level that would require the balloons to be lowered. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

C.2. Re-adopt (2nd Reading) Ordinance 529 – Buildings Standards Code Amendments.

(File 0600-05)

Recommendation: That the City Council

1. Re-adopt **Ordinance 529** (2nd Reading) amending Title 15 of the Solana Beach Municipal Code.

[Item C.2. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Elizabeth Mitchell, Assistant City Attorney, read the title of the ordinance.

Motion: Moved by Councilmember Edson and second by Councilmember Becker to approve. **Approved 5/0.** Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

A.4. Community Grant Program - Fiscal Year 2023-24. (File 0330-25)

Recommendation: That the City Council

1. Approve **Resolution 2023-031** authorizing the Fiscal Year (FY) 2023-24 Community Grant Program.

[Item A.4. Report \(click here\)](#)

Posted Reports & Supplemental Docs contain records up to the cut off time, prior to the start of the meeting, for processing new submittals. The final official record containing handouts, PowerPoints, etc. can be obtained through a Records Request to the City Clerk's Office.

Motion: Moved Deputy Mayor Zito and second by Councilmember Edson to approve and increase the City's portion of the grant allocation contribution to \$20,000. **Approved 5/0.**
Ayes: Heebner, Zito, Edson, Becker, MacDonald. Noes: None. Motion carried unanimously.

WORK PLAN COMMENTS: None

Adopted June 22, 2022

COMPENSATION & REIMBURSEMENT DISCLOSURE: None

GC: Article 2.3. Compensation: 53232.3. (a) Reimbursable expenses shall include, but not be limited to, meals, lodging, and travel. 53232.3 (d) Members of a legislative body shall provide brief reports on meetings attended at the expense of the local agency "City" at the next regular meeting of the legislative body.

COUNCIL COMMITTEE REPORTS: Council Committees

REGIONAL COMMITTEES: (outside agencies, appointed by this Council)

STANDING COMMITTEES: (All Primary Members) (Permanent Committees)

CITIZEN COMMISSION(S)

ADJOURN:

Mayor Heebner adjourned the meeting at 6:45 p.m. in memory of Gordon Johns having recently passed away.



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Finance
SUBJECT: Register of Demands

BACKGROUND:

Section 3.04.020 of the Solana Beach Municipal Code requires that the City Council ratify a register of demands which represents all financial demands made upon the City for the applicable period.

Register of Demands - 03/04/23 through 03/24/23

Check Register-Disbursement Fund (Attachment 1)		\$ 3,152,690.81
Net Payroll Retiree Health	March 8, 2023	3,721.00
Net Payroll Council	March 9, 2023	5,154.32
Net Payroll Staff N19	March 17, 2023	<u>294,675.56</u>
TOTAL		<u>\$ 3,456,241.69</u>

DISCUSSION:

Staff certifies that the register of demands has been reviewed for accuracy, that funds are available to pay the above demands, and that the demands comply with the adopted budget.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The register of demands for March 4, 2023 through March 24, 2023 reflects total expenditures of \$3,456,241.69 from various City sources.

WORK PLAN:

N/A

CITY COUNCIL ACTION: _____

OPTIONS:

- Ratify the register of demands.
- Do not ratify and provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council ratify the above register of demands.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Check Register – Disbursement Fund



City of Solana Beach

Register of Demands

3/4/2023 - 3/24/2023

Department Vendor	Description	Date	Check/EFT Number	Amount
100 - GENERAL FUND				
MISSION SQUARE PLAN 302817	Payroll Run 2 - Warrant NC09	03/09/2023	9000723	\$4,812.03
MISSION SQUARE PLAN 302817	Payroll Run 1 - Warrant N19	03/16/2023	9000730	\$19,461.47
SOLANA BEACH FIREFIGHTERS ASSOC	Payroll Run 1 - Warrant N19	03/16/2023	9000732	\$850.00
ALLIANT INSURANCE SERVICES INC	2022 SPECIAL EVENT INSURANCE PAYMENT-FINAL	03/09/2023	103455	\$421.74
AFLAC	FEBRUARY 23	03/16/2023	103485	\$789.70
SAN DIEGO COUNTY SHERIFF'S DEPT.	JAN 23-Sheriff Law Enforcement	03/09/2023	103470	\$434.84
SAN DIEGO COUNTY SHERIFF'S DEPT.	JAN 23- CR TOW FEE	03/09/2023	103470	(\$328.26)
MISSION SQUARE RHS 801939	Payroll Run 1 - Warrant N19	03/16/2023	9000731	\$2,110.96
MUNICIPAL MANAGEMT ASSOC OF SC	MAR 23-24-MEMBERSHIP	03/23/2023	103534	\$60.00
SUN LIFE FINANCIAL	DEC 22 LIFE & ADD INS	03/16/2023	9000734	\$1,405.07
SUN LIFE FINANCIAL	DEC 22 SUPP LIFE INS	03/16/2023	9000734	\$341.80
SUN LIFE FINANCIAL	DEC 22 LTD	03/16/2023	9000734	\$1,735.45
DANNY HERNANDEZ	REISSUE VOUCHER RETURN-243358	03/06/2023	103443	\$2,188.84
STERLING HEALTH SERVICES, INC.	N18 FSA/DCA CONTRIBUTIONS	03/09/2023	9000727	\$1,442.90
STERLING HEALTH SERVICES, INC.	N18 FSA/DCA CONTRIBUTIONS	03/09/2023	9000727	\$611.66
STERLING HEALTH SERVICES, INC.	NC09 FSA FUNDING	03/16/2023	9000733	\$216.67
STERLING HEALTH SERVICES, INC.	N12 FSA/DCA CONTRIBUTIONS	03/23/2023	9000738	\$1,302.08
STERLING HEALTH SERVICES, INC.	N12 FSA/DCA CONTRIBUTIONS	03/23/2023	9000738	\$439.77
STERLING HEALTH SERVICES, INC.	NC6 FSA CONTRIBUTIONS	03/23/2023	9000738	\$237.50
STERLING HEALTH SERVICES, INC.	N19 FSA/DCA CONTRIBUTIONS	03/23/2023	9000738	\$1,443.32
STERLING HEALTH SERVICES, INC.	N19 FSA/DCA CONTRIBUTIONS	03/23/2023	9000738	\$611.78
STERLING HEALTH SERVICES, INC.	N13 FSA/DCA CONTRIBUTIONS	03/23/2023	9000738	\$1,302.08
STERLING HEALTH SERVICES, INC.	N13 FSA/DCA CONTRIBUTIONS	03/23/2023	9000738	\$439.77
SELF INSURED SERVICES COMPANY	MAR 23-DENTAL	03/16/2023	9000729	\$2,829.20
FRANCHISE TAX BOARD	Payroll Run 1 - Warrant N19	03/16/2023	103495	\$100.00
INSTATAX	NC09 TAX PAYMENT	03/09/2023	990120222	\$101.61
INSTATAX	NC09 TAX PAYMENT	03/09/2023	990120222	\$284.88
INSTATAX	NC09 TAX PAYMENT	03/09/2023	990120222	\$50.00
INSTATAX	N19 Tax Payment	03/17/2023	990120225	\$16,164.79
INSTATAX	N19 Tax Payment	03/17/2023	990120225	\$2,229.72
INSTATAX	N19 Tax Payment	03/17/2023	990120225	\$41,186.18
INSTATAX	N19 Tax Payment	03/17/2023	990120225	\$1,333.48
INSTATAX	N19 Tax Payment	03/17/2023	990120225	\$8,877.82
FIDELITY SECURITY LIFE INSURANCE COMPANY	FEB 23 VISION	03/16/2023	103494	\$517.28
FIDELITY SECURITY LIFE INSURANCE COMPANY	MARCH 23 VISION	03/16/2023	103494	\$496.95
SEBOLD 1998 TRUST	RFND-FCCC - 01/28/23	03/09/2023	103474	\$500.00
MARCUS YCO	RFND-03/04/23-FCCC	03/23/2023	103533	\$500.00
PENELOPE QUINTANA	RFND-03/05/23-FCCC	03/23/2023	103538	\$500.00
THAO LY NGUYEN	RFND-BC FIRE INSPECTION FEE	03/23/2023	103527	\$106.00
TOTAL GENERAL FUND				\$118,109.08
1005100 - CITY COUNCIL				
LEAGUE OF CALIFORNIA CITIES INC	2023-MEMBERSHIP DUES/LUNCHEON MEETINGS	03/09/2023	103460	\$900.00

US BANK	COUNCIL MEETING	03/23/2023	103518	\$161.13
US BANK	NEW COUNCIL MEMB CONFERENCE	03/23/2023	103518	\$1,180.84
US BANK	COUNCIL DINNER	03/09/2023	103448	\$222.22
TOTAL CITY COUNCIL				\$2,464.19
1005150 - CITY CLERK				
PITNEY BOWES GLOBAL FINANCIAL SVC	29312709-CITY WIDE POSTAGE REFILL	03/16/2023	103500	\$2,000.00
STAPLES CONTRACT & COMMERCIAL	KLEENEX/FACIAL TISSUE	03/09/2023	103476	\$32.83
STAPLES CONTRACT & COMMERCIAL	POSTITS/BINDER CLIPS/LETTER OPENER/SCISSORS	03/09/2023	103476	\$70.09
STAPLES CONTRACT & COMMERCIAL	FILE POCKETS	03/09/2023	103476	\$68.92
STAPLES CONTRACT & COMMERCIAL	STAPLES	03/09/2023	103476	\$12.49
STAPLES CONTRACT & COMMERCIAL	FILE CABINET	03/09/2023	103476	\$461.16
US BANK	MINTUES TRANSCRIPTION	03/23/2023	103518	\$40.50
US BANK	COUNCIL NAME BADGE	03/23/2023	103518	\$17.74
US BANK	COUNCIL NAME BADGES	03/23/2023	103518	\$58.95
US BANK	MINTUES TRANSCRIPTION	03/23/2023	103518	\$36.25
US BANK	TIME STAMP REPAIR	03/23/2023	103518	\$171.94
US BANK	UPS SHIPPING CHARGE	03/23/2023	103518	\$17.30
US BANK	UPS SHIPPING CHARGE	03/23/2023	103518	\$13.00
US BANK	RECYCLING BIN WITH LID	03/23/2023	103518	\$30.23
US BANK	RECYCLING BINS WITH LID	03/23/2023	103518	\$74.28
US BANK	POOL NOODLES	03/23/2023	103518	\$53.44
US BANK	COUNCIL BADGE HOLDER	03/23/2023	103518	\$8.61
US BANK	COUNCIL BADGE HOLDERS	03/23/2023	103518	\$34.44
US BANK	ANNUAL PAPER SUBSCRIPTION	03/23/2023	103518	\$465.39
US BANK	DOCUMENT CABINET	03/09/2023	103448	\$461.16
US BANK	COUNCIL TRANSCRIPT	03/09/2023	103448	\$58.75
US BANK	POOL NOODLES	03/09/2023	103448	\$30.26
UT SAN DIEGO - NRTH COUNTY	ORD 529-ADOPT	03/16/2023	103510	\$89.35
UT SAN DIEGO - NRTH COUNTY	ORD INTRO- 529	03/16/2023	103510	\$89.35
CORODATA RECORDS MANAGEMENT, INC	FEB 23-STORAGE, SHREDDING	03/16/2023	103490	\$841.14
TOTAL CITY CLERK				\$5,237.57
1005200 - CITY MANAGER				
US BANK	EE CARDS	03/23/2023	103518	\$49.06
US BANK	CM ANNUAL CONFERENCE	03/23/2023	103518	\$270.43
US BANK	HEEBNER FLOWERS	03/09/2023	103448	\$32.31
US BANK	LA TIMES SUBSCRIPTION	03/09/2023	103448	\$51.87
TOTAL CITY MANAGER				\$403.67
1005250 - LEGAL SERVICES				
BURKE WILLIAMS & SORENSEN	96-0001-JAN 23	03/16/2023	103487	\$4,678.20
BURKE WILLIAMS & SORENSEN	96-0001.002-JAN 23	03/16/2023	103487	\$1,511.10
BURKE WILLIAMS & SORENSEN	96-0002-JAN 23	03/16/2023	103487	\$785.40
BURKE WILLIAMS & SORENSEN	96-0040.002-JAN 23	03/16/2023	103487	\$2,520.80
BURKE WILLIAMS & SORENSEN	RETAIN-JANUARY 23	03/16/2023	103487	\$11,644.00
BURKE WILLIAMS & SORENSEN	96-0006-JAN 23	03/16/2023	103487	\$1,428.00
BURKE WILLIAMS & SORENSEN	96-0007-JAN 23-CLM.GENR	03/16/2023	103487	\$1,055.70
BURKE WILLIAMS & SORENSEN	96-0014-JAN 23	03/16/2023	103487	\$1,962.80
BURKE WILLIAMS & SORENSEN	96-0019-JAN 23	03/16/2023	103487	\$848.70
BURKE WILLIAMS & SORENSEN	96-0038-JAN 23	03/16/2023	103487	\$3,284.40
BURKE WILLIAMS & SORENSEN	96-0040-JAN 23	03/16/2023	103487	\$4,384.00
TOTAL LEGAL SERVICES				\$34,103.10
1005300 - FINANCE				

STAPLES CONTRACT & COMMERCIAL	MOUSE PAD	03/16/2023	103506	\$12.92
CALIFORNIA MUNICIPAL STATISTICS INC	FY 22-ACFR DEBT STMNT	03/09/2023	103449	\$550.00
US BANK	BC SPANISH TRANSLATION	03/09/2023	103448	\$165.20
KFORCE INC.	02/23/23-TEMP SERVICES-FIN	03/09/2023	9000724	\$960.00
HR DIRECT	1095 C KIT	03/23/2023	103525	\$223.02
AMAZON.COM SALES, INC	CALCULATOR RIBBON	03/09/2023	103445	\$13.98
AMAZON.COM SALES, INC	TONER-FIN	03/23/2023	103515	\$64.64
AMAZON.COM SALES, INC	COFFEE PODS/CLIP BOARDS	03/23/2023	103515	\$15.03

TOTAL FINANCE**\$2,004.79****1005350 - SUPPORT SERVICES**

STAPLES CONTRACT & COMMERCIAL	KLEENEX/PENS/SOAP/NOTE PADS	03/16/2023	103506	\$122.94
XEROX CORPORATION	FEB 23-XEROX-CLERK	03/16/2023	103512	\$157.67
XEROX CORPORATION	FEB 23-XEROX-CLERK	03/16/2023	103512	\$271.68
XEROX CORPORATION	FEB 23-XEROX-PLN/ENG	03/16/2023	103512	\$113.93
XEROX CORPORATION	FEB 23-XEROX-PLN/ENG	03/16/2023	103512	\$546.78
XEROX CORPORATION	FEB 23-XEROX-UPSTAIRS	03/16/2023	103512	\$154.36
XEROX CORPORATION	FEB 23-XEROX-UPSTAIRS	03/16/2023	103512	\$298.25
XEROX CORPORATION	FEB 23-FIERY-PLN/ENG	03/16/2023	103512	\$132.61
XEROX CORPORATION	FEB 23-FIERY-UPSTAIRS	03/16/2023	103512	\$132.61
XEROX CORPORATION	FEB 23-FIERY-CLERK	03/16/2023	103512	\$122.84
READY REFRESH BY NESTLE	FEB 23-DRINKING WATER-CH	03/16/2023	103502	\$332.00
READY REFRESH BY NESTLE	FEB 23-DRINKING WATER-PW	03/16/2023	103502	\$71.65
READY REFRESH BY NESTLE	FEB 23-DRINKING WATER-LC	03/16/2023	103502	\$47.60
AMAZON.COM SALES, INC	SHREDDER LUBE/SHREDDER BAGS	03/23/2023	103515	\$41.72
AMAZON.COM SALES, INC	COFFEE PODS/CLIP BOARDS	03/23/2023	103515	\$60.77

TOTAL SUPPORT SERVICES**\$2,607.41****1005400 - HUMAN RESOURCES**

US BANK	COFFEE MAKER CH	03/23/2023	103518	\$317.81
US BANK	FINANCE DIRECTOR PANEL	03/23/2023	103518	\$28.08
US BANK	COVID TESTS	03/23/2023	103518	\$85.90
US BANK	LINKEDIN ANNUAL MEMBERSHIP	03/23/2023	103518	\$323.88
US BANK	CARD	03/23/2023	103518	\$6.02
US BANK	MILESTONE GIFT	03/09/2023	103448	\$31.90
US BANK	EE EVENT REFUND	03/09/2023	103448	(\$16.15)
US BANK	EE EVENT REFUND	03/09/2023	103448	(\$13.30)
US BANK	LABOR LAW CONFERENCE	03/09/2023	103448	\$1,240.00
US BANK	AMAZON REFUND	03/09/2023	103448	(\$50.00)
US BANK	MILESTONE GIFT	03/09/2023	103448	\$50.00
DEPARTMENT OF JUSTICE	FEB 23-FINGERPRINT APPS	03/16/2023	103491	\$32.00
COASTAL LIVE SCAN AND INSURANCE	FEB 22-FINGERPRINTS	03/09/2023	103452	\$30.00
STERLING HEALTH SERVICES, INC.	LOST CARD REPLACEMENT	03/16/2023	9000733	\$10.00
RALPH ANDERSEN & ASSOCIATES	PART 2 & 3-FINANCE DIRECTOR RECRUITMENT	03/09/2023	103468	\$14,700.00
RALPH ANDERSEN & ASSOCIATES	FINANCE DIRECTOR RECRUITMENT	03/23/2023	103539	\$7,350.00

TOTAL HUMAN RESOURCES**\$24,126.14****1005450 - INFORMATION SERVICES**

COX COMMUNICATIONS INC	0013410039730701 - 02/19/23-03/18/23	03/23/2023	103521	\$317.49
CDW GOVERNMENT INC	ADO ACRO PRO DC	03/23/2023	9000736	\$69.99
CDW GOVERNMENT INC	CISCO DIRECT MT10-HW	03/23/2023	9000736	\$608.24
US BANK	ANNUAL REDIRECT SOFTWARE	03/23/2023	103518	\$161.00
US BANK	HOSTING DOMAINS	03/23/2023	103518	\$9.95
US BANK	CONSTANT CONTACT	03/23/2023	103518	\$55.00

US BANK	ATT LA COLONIA	03/09/2023	103448	\$64.20
US BANK	ADOBE PHOTOGRAPHY PLAN	03/09/2023	103448	\$119.88
US BANK	ADOBE ID CREATIVE	03/09/2023	103448	\$239.88
US BANK	DOMAIN HOSTING	03/09/2023	103448	\$9.95
US BANK	CONSTANT CONTACT	03/09/2023	103448	\$55.00
VERIZON WIRELESS-SD	670601022-01/24/23-02/23/23	03/23/2023	103545	\$114.03
WESTERN AUDIO VISUAL	MAR 23-AUDIO VISUAL MAINTENANCE	03/23/2023	103547	\$499.00
WESTERN AUDIO VISUAL	AUG 22-AUDIO VISUAL MAINTENANCE	03/23/2023	103547	\$499.00
MANAGED SOLUTION	FEB 23-IT Services Managed Solution	03/23/2023	103532	\$2,018.10
MANAGED SOLUTION	FEB 23-IT Services	03/23/2023	103532	\$600.00
MANAGED SOLUTION	NOV 22-IT Services	03/23/2023	103532	\$2,233.92
MANAGED SOLUTION	MAR 23-IT Services	03/23/2023	103532	\$2,018.10
FISHER INTEGRATED, INC.	JAN 23-WEB STREAMING SVC	03/23/2023	103524	\$1,100.00
TING FIBER INC.	MAR 23-Ting Fiber-TIDE BEACH LG TOWER	03/23/2023	9000740	\$450.00
TING FIBER INC.	MAR 23-Ting Fiber-DEL MAR SHORE LG TOWER	03/23/2023	9000740	\$450.00
TING FIBER INC.	MAR 23-Ting Fiber-SB FACILITIES	03/23/2023	9000740	\$3,249.00
AMAZON.COM SALES, INC	HEADSET	03/09/2023	103445	\$99.30
AMAZON.COM SALES, INC	HDMI SPLITTER/8 PORT SWITCH/MONITOR/HDMI CABLE	03/23/2023	103515	\$685.98
AMAZON.COM SALES, INC	UNMANAGED 16 PORT SWITCH	03/23/2023	103515	\$406.83
AMAZON.COM SALES, INC	LAPTOP MEMORY/RAM	03/23/2023	103515	\$181.51
TOTAL INFORMATION SERVICES				\$16,315.35
1005550 - PLANNING				
US BANK	"CA-""IN PROGRESS"" DATE STAMP"	03/09/2023	103448	\$89.36
UT SAN DIEGO - NRTH COUNTY	PUB HRNG-DRP22-004	03/23/2023	103544	\$389.65
OFFICE DEPOT INC	ENVELOPES/PENS/PAPER/POCKET FILE FOLDERS	03/23/2023	103537	\$103.40
1 STOP TONER & INKJET, LLC	TONER-PLN	03/09/2023	103467	\$58.09
CENTRAL SQUARE	TRAKIT - ANNUAL MAINT 07/01/22	03/23/2023	103520	\$25,972.88
DANIEL WELTE	MILEAGE-03/06/23	03/23/2023	103522	\$30.13
AMAZON.COM SALES, INC	PENS/WAL CLOCK/UTENSIL SET	03/09/2023	103445	\$120.70
TOTAL PLANNING				\$26,764.21
1005560 - BUILDING SERVICES				
OFFICE DEPOT INC	ENVELOPES/PENS/PAPER/POCKET FILE FOLDERS	03/23/2023	103537	\$12.98
TOTAL BUILDING SERVICES				\$12.98
1005590 - PARKING ENFORCEMENT				
US BANK	HAMMER AND PRY TOOL	03/23/2023	103518	\$43.08
US BANK	FOLDER	03/23/2023	103518	\$24.23
US BANK	CAR BATTERY JUMP STARTER	03/23/2023	103518	\$64.92
US BANK	PERMIT PAPER	03/23/2023	103518	\$25.30
US BANK	WIPER FLUID	03/09/2023	103448	\$5.92
VERIZON WIRELESS-SD	442224168-01/24/23-02/23/23	03/23/2023	103545	\$206.57
OFFICE DEPOT INC	ENVELOPES/PENS/PAPER/POCKET FILE FOLDERS	03/23/2023	103537	\$20.46
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$125.80
TOTAL PARKING ENFORCEMENT				\$516.28
1006110 - LAW ENFORCEMENT				
SAN DIEGO COUNTY SHERIFF'S DEPT.	JAN 23-Sheriff Law Enforcement	03/09/2023	103470	\$399,063.64
TOTAL LAW ENFORCEMENT				\$399,063.64
1006120 - FIRE DEPARTMENT				
SANTA FE IRRIGATION DISTRICT	JAN-FEB 23-005512-000	03/23/2023	103541	\$565.48
US BANK	FIRE PREVENTION PRINTER INK	03/09/2023	103448	\$95.89
US BANK	AIR PUMP ACCESS/WARNING TAPE	03/09/2023	103448	\$136.20

US BANK	KITCHEN SUPPLIES	03/09/2023	103448	\$14.49
US BANK	PRINTER INK	03/09/2023	103448	\$77.34
US BANK	REFUND AIR DUSTER	03/09/2023	103448	(\$64.62)
US BANK	PRINTER INK	03/09/2023	103448	\$45.14
US BANK	FLAG POLE BRACKET	03/09/2023	103448	\$28.00
US BANK	EPOXY	03/09/2023	103448	\$33.93
US BANK	LIGHTER/OIL CHANGE FUNNEL	03/09/2023	103448	\$28.96
NORTH COUNTY EVS, INC	NCEVS APPARATUS REPAIR	03/23/2023	103536	\$19,997.26
ACE UNIFORMS & ACCESSORIES	PANTS/SHIRTS/SEWING	03/23/2023	103513	\$828.74
ACE UNIFORMS & ACCESSORIES	BOOT/BELT	03/23/2023	103513	\$216.48
ACE UNIFORMS & ACCESSORIES	PANTS/SHIRTS/SEWING	03/23/2023	103513	\$963.35
ACE UNIFORMS & ACCESSORIES	BOOTS	03/23/2023	103513	\$194.84
VERIZON WIRELESS-SD	962428212 - 12/29/22-01/28/23	03/23/2023	103545	\$559.96
SOUTH COAST EMERGENCY VEHICLE SVC	SEAL KIT/WINDOW REGULATOR	03/23/2023	103543	\$1,474.97
REGIONAL COMMS SYS, MS 056 - RCS	FEB 23-CAP CODE	03/23/2023	103540	\$32.50
FIRE STATS, LLC	OCT-DEC 22-FIRE DATA	03/23/2023	103523	\$637.50
WEX BANK	JAN 23-AUTO FUEL/CR TAX	03/23/2023	103548	\$1,712.80
L. N. CURTIS & SONS INC	BOOTS	03/23/2023	103531	\$658.22
ALLSTAR FIRE EQUIPMENT, INC	TURNOUTS	03/23/2023	103514	\$3,706.06
LAWNMOWERS PLUS	REPAIR	03/23/2023	103526	\$212.87
LINEGEAR FIRE & RESCUE EQUIPMENT	COAXSHER CASE/PANTS/INFLUX FIREPRO	03/23/2023	103530	\$540.55
THOMAS ROBERT DERR	RATTLESNAKE TRAINING	03/09/2023	103477	\$1,200.00
TOTAL FIRE DEPARTMENT				\$33,896.91
1006130 - ANIMAL CONTROL				
SAN DIEGO HUMANE SOCIETY & S.P.C.A.	MAR 23-Animal Services	03/16/2023	103503	\$7,603.00
TOTAL ANIMAL CONTROL				\$7,603.00
1006150 - CIVIL DEFENSE				
AT&T CALNET 3	9391012275-11/24/22-12/23/22	03/23/2023	103517	\$167.08
AT&T CALNET 3	9391012275-01/24/23-02/23/23	03/23/2023	103517	\$167.43
TOTAL CIVIL DEFENSE				\$334.51
1006170 - MARINE SAFETY				
US BANK	ANNUAL PAPER SUBSCRIPTION	03/09/2023	103448	\$494.00
US BANK	TOW SERVICES	03/23/2023	103518	\$90.00
US BANK	WINDOW CLEANER	03/23/2023	103518	\$14.70
US BANK	REPLACEMENT TIRE ON 2481	03/23/2023	103518	\$223.09
US BANK	AGENCY CERTIFICATION PROGRAM	03/23/2023	103518	\$500.00
US BANK	MS PEST CONTROL SUPPLIES	03/09/2023	103448	\$9.29
US BANK	MS CLEANING SUPPLIES	03/09/2023	103448	\$24.79
US BANK	MS CLEANING SUPPLIES	03/09/2023	103448	\$45.72
US BANK	MEDICAL SUPPLIES	03/09/2023	103448	\$40.53
US BANK	PWC TRAILER REPAIR	03/09/2023	103448	\$122.98
US BANK	PWC SEAT REPAIR	03/09/2023	103448	\$91.80
US BANK	WEATHER PROOFING-DMS TOWER	03/09/2023	103448	\$15.51
US BANK	AIR FILTER 2481 NISSAN	03/09/2023	103448	\$24.77
US BANK	CPR CERT	03/09/2023	103448	\$46.00
US BANK	HQ MINOR TOOLS/SUPPLIES	03/09/2023	103448	\$49.41
US BANK	BOARD STRAPS FOR TRUCK	03/09/2023	103448	\$52.68
US BANK	CPR CER	03/09/2023	103448	\$24.00
US BANK	EMT CONTINUING EDUCATION	03/09/2023	103448	\$237.09
ACE UNIFORMS & ACCESSORIES	SHIRTS	03/23/2023	103513	\$196.11
VERIZON WIRELESS-SD	962428212 - 12/29/22-01/28/23	03/23/2023	103545	\$152.04

SUNBELT RENTALS, INC.	FORKLIFT RENTAL	03/16/2023	103508	\$1,021.82
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$577.17
BRZ PERFORMANCE, LLC	MS-POLOS	03/23/2023	103516	\$2,482.50
TOTAL MARINE SAFETY				\$6,536.00
1006510 - ENGINEERING				
US BANK	APWA PW EVENT	03/23/2023	103518	\$349.00
US BANK	APWA LUNCHEON	03/23/2023	103518	\$45.00
APPLIED CONCEPTS, INC	TRAFFIC DATA COLLECTOR	03/16/2023	103505	\$231.84
UT SAN DIEGO - NRTH COUNTY	REQUEST BID-2023-05	03/09/2023	103479	\$342.46
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$139.50
US ARMY CORP OF ENGINEERS	CWIS#013609,P2#104716,Advance Acct 1441	03/09/2023	9000721	\$313,556.00
MCMaster-CARR SUPPLY COMPANY	PVC PIPE	03/09/2023	103462	\$52.22
TOTAL ENGINEERING				\$314,716.02
1006520 - ENVIRONMENTAL SERVICES				
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$14.98
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$14.99
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/16/2023	103499	\$14.98
AFFORDABLE PIPELINE SERVICES INC	H-SEWER-STORMDRAIN MAINT	03/09/2023	103444	\$1,700.00
AFFORDABLE PIPELINE SERVICES INC	O-SEWER-STORMDRAIN MAINT	03/09/2023	103444	\$1,340.00
SANTA FE IRRIGATION DISTRICT	005506-014-02/02/23-03/01/23	03/16/2023	103504	\$243.63
MIKHAIL OGAWA ENGINEERING	JAN 23-MANAGING THE STORMWATER PROGRAM	03/09/2023	103463	\$268.60
MIKHAIL OGAWA ENGINEERING	JAN 23-MANAGING THE STORMWATER PROGRAM	03/09/2023	103463	\$118.50
MIKHAIL OGAWA ENGINEERING	JAN 23-MANAGING THE STORMWATER PROGRAM	03/09/2023	103463	\$6,022.53
MIKHAIL OGAWA ENGINEERING	FEB 23-STORMWATER PROGRAM	03/16/2023	103498	\$5,571.80
MIKHAIL OGAWA ENGINEERING	FEB 23-STORMWATER PROGRAM	03/16/2023	103498	\$276.50
SAN ELIJO JPA	Q4-OPERATIONS & MAINTENANCE FEE	03/09/2023	103472	\$2,801.00
COUNTY OF SAN DIEGO_3710	FY22/23 SDRSW CO-PERMITTEE	03/09/2023	103453	\$4,874.00
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$405.80
CLEAN EARTH ENVIROMENTAL SOLUTIONS	JAN 23- HHW MONTHLY COLLECTION	03/09/2023	103451	\$1,279.60
SUMMIT EROSION CONTROL	SANDBAGS/LABOR/TRUCK/LABOR	03/16/2023	103507	\$357.84
TOTAL ENVIRONMENTAL SERVICES				\$25,304.75
1006530 - STREET MAINTENANCE				
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$25.69
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$25.68
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/16/2023	103499	\$25.69
DIXIELINE LUMBER CO INC	HARD HAT	03/16/2023	103492	\$24.23
SANTA FE IRRIGATION DISTRICT	011695-000-02/02/23-03/01/23	03/16/2023	103504	\$124.37
LEE'S LOCK & SAFE INC	LOCKS/KEYS	03/09/2023	103461	\$244.38
US BANK	F250 TIRE REPLACEMENT	03/23/2023	103518	\$648.75
US BANK	TRAFFIC SAFETY TRAINING	03/23/2023	103518	\$104.00
US BANK	TRAFFIC SAFETY TRAINING	03/23/2023	103518	\$104.00
US BANK	2017 COLORADO TIRES REPMNT	03/23/2023	103518	\$394.78
US BANK	SAFETY MEETINGS OUTLINES	03/23/2023	103518	\$300.00
US BANK	MAINT SUPER ASSOC EVENT	03/23/2023	103518	\$105.00
US BANK	MAINT SUPER ASSOC EVENT	03/23/2023	103518	\$31.20
UNDERGROUND SVC ALERT OF SOCAL INC	MAR 23-DIG ALERT	03/16/2023	103509	\$67.75
NISSHO OF CALIFORNIA	JAN 23- LANDSCAPE MAINTENANCE SERVICES	03/09/2023	103465	\$1,827.01
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$367.77
ARTURO ZERMENO	MILEAGE	03/09/2023	103446	\$102.18
TOTAL STREET MAINTENANCE				\$4,522.48
1006540 - TRAFFIC SAFETY				

REDFLEX TRAFFIC SYSTEMS, INC	FEB 23- RED LIGHT CAMERA ENFORCEM	03/09/2023	9000725	\$7,694.85
TRAFFIC SUPPLY, INC	SIGNS	03/09/2023	103478	\$275.04
TRAFFIC SUPPLY, INC	SIGNS	03/09/2023	103478	\$217.43
AT&T CALNET 3	9391012279-01/24/23-02/23/23	03/16/2023	103486	\$59.60
ALL CITY MANAGEMENT SERVICES, INC	CROSSING GUARDS-01/22/23-02/04/23	03/09/2023	9000722	\$11,036.54
ALL CITY MANAGEMENT SERVICES, INC	CROSSING GUARDS-02/05/23-02/18/23	03/09/2023	9000722	\$11,022.68
ALL CITY MANAGEMENT SERVICES, INC	02/19/23-03/04/23-CROSSING GUARDS	03/23/2023	9000735	\$5,546.00

TOTAL TRAFFIC SAFETY**\$35,852.14****1006550 - STREET CLEANING**

SANTA FE IRRIGATION DISTRICT	011695-000-02/02/23-03/01/23	03/16/2023	103504	\$73.04
PRIDE INDUSTRIES	FEB 23-TRASH ABATEMENT SERVICES	03/16/2023	103501	\$1,773.75

TOTAL STREET CLEANING**\$1,846.79****1006560 - PARK MAINTENANCE**

MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$18.19
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$18.19
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/16/2023	103499	\$18.19
RANCHO SANTA FE SECURITY SYS INC	MAR 23- ALARM MONITORIN	03/09/2023	103469	\$331.20
RANCHO SANTA FE SECURITY SYS INC	MAR 23- SECURITY PTRL, RESTROOM LKUP	03/09/2023	103469	\$661.10
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005506-018	03/16/2023	103504	\$229.89
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005506-019	03/16/2023	103504	\$652.13
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-012	03/16/2023	103504	\$999.61
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-013	03/16/2023	103504	\$90.68
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005979-001	03/16/2023	103504	\$107.02
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-012448-000	03/16/2023	103504	\$135.32
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-012448-001	03/16/2023	103504	\$88.26
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-006	03/16/2023	103504	\$121.31
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-007	03/16/2023	103504	\$90.68
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-009	03/16/2023	103504	\$76.94
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-010	03/16/2023	103504	\$170.52
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-011	03/16/2023	103504	\$251.11
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-000	03/16/2023	103504	\$127.26
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-001	03/16/2023	103504	\$76.94
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-002	03/16/2023	103504	\$320.97
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-004	03/16/2023	103504	\$76.94
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-005	03/16/2023	103504	\$133.89
GRAINGER INC	TOILET SERVOMOTORS	03/09/2023	103456	\$286.83
US BANK	RAIN GUARD CEDROS ART PED	03/23/2023	103518	\$299.52
US BANK	CRT LIGHT FUSES	03/23/2023	103518	\$12.92
US BANK	WINDOW TINTING	03/23/2023	103518	\$77.56
US BANK	TIDE PARK PLEXI GLASS	03/23/2023	103518	\$215.50
US BANK	CRT LIGHTING	03/23/2023	103518	\$18.92
US BANK	GAS CAP	03/23/2023	103518	\$8.61
US BANK	TRASH BAGS	03/23/2023	103518	\$161.43
US BANK	SMALL TOOLS	03/09/2023	103448	\$35.78
US BANK	BASKET BALL NETS (5)	03/09/2023	103448	\$37.66
AA FARNSWORTH'S BACKFLOW SERVICES	ANNUAL BACKFLOW TEST	03/16/2023	103482	\$458.55
NISSHO OF CALIFORNIA	JAN 23- LANDSCAPE MAINTENANCE SERVICES	03/09/2023	103465	\$16,363.42
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$76.09
WESTERN MOWER & ENGINE	CHAINSAW	03/09/2023	103480	\$373.55

TOTAL PARK MAINTENANCE**\$23,222.68****1006570 - PUBLIC FACILITIES**

SEASIDE HEATING & AIR CONDITIONING	FEB 23-HVAC SERVICES AT CITY FACILITIES	03/09/2023	103473	\$990.00
DIXIELINE LUMBER CO INC	BATTERIES/CLOSET KIT	03/09/2023	103454	\$55.47
DIXIELINE LUMBER CO INC	FUSE	03/09/2023	103454	\$3.67
DIXIELINE LUMBER CO INC	EPOXY TIE SET/RAT BAIT/ MOUSE TRAP/PAINT ROLLERS	03/09/2023	103454	\$146.55
DIXIELINE LUMBER CO INC	ORGANIZER	03/09/2023	103454	\$40.93
DIXIELINE LUMBER CO INC	ACRYLIC PANEL	03/09/2023	103454	\$16.47
DIXIELINE LUMBER CO INC	CLOSET KIT	03/09/2023	103454	\$30.16
DIXIELINE LUMBER CO INC	HALOGEN HEATER	03/09/2023	103454	\$75.41
DIXIELINE LUMBER CO INC	GLOVES	03/09/2023	103454	\$29.07
DIXIELINE LUMBER CO INC	ANT SPRAY	03/16/2023	103492	\$13.99
DIXIELINE LUMBER CO INC	PUTTY KNIFE/ADHESIVE	03/16/2023	103492	\$20.34
DIXIELINE LUMBER CO INC	PLASTIC SHEETING	03/16/2023	103492	\$33.93
DIXIELINE LUMBER CO INC	TUBE COUPLING/COPPER PIPE/DRAIN BASIN	03/16/2023	103492	\$36.42
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-008	03/16/2023	103504	\$490.63
US BANK	BATHROOM VENT FAN MOTOR	03/23/2023	103518	\$24.77
US BANK	BATTERIES	03/23/2023	103518	\$32.30
US BANK	RECHARGEABLE PROF FLASHLIGHT	03/23/2023	103518	\$132.04
US BANK	PW OFFICE SUPPLIES	03/09/2023	103448	\$18.73
US BANK	PW OFFICE SUPPLIES	03/09/2023	103448	\$22.78
US BANK	AIR FRESHENERS	03/09/2023	103448	\$18.31
US BANK	TIRE TREAD GAUGE	03/09/2023	103448	\$15.07
SAN ELIJO JPA	Q4-OPERATIONS & MAINTENANCE FEE	03/09/2023	103472	\$3,720.00
SAN ELIJO JPA	FY 22-CLOSE OUT	03/09/2023	103472	(\$5,625.00)
NISSHO OF CALIFORNIA	JAN 23- LANDSCAPE MAINTENANCE SERVICES	03/09/2023	103465	\$2,811.93
24 HOUR ELEVATOR, INC	MAR 23-ELEVATOR PREVENTATIVE MAINT	03/16/2023	103481	\$185.22
CINTAS CORPORATION NO. 2	FIRSTAID SUPPLIES-CH	03/16/2023	103489	\$246.73
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-FS	03/16/2023	103496	\$38.00
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-FCCC	03/16/2023	103496	\$124.00
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-PW	03/16/2023	103496	\$35.00
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-MS	03/16/2023	103496	\$64.00
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-FC	03/16/2023	103496	\$39.00
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-CH	03/16/2023	103496	\$52.00
HABITAT PROTECTION, INC	FEB 23-PEST/RODENT CONTROL-LC	03/16/2023	103496	\$64.00
CALIFORNIA OFFICE CLEANING, INC	JAN 23-JANITORIAL/CUSTODIAL SVC	03/16/2023	103488	\$8,329.00
CALIFORNIA OFFICE CLEANING, INC	FEB 23-JANITORIAL/CUSTODIAL SVC	03/16/2023	103488	\$7,470.00
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$126.81
PRIDE INDUSTRIES	FEB 23-TRASH ABATEMENT SERVICES	03/16/2023	103501	\$1,773.75
TOTAL PUBLIC FACILITIES				\$21,701.48
1007100 - COMMUNITY SERVICES				
MUNICIPAL MANAGEMT ASSOC OF SC	MAR 23-24-MEMBERSHIP	03/23/2023	103534	\$30.00
TOTAL COMMUNITY SERVICES				\$30.00
1007110 - GF-RECREATION				
US BANK	TREE STORAGE CONTAINERS	03/09/2023	103448	\$439.36
US BANK	TREE STORAGE CONTAINERS	03/09/2023	103448	\$73.23
US BANK	COMM CNTR TRASH CANS	03/09/2023	103448	\$39.02
US BANK	SANTA SUIT CLEANING	03/09/2023	103448	\$117.72
US BANK	HEATERS-LCCC	03/23/2023	103518	\$96.94
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$81.74
COMMERCIAL COMPUTER SERVICES, INC.	SPEAKER SYSTEM-REC	03/23/2023	103519	\$2,017.47
TOTAL GF-RECREATION				\$2,865.48

1205460 - SELF INSURANCE RETENTION

US BANK	POSTAGE	03/23/2023	103518	\$8.69
SECTRAN SECURITY INC	MAR 23-ARMORED TRUCK SERVICES	03/23/2023	103542	\$170.71
GEORGE HILLS COMPANY, INC.	FEB 23-2202.RIECKEN	03/23/2023	9000737	\$61.60
GEORGE HILLS COMPANY, INC.	FEB 23-2302.BARRERA	03/23/2023	9000737	\$130.90
GEORGE HILLS COMPANY, INC.	FEB 23-2301.BARRERA	03/23/2023	9000737	\$146.30
GEORGE HILLS COMPANY, INC.	FEB 23-2303.GIST	03/23/2023	9000737	\$231.00
GEORGE HILLS COMPANY, INC.	FEB 23-2304.WONG	03/23/2023	9000737	\$277.20
BURKE WILLIAMS & SORENSEN	96-0040.003-JAN 23-DEP427CNYN	03/16/2023	103487	\$4,966.40
BURKE WILLIAMS & SORENSEN	96-0040.001-JAN 23-CLM.2203	03/16/2023	103487	\$27.40

TOTAL SELF INSURANCE RETENTION**\$6,020.20****1355450 - ASSET REPLACEMENT-INFO SYS**

US BANK	ULTRA WIDE MONITOR	03/09/2023	103448	\$619.18
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TOTAL ASSET REPLACEMENT-INFO SYS**\$619.18****1356170 - ASSET REPLACEMENT-MARN SFTY**

US BANK	PWC SLED ACCESSORIES	03/09/2023	103448	\$516.66
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TOTAL ASSET REPLACEMENT-MARN SFTY**\$516.66****2037510 - HIGHWAY 101 LANDSC #33**

SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005979-000	03/16/2023	103504	\$184.21
NISSHO OF CALIFORNIA	JAN 23- LANDSCAPE MAINTENANCE SERVICES	03/09/2023	103465	\$2,323.20

TOTAL HIGHWAY 101 LANDSC #33**\$2,507.41****2047520 - MID 9C SANTA FE HILLS**

SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-014	03/16/2023	103504	\$193.35
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-015	03/16/2023	103504	\$223.95
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-016	03/16/2023	103504	\$193.35
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-017	03/16/2023	103504	\$61.56
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-024	03/16/2023	103504	\$201.47
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-025	03/16/2023	103504	\$205.53
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-026	03/16/2023	103504	\$193.35
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-018	03/16/2023	103504	\$61.56
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-019	03/16/2023	103504	\$61.56
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-020	03/16/2023	103504	\$193.35
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-021	03/16/2023	103504	\$197.41
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-022	03/16/2023	103504	\$193.35
SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005979-023	03/16/2023	103504	\$193.35
SANTA FE HILLS HOA	FEB 23-FY23 SANTA FE HILLS HOA	03/09/2023	9000726	\$28,750.00

TOTAL MID 9C SANTA FE HILLS**\$30,923.14****2057530 - MID 9E ISLA VERDE**

ISLA VERDE HOA	FEB 23-FY23 ISLE VERDE HOA	03/09/2023	103459	\$433.33
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TOTAL MID 9E ISLA VERDE**\$433.33****2077550 - MID 9H SAN ELIJO #2**

SAN ELIJO HILLS II HOA	FEB 23-FY23 HOA PAYMENT	03/09/2023	103471	\$6,550.00
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TOTAL MID 9H SAN ELIJO #2**\$6,550.00****2087580 - COASTAL RAIL TRAIL MAINT**

SANTA FE IRRIGATION DISTRICT	02/02/23-03/01/23-005506-020	03/16/2023	103504	\$399.08
SANTA FE IRRIGATION DISTRICT	01/03/23-03/01/23-005506-003	03/16/2023	103504	\$121.31
NISSHO OF CALIFORNIA	JAN 23- LANDSCAPE MAINTENANCE SERVICES	03/09/2023	103465	\$4,973.58

TOTAL COASTAL RAIL TRAIL MAINT**\$5,493.97****2135550 - DEVELOPER PASS-THRU- PLANNING**

HARRIS & ASSOC. INC.	JAN 23-BIOLOGY REVIEW	03/09/2023	103457	\$2,989.00
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HELIX ENVIRONMENTAL	JAN 23-DRP22-026 THIRD PARTY BIOLOGY	03/09/2023	103458	\$2,047.50
TOTAL DEVELOPER PASS-THRU- PLANNING				\$5,036.50
2196110 - COPS PROGRAM				
SAN DIEGO COUNTY SHERIFF'S DEPT.	JAN 23-Sheriff Law Enforcement	03/09/2023	103470	\$8,092.95
TOTAL COPS PROGRAM				\$8,092.95
2286510 - TRANSNET EXTENSION-CIP				
CHEN RYAN ASSOCIATES	JAN 23-9538 SAFE RT SCH	03/09/2023	103450	\$9,930.09
TOTAL TRANSNET EXTENSION-CIP				\$9,930.09
2406510 - COMM DEV BLOCK GR (CDBG)-CIP				
UT SAN DIEGO - NRTH COUNTY	9355.23-INVITING BIDS-2023-02	03/09/2023	103479	\$308.14
TOTAL COMM DEV BLOCK GR (CDBG)-CIP				\$308.14
2466510 - PER CAPITA GRANT FUND-CIP				
CHEN RYAN ASSOCIATES	JAN 23-9538 SAFE RT SCH	03/09/2023	103450	\$29,790.28
TOTAL PER CAPITA GRANT FUND-CIP				\$29,790.28
2505570 - COASTAL BUSINESS/VISITORS				
SOLANA BEACH CHAMBER OF COMMERCE	Q4-CHAMBER/VISITORS CENTER	03/09/2023	103475	\$7,500.00
ACTION BOUNCE COMPANY	FUN JUMP FOR EGG HUNT-04/08/23	03/16/2023	103483	\$485.00
BELLY UP TAVERN LLC	FY 23-CONCERT AT THE COVE	03/09/2023	103447	\$750.00
LINDA M SINNACHCHARIGE	FACE PAINT EGG HUNT-04/08/23	03/16/2023	103497	\$350.00
TOTAL COASTAL BUSINESS/VISITORS				\$9,085.00
2556180 - CAMP PROGRAMS				
US BANK	CPR TRAINING MANNEQUINS	03/23/2023	103518	\$460.09
US BANK	CPR CERTIFICATIONS - PW	03/23/2023	103518	\$144.00
TOTAL CAMP PROGRAMS				\$604.09
2706120 - PUBLIC SAFETY- FIRE				
VERIZON WIRELESS-SD	962428212 - 12/29/22-01/28/23	03/23/2023	103545	\$114.03
ARNOLD A LEWIN	CY 22-SB CERT PROGRAM	03/23/2023	103528	\$1,505.00
LIFE-ASSIST, INC	CSA17-OPIOID OVERDOSE KIT	03/23/2023	103529	\$101.18
NATIONWIDE MEDICAL SURGICAL INC	CSA17-LEVALBUTEROL	03/23/2023	103535	\$66.22
AMAZON.COM SALES, INC	CSA.17-KENDICK TRACTION DEVICE	03/23/2023	103515	\$317.82
TOTAL PUBLIC SAFETY- FIRE				\$2,104.25
2706170 - PUBLIC SAFETY- MARINE SAFETY				
US BANK	GU-CSA.17 MEDICAL SUPPLIES	03/09/2023	103448	\$17.23
TOTAL PUBLIC SAFETY- MARINE SAFETY				\$17.23
4506190 - SAND REPLNSHMNT/RETENTION				
WARWICK GROUP CONSULTANTS, LLC	FEB 23-CONSULTANT SERVICES	03/23/2023	103546	\$5,833.00
WARWICK GROUP CONSULTANTS, LLC	FEB 23-CONSULTANT SERVICES	03/23/2023	103546	\$5,833.00
SUMMIT ENVIROMENTAL GROUP, INC.	FEB 23-9926-PROF SVC	03/23/2023	9000739	\$7,245.00
TOTAL SAND REPLNSHMNT/RETENTION				\$18,911.00
4506510 - SANDREPLNSHMNT/RETNTN-CIP				
DOMUSSTUDIO ARCHITECTURE	FEB 23-9449 MS CENTR	03/16/2023	103493	\$4,560.00
US ARMY CORP OF ENGINEERS	CWIS#013609,P2#104716,Advance Acct 1441	03/09/2023	9000721	\$746,150.00
US ARMY CORP OF ENGINEERS	CWIS#013609,P2#104716,Advance Acct 1441	03/09/2023	9000721	\$300,000.00
TOTAL SANDREPLNSHMNT/RETNTN-CIP				\$1,050,710.00
459 - MISC. CAPITAL PROJECTS				
NU-LINE TECHNOLOGIES, LLC	DEC 22-SEWER/STORM DRAIN REHAB	03/09/2023	103466	\$14,340.95
NU-LINE TECHNOLOGIES, LLC	DEC 22-SEWER/STORM DRAIN REHAB	03/09/2023	103466	\$14,340.95
TOTAL MISC. CAPITAL PROJECTS				\$28,681.90
4596510 - MISC.CAPITALPROJECTS-ENG				

UT SAN DIEGO - NRTH COUNTY	NOTICE-BID NO:2023-01	03/16/2023	103510	\$384.20
TOTAL MISC.CAPITALPROJECTS-ENG				\$384.20
4596520 - MISC CAPITAL PROJ - ENVIR				
UNIVERSITY OF SAN DIEGO	NOV 22-CLIMATE ACTION PLAN UPDATE	03/09/2023	9000728	\$3,210.33
UNIVERSITY OF SAN DIEGO	DEC 22-CLIMATE ACTION PLAN UPDATE	03/09/2023	9000728	\$6,247.15
TOTAL MISC CAPITAL PROJ - ENVIR				\$9,457.48
5097700 - SANITATION				
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$10.70
MISSION LINEN & UNIFORM INC	LAUNDRY-PW	03/09/2023	103464	\$10.70
MISSION LINEN & UNIFORM INC	UNIFORM SERVICES FOR PUBLIC WORKS	03/16/2023	103499	\$10.70
AFFORDABLE PIPELINE SERVICES INC	J-SEWER CLEANING	03/09/2023	103444	\$675.00
AFFORDABLE PIPELINE SERVICES INC	E-SEWER CLEANING-10,127	03/09/2023	103444	\$6,380.01
AFFORDABLE PIPELINE SERVICES INC	C-SEWER CLEANING-26,926	03/16/2023	103484	\$16,963.38
SANTA FE IRRIGATION DISTRICT	005506-014-02/02/23-03/01/23	03/16/2023	103504	\$730.89
US BANK	RIVER ROCK	03/09/2023	103448	\$347.73
SAN ELIJO JPA	Q4-OPERATIONS & MAINTENANCE FEE	03/09/2023	103472	\$464,319.00
SAN ELIJO JPA	Q4-OPERATIONS & MAINTENANCE FEE	03/09/2023	103472	\$296,863.00
SAN ELIJO JPA	FY 22-CLOSE OUT	03/09/2023	103472	(\$19,086.00)
AT&T CALNET 3	9391012277-01/24/23-02/23/23	03/16/2023	103486	\$16.55
WEX FLEET UNIVERSAL	02/08/23-03/07/23-AUTO FUEL	03/16/2023	103511	\$152.18
NU-LINE TECHNOLOGIES, LLC	DEC 22-SEWER/STORM DRAIN REHAB	03/09/2023	103466	\$24,479.66
NU-LINE TECHNOLOGIES, LLC	DEC 22-SEWER/STORM DRAIN REHAB	03/09/2023	103466	\$24,479.66
TOTAL SANITATION				\$816,353.16
REPORT TOTAL:				\$3,152,690.81



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Finance
SUBJECT: Report on Changes Made to the General Fund Adopted Budget for Fiscal Year 2022-23

BACKGROUND:

Staff provides a report at each Council meeting that lists changes made to the current Fiscal Year (FY) General Fund Adopted Budget. The information provided in this Staff Report lists the changes made through March 22, 2023.

DISCUSSION:

The following table reports the revenue, expenditures, and transfers for 1) the Adopted General Fund Budget approved by Council on June 23, 2021 (Resolution 2021-092) and 2) any resolutions passed by Council that amended the Adopted General Fund Budget.

GENERAL FUND - ADOPTED BUDGET PLUS CHANGES As of March 22, 2023
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General Fund - Operations

Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
06/23/2021	Reso 2021-092	Adopted Budget	22,148,385	(20,867,260)	(482,500)	\$ 798,625
07/14/2021	Reso 2021-097	MS MOU		(11,570)		787,055
04/13/2022	Reso 2022-034	Keyser Marston		(15,000)		772,055
06/08/2022	Reso 2022-041	On-Call Repair Svcs		(30,000)		742,055
06/08/2022	Reso 2022-065	Janitorial		(20,000)		722,055
06/22/2022	Reso 2022-082	FY23 Budget Update	1,965,100	(615,680)	(1,423,000)	648,475
08/24/2022	Reso 2022-106	Lew Edwards Group		(36,000)		612,475
09/14/2022	Reso 2022-102	SBFA MOU		(182,000)		430,475
12/14/2022	Reso 2022-138	Pacific Ave Utility Underground - Pase 2			(42,000)	388,475
02/22/2023	Reso 2023-017	Yunex Traffic		(45,000)		343,475
01/25/2023	Reso 2023-007	CIP - Roof Replacement FCCC and MS Cntr		(120,000)		223,475
01/25/2023	Reso 2023-014	Emanuel Jones and Associates		(150)		223,325
01/25/2023	Reso 2023-015	License Plate Recognition Cameras		(46,064)		177,261
02/22/2023	Reso 2023-022	Nissho Landscape Maint. Services		(25,000)		152,261
03/08/2023	Reso 2023-027	HDL Audit Services		(25,000)		127,261
03/08/2023	Reso 2023-028	USACE Construction Funding		(313,556)		(186,295)
03/22/2023	Reso 2023-023	FY23 Mid-Year Update	400,000	68,117		281,822

COUNCIL ACTION:

General Fund - Measure S						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net Surplus
03/22/2023	Reso 2023-023	FY23 Mid-Year Update	750,000			750,000

General Fund Unreserved Balance						
Date	Action	Description	Revenues	Expenditures	Transfers from GF	Net
12/09/2022	Reso 2022-123	FY22 Surplus - PARS Contribution		(720,000)		(720,000)
12/09/2022	Reso 2022-123	FY22 Surplus - Pavement Mgmt Prgm		(150,000)		(870,000)

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive the report
- Do not accept the report

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council receive the report listing changes made to the FY 2022-2023 General Fund Adopted Budget.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: City Manager's
SUBJECT: **City Council Consideration of Resolution 2023-045 Authorizing the City Manager to Execute a Three-Year Agreement for Animal Control Services with the San Diego Humane Society**

BACKGROUND:

On May 26, 2017, the City received a letter from the County of San Diego stating its intent to terminate animal control services effective June 30, 2018, for all local cities excluding unincorporated areas. Subsequently, after City Staff met with other affected jurisdictions, on May 9, 2018, Council adopted Resolution 2018-049 authorizing the City Manager to execute a three-year agreement for animal control services with the San Diego Humane Society (SDHS). The term of that agreement was for a period of thirty-six (36) months, commencing on July 1, 2018 and terminating on June 30, 2021, and allowed for two one-year extensions. Both one-year extensions have been agreed upon and the current agreement will expire on June 30, 2023.

The term of the proposed agreement (Agreement) would also be for a period of thirty-six (36) months, commencing on July 1, 2023 and terminating on June 30, 2026. As per the prior agreement, SDHS and the City may extend the Agreement for two (2) additional one-year periods. The contract's costs would be determined annually with the Fiscal Year (FY) 2023/24 set at \$91,236. For future years, the cost of the contract will be subject to City Manager approval and calculated using a formula that will incorporate the total calls for services, animal intake, and current population of new and current contract cities.

This item is before City Council to consider approving Resolution 2023-045 (Attachment 1) authorizing the City Manager to execute an Agreement (Attachment 2) with SDHS for animal control services.

DISCUSSION:

On May 26, 2017, the County of San Diego submitted a letter to the City terminating the agreement for animal control services effective June 30, 2018. The SDHS was the only local organization that was both interested in and capable of providing the necessary services that the County was previously providing. SDHS was also the most competitive

service provider for animal control services. As noted above, Council approved an agreement with SDHS for Animal Control Services on May 9, 2018.

During the previous contract period (FY2018 through FY2023), SDHS personnel have demonstrated their competence and professional qualifications necessary for the satisfactory performance of the desired animal control services.

SDHS provides animal sheltering and animal field services for animals seized or impounded by Animal Field Services or delivered by members of the general public within the City. Under the terms of the proposed Agreement, the City will continue to benefit from SDHS's Project Wildlife and their range of programs and services aimed at retaining zero euthanasia of all healthy and treatable animals.

An important additional service that SDHS provides is monitoring and enforcing the City's dogs on the beach regulations. This service was not previously provided by the County. This is a significant additional service that has both assisted the lifeguards with focusing on their main priority of monitoring the beach and ocean and protecting the safety of beach-goers and will help to ensure that dog owners comply with applicable regulations.

SDHS has provided exceptional service during the duration of the original contract. SDHS personnel have proved to be reliable, responsive and work well with City Staff. Staff is recommending the approval of a new Professional Service Agreement with the San Diego Humane Society for animal control services.

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA.

FISCAL IMPACT:

The proposed FY 2023/24 annual cost of for the proposed Agreement with SDHS is \$91,236. This proposed cost is the exact same as it was for FY 2022/23. The annual net cost of the Agreement is determined using a formula based on the historical data of animal intake, calls for service, population, and number of new and current contract cities. Therefore, the cost for future years will be set at the beginning of the fiscal year (costs will be submitted to the City no later than April 1).

The cost of the Agreement will be appropriated from the FY 2023/24 Animal Control operating budget. The term of the agreement would be for a period of three (3) years, commencing on July 1, 2023 and terminating on June 30, 2026. SDHS and the City may extend the agreement for two (2) additional one-year periods.

WORK PLAN:

N/A

OPTIONS:


- Approve Staff recommendation
- Approve Staff recommendation with modifications
- Deny Staff recommendation

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider adoption of Resolution 2023-045 authorizing the City Manager to execute an Agreement with San Diego Humane Society for the delivery of Animal Control Services for the City of Solana Beach.

CITY MANAGER RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-045
2. Animal Service Agreement

RESOLUTION 2023-045

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, AUTHORIZING A PROFESSIONAL SERVICE AGREEMENT WITH THE SAN DIEGO HUMANE SOCIETY FOR ANIMAL CONTROL SERVICES

WHEREAS, the City of Solana Beach (City) currently contracts with the San Diego Humane Society for animal control services; and

WHEREAS, the existing Professional Services Agreement with the San Diego Humane Society is set to expire on June 30, 2023; and

WHEREAS, the San Diego Humane Society (SDHS) has proven to be an effective service provider for animal control services; and

WHEREAS, the City desires to continue to contract with SDHS for animal control services; and

WHEREAS, the term of the agreement would be for a period of thirty-six (36) months, commencing on July 1, 2023 and terminating on June 30, 2026, with the option to extend the agreement for two (2) additional one-year periods; and

WHEREAS, the cost of the first year of services (FY 2023/34) is \$91,236 with each subsequent year's annual net costs adjusted and set at the beginning of each fiscal year based on the Compensation formula included in the approved agreement.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the City Manager execute a Professional Service Agreement with the San Diego Humane Society for animal control services.
3. That the City Council authorizes the City Manager to execute the agreement on behalf of the City for a period of thirty-six (36) months for an annual net amount set at the beginning of each fiscal year based on the Compensation formula in the agreement.

4. That the City Council authorizes the City Manager to approve two successive one-year extensions.

PASSED AND ADOPTED this 12th day of April, 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

FIRST AMENDED ANIMAL SERVICES AGREEMENT

This First Amended Animal Services Agreement ("Agreement") is entered into effective the __ day of ____, 2023 ("Effective Date") by and between the CITY OF SOLANA BEACH, a municipal corporation (the "CITY") and the SAN DIEGO HUMANE SOCIETY AND S.P.C.A., a California nonprofit corporation ("SDHS") (collectively, the "Parties"). This Agreement is made with reference to the following recitals.

RECITALS

A. On July 1, 2018 San Diego Humane Society began providing animal care and control services to the CITY and has done so continuously since that time.

B. It has been determined to be in the CITY' s best interest to retain specialized, professional services to provide animal control and sheltering services since the CITY does not provide such services.

C. The CITY desires to contract with SDHS as an independent contractor and SDHS desires to provide services to the CITY as an independent contractor.

D. SDHS personnel have demonstrated their competence and professional qualifications necessary for the satisfactory performance of the services designated herein by virtue of their experience, training, education and expertise.

E. The purpose of this Agreement is to ensure the proper, humane and efficient handling, ownership, treatment and disposition of dogs, cats and other domesticated animals, and to ensure the enforcement of laws, ordinances and regulations of the State of California and of the CITY concerning the regulation, licensing, impounding and disposition of dogs, cats and other domestic animals within the CITY.

NOW THEREFORE, in consideration of the covenants, conditions and terms set forth herein, the parties agree as follows:

1.0 SCOPE OF SERVICES. SDHS shall provide animal sheltering and animal field services required by and in accordance with the laws, regulations, ordinances and codes of the State of California, the County of San Diego, and the CITY as further specified by this Agreement. The Services to be performed by SDHS pursuant to the terms and conditions of this Agreement shall consist of the Services enumerated below. In addition to those Services identified below, SDHS may routinely provide the CITY with the additional "Community Engagement and Services" outlined in Exhibit A, attached hereto and incorporated by reference, without an additional cost. Exhibit A is subject to modification at SDHS's discretion based on resources and capacity.

1.1. Animal Sheltering. SDHS shall provide the CITY with animal shelter services consistent with public shelter functions to received and care for all dogs, cats and other domestic animals seized or impounded by Animal Field Services or delivered by members of the general

public, provide humane disposition of animals, euthanizing, if warranted, and disposing of euthanized animals and deceased animals brought in by CITY residents. More specifically, SDHS shall maintain animal shelters at 2905 San Luis Rey Road; 572 Airport Road, Oceanside, California; 3500 Burnet Drive, Escondido, California; 1373 N. Marshall Avenue, El Cajon, California; and 5480 and 5500 Gaines Street, San Diego, California (collectively, the "Shelter"), which shall be open for public service and operation during reasonable days and hours of operation similar to other such facilities within the County of San Diego ("County"), and which shall comply with the standards described by the laws of the State of California, and the ordinances of the County and the CITY. Such animal shelter services shall include:

a. The housing and care of stray domestic animals for the legal hold period according to the laws of the State of California, and the ordinances of the County and the CITY.

b. The housing and care for domestic animals under rabies quarantine for the legal hold period according to the laws of the State of California and the ordinances of the County and the CITY.

c. Housing and care for police and animal cruelty holds for a minimum of fourteen (14) days.

d. Providing lost and found opportunities for the general public for domestic animals brought to the Shelter.

1.2. Animal Sheltering Criteria. SDHS animal sheltering Services shall include:

a. Feed, care for, and the disposition of all animals coming into the possession of SDHS using safe and humane methods in accordance with the State of California laws and the ordinances of the County and the CITY.

b. Assume all expenses to maintain and operate the Shelter and properly care for the animals.

c. Manage the dog license program within the CITY to include:

i. Maintaining files including current and expired dog license and the owners who live within the CITY for the past three (3) years.

ii. Issuing or causing to be issued new and renewed licenses to dog license applicants within the CITY.

iii. Issuing or causing to be issued, when appropriate, Service Dog Licenses within the CITY.

iv. Issuing or causing to be issued, when appropriate, Dangerous Dog licenses within the CITY.

v. Conducting follow-up enforcement of licensing and rabies vaccinations within the CITY.

1.3. Animal Field Services. SDHS shall humanely and efficiently enforce all applicable animal field service laws, regulations, ordinances and codes of the CITY (and any County laws, regulations and ordinances as adopted by the CITY) pertaining to animal field services with respect to the scope of work set forth below. SDHS shall provide the CITY with the following animal field services in response to complaints generated by the public, law enforcement and the CITY:

- a. Investigation and enforcement of animal cruelty laws and related activities.
- b. Picking up and caring for injured domestic animals.
- c. Addressing dangerous domestic animal situations.
- d. Monitoring and responding to bites and enforcing rabies quarantine requirements.
- e. Investigation and enforcement of vicious or dangerous dog complaints and activities associated therewith.
- f. Patrolling and impounding stray dogs running at large.
- g. Patrolling, both by foot and in vehicle, and, if necessary, and enforcement of the City's dogs on beach regulations including leash requirements and areas in which dogs are prohibited.
- h. Picking up and caring for stray and abandoned domestic animals contained by citizens and found within the City limits.
- i. Picking up and rehabilitating or humanely euthanizing injured wildlife.
- j. Responding to and investigating barking dog complaints.

1.4. Animal Field Services Requirements. SDHS animal field service requirements include:

- a. SDHS shall perform the Services in accordance with all laws and regulations applicable to the CITY.
- b. SDHS shall provide daily the appropriate number of Humane Officer(s) (as

defined below) and an animal containment vehicle(s) and equipment for the performance of animal field services.

c. SDHS shall humanely and efficiently enforce all laws of the State of California, the County, and the CITY pertaining to animal field services that are within the scope of SDHS's obligations under this Agreement. In the event that new laws enacted after the Effective Date of this Agreement would require increased services by SDHS, the cost for such additional services shall be added to the projected costs for the year immediately following enactment and billed accordingly.

d. SDHS Humane Officers (as defined below) and duly trained license coordinators are authorized to issue criminal and/or administrative citations for violations of CITY animal field service laws, and to issue notices as provided by law. SDHS's Humane Officers (as defined below) shall prepare appropriate reports concerning violations, file such reports with the applicable authority when necessary, and stand ready and available to testify in a court or administrative hearing when called upon to do so concerning such violations.

e. SDHS shall be responsible for all expenses associated with the Services.

f. SDHS shall respond to calls for animal field services between the hours of 8:00 a.m. to 7:00 p.m. daily ("Field Service Hours"). Based on the priority of the call, SDHS will respond within the times included in Exhibit B attached hereto and incorporated herein by reference. Exhibit B is subject to reasonable change at SDHS's discretion and upon written notice to the CITY. SDHS may increase service levels and expand Field Service Hours based on service call volume and community need.

g. SDHS will respond to calls for service outside of Field Service Hours. After-hours duty officer(s) will provide emergency responses to Priority One calls during non-Field Service Hours. SDHS may increase service levels based on service call volume and community need. "Priority One" calls are defined as a prompt, essential emergency response for the following:

i. Any law enforcement agency requesting immediate emergency assistance.

ii. Animal bite where the domestic animal continues to pose an immediate threat, bite injury is to the head, or the bite injury can be considered severe.

iii. Any act of cruelty and/or neglect to animals that is in progress or which places an animal in imminent danger.

iv. Any domestic animal either known to be dangerous or vicious by previous determination in an administrative hearing or one that is perceived to be an immediate threat or menacing those individuals reporting the event.

v. Any live domestic animal, which is presenting an immediate hazard to humans, such as a live domestic animal in traffic lanes of a major thoroughfare or highway.

vi. Any domestic animal that is sick, injured and in immediate danger.

2.0 SDHS PERSONNEL. SDHS shall employ appropriate personnel and staff to assist and carry out its duties and obligations of this Agreement.

2.1. Humane Officers. SDHS shall have at all times during the term of this Agreement a reasonable number of Humane Officers qualified under California Corporations Code section 14502 and California Penal Code section 830.9 capable of performing and enforcing the provisions of the CITY ordinance related to domestic animals. They shall not carry firearms in the performance of their duties but may carry non-lethal weapons. Each Humane Officer shall complete within one (1) year of date of hire or internal transfer a course in training related to the exercise of his/her powers, which course shall meet the minimum standards prescribed by the Commission on Peace Officer Standards and Training and the State Humane Association of California.

2.2. Performance Standards. SDHS agents and employees shall treat the public with courtesy and respect at all times in performing all duties and obligations under this Agreement.

2.3. Compliance with Laws. SDHS shall comply with personnel policies and procedures that conform to federal and state laws with respect to hiring and firing practices.

3.0 OBLIGATIONS OF THE CITY. The CITY shall provide the following to assist SDHS in performing required animal control functions under this Agreement.

3.1. CITY will provide training on specific CITY processes and other municipal techniques that humane officers may be expected to carry out.

3.2. The CITY shall endeavor to work with SDHS in support of the licensing programs geared towards increased compliance, higher return owner rates, reduction in the number of animals needing housing care, and protecting residents against dangerous and/or vicious dogs and habitual offenders of animal laws.

3.3. The CITY shall endeavor to work with SDHS in support of educating the community about SDHS programs including but not limited to lost and found, adoption, intake diversion, and community support services.

4.0 REPORTS AND RECORDS.

4.1. Quarterly Reports. SDHS shall prepare quarterly reports to the CITY which shall provide the following information: (i) animal shelter operations (as it pertains to the Agreement), including the number of stray animals impounded and their disposition; (ii) all administrative or

criminal citations processed; and (iii) animal field service activities including the number and type of incidents or reports investigated.

4.2. Governmental Reports. Should the CITY be required to furnish information to any other government agency, SDHS agrees to timely provide information that the CITY may need to meet such request as long as the request is within the scope of this Agreement.

4.3. Annual Reports. By no later than sixty (60) days following the end of each fiscal year, SDHS shall provide an annual report to the CITY with the information required by Section 4.1 for the preceding year; and revenues generated for any Services provided under this Agreement.

4.4. Record Retention. All records and information required to be kept by SDHS pursuant to this Agreement shall be kept in accordance with applicable record retention schedules or three (3) years, whichever is longer.

4.5. Business and Financial Records; Inspection. SDHS shall maintain accurate financial books and business records consisting of all records related to SDHS's reporting requirements under this Agreement, budgeting and calculating compensation for the Services provided under this Agreement, SDHS's gross costs for providing the Services under this Agreement and the revenues generated from the Services provided pursuant to this Agreement ("Books and Records"). SDHS shall keep said Books and Records on a generally recognized accounting basis. With sufficient notice SDHS will provide requested records to the City Manager or his or her designee.

5.0 COMPLIANCE WITH LAWS. All work by SDHS shall be performed in accordance with applicable city, state and federal laws, statutes and regulations.

6.0 LICENSE, PERMITS. ETC. SDHS represents and declares to CITY that it has all licenses, permits, qualifications, and approvals of whatever nature that are legally required to practice its profession. SDHS represents and warrants to CITY that SDHS shall, at its sole cost and expense, keep in effect at all times during the term of this Agreement, any license, permit, or approval which is legally required for SDHS to practice its profession. SDHS shall obtain and maintain a CITY business license during the term of this Agreement, if required.

7.0 INDEPENDENT CONTRACTOR. At all times during the term of this Agreement, SDHS, any employees of SDHS and any subcontractors employed by SDHS shall be an independent contractor and shall not be an employee of the CITY. The CITY shall have the right to control SDHS only insofar as the results of SDHS's Services rendered pursuant to this Agreement; however, the CITY shall not have the right to control the means by which SDHS accomplishes its Services.

Neither SDHS nor SDHS's employees shall in any event be entitled to any benefits to which CITY employees are entitled, including, but not limited to, overtime, any retirement benefits, workers' compensation benefits, any injury leave or other leave benefits, SDHS being solely responsible for all such matters, as well as compliance with social security and income tax

withholding and all other regulations and laws governing such matters.

8.0 WORKERS' COMPENSATION. Pursuant to California Labor Code section 1861, SDHS hereby certifies that SDHS is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of the Labor Code, and SDHS will comply with such provisions, and certification of proof of compliance as a part of this Agreement.

9.0 NO CONFLICT OF INTEREST. SDHS shall not enter into any other contract which conflicts with its obligations under this Agreement. For the limited purpose of interpreting this section, SDHS shall be deemed a "city officer or employee," and this section shall be interpreted in accordance with the California Government Code section 1090.

10.0 OWNERSHIP OF DOCUMENTS.

10.1. Reports and documents prepared or provided by SDHS under this Agreement shall be the property of the CITY. The CITY agrees to hold SDHS free and harmless from any claim arising from any use, other than the purpose intended, of the reports and documents, prepared or provided by SDHS. SDHS may retain a copy of all materials produced under this Agreement for the purpose of documenting their participation in this Agreement.

10.2. Animal license information and data, including, but not limited to, animal owner identification and address, animal name, description, license type and expiration date, are the property of the CITY and must be presented to the CITY in any reasonable document and computer format requested in writing by the CITY. All such information must be provided to the CITY within thirty (30) days of the CITY's request.

11.0 COMPENSATION. SDHS shall receive the following compensation for the performance of the Services.

11.1. Payments by the CITY. The CITY shall make payments to SDHS as follows: For the first twelve (12) month term of this Agreement, "Year 1 Compensation" (July 1, 2023, through June 30, 2024), compensation shall be \$91,236, or \$7,603 per month for each month.

11.2. Formula to Calculate Payments by the CITY. For future years of the contract after Year 1 the formula in calculating payments by the CITY for services provided by SDHS shall be based on projected costs for service and:

a. SDHS will project the costs required to provide animal control, licensing and sheltering services to all the cities under contract with SDHS. SDHS will project costs based on actual historical expenses, adjusted for expected changes in the upcoming contract year. SDHS will track historical statistics by each city under contract with SDHS and will use those statistics to allocate the projected costs to the CITY. The nature of the statistics tracked by SDHS may include, but are not limited to, Animal Intake, Animal Days Sheltered by SDHS, vet provided services, licenses issued, and services provided by Humane Law Enforcement

Officers. SDHS will also factor in any additional services requested by the CITY that are unique to that CITY and requires additional costs to SDHS.

b. By March 31st of each year, SDHS will provide the CITY with a budget packet to include their compensation cost to SDHS. SDHS will provide to the CITY a breakdown of the total compensation figure by the types of expenses required in providing services to the CITY. SDHS will provide explanations for changes in compensation not related to changes in CPI. The budget packet will include a form, for the CITY to sign and return to SDHS, acknowledging the compensation amount for the upcoming year.

c. In order to minimize unexpected year over year fluctuations in compensation required by the CITY, SDHS is required to communicate to the CITY any annual projected increase that exceeds CPI by 3% by January 31st for the upcoming contract year starting on the following July 1st.

11.3. Other Revenue. SDHS shall be entitled to retain as compensation for the Services:

a. All reasonable user fees, service charges and proceeds collected by SDHS in connection with licensing, impounds, and redemption of domestic animals from the Shelter;

b. any fines received by SDHS or the CITY arising out of any administrative citations issued by Humane Officers; and

c. any other non-citation related revenue generated as a result of this Agreement. All user fees and service charges shall not exceed the reasonable cost of providing the service.

12.0 DISASTER RELIEF SERVICES. SDHS shall be designated the "Essential Support Function/Official Responder" with respect to any disaster to which the CITY is included within the disaster area designated by a governmental agency. SDHS may invoice the CITY for any costs and expenses, including staff overtime and equipment purchases and rentals, incurred by SDHS with respect to additional services provided by SDHS in connection with any disaster relief effort and which are eligible for reimbursement to Federal Emergency Management Agency ("FEMA") Disaster Assistance Policy 9523.19 or any successor disaster assistance policy promulgated by FEMA. The CITY shall promptly reimburse SDHS for such costs and expenses, provided the CITY has received reimbursements from FEMA. SDHS shall provide any available supporting documentation requested by the CITY for any funding or reimbursement request regarding the disaster that is made to any governmental agency. SDHS may also bill for disaster response such as deployment of the Specialized Disaster Response Emergency Team, large and small animal evacuation, and large and small animal sheltering if the CITY has requested assistance.

13.0 TERM AND TERMINATION.

13.1. Term. The term of this Agreement shall be for the period of thirty-six (36) months commencing on July 1, 2023, and terminating on June 30, 2026.

13.2. Mutually Agreed Extension. At least thirty (30) days before the expiration of the initial term of this Agreement, SDHS and CITY may extend this Agreement for two (2) one-year periods with any necessary revisions under the written consent of both Parties.

13.3. Administrative Extension. Upon the expiration of the term of this Agreement, the Parties retain the right to extend the Agreement for a period of 120 days on the same terms and conditions as currently then in effect in order to finalize a new Agreement.

13.4. Termination for Convenience. Either party shall have the right to terminate this Agreement, with or without cause, by providing the other party with 180 days prior written notice.

13.5. Termination for Cause. At any time during the term of this Agreement, in case of material breach of this Agreement by either party, the non-breaching party shall have the right to terminate this Agreement by giving the breaching party written notice of such breach and demanding that such breach be cured within sixty (60) days (or in the case of defaults in payment of monetary amounts due which are certain in amount and undisputed, ten (10) days) and, if such breach has not been cured at the end of such period(s), this Agreement shall terminate without the necessity of any party taking any further action. In the event a longer notice or cure period is required by applicable law, the cure period specified in this section or the effective date of termination shall conform to, but not exceed, such requirement.

13.6. Compensation Payable Upon Termination. In the event this Agreement is terminated pursuant to either Section 13.3 or 13.4, so long as SDHS has been providing the services specified herein, SDHS shall be entitled to receive the compensation and fees accrued through the effective date of termination.

14.0 INDEMNIFICATION. To the fullest extent permitted by law, SDHS shall indemnify, defend (with counsel acceptable to the CITY approval of which shall not be unreasonably withheld), and hold harmless the CITY, and its officers, officials, agents and employees from any and all claims, demands, costs or liability that arise out of, pertain to, or relate to any act or omission by SDHS in the performance of Services under this Agreement, and the negligence, recklessness, or willful misconduct of SDHS, its employees, agents, and subcontractors in the performance of Services under this Agreement. SDHS's duty to indemnify under this Section shall not include liability for damages for death or bodily injury to persons, injury to property, or other loss, damage or expense arising from the sole negligence or willful misconduct by the CITY or its elected officials, officers, agents, and employees. SDHS's indemnification obligations shall not be limited by the insurance provisions of this Agreement. The Parties expressly agree that any payment, attorneys' fees, costs or expense CITY incurs or makes to or on behalf of an injured employee under the CITY's self-administered workers' compensation is included as a loss, expense, or cost for the purposes of this Section, and that this section will survive the expiration

or early termination of this Agreement for a period of two (2) years or the conclusion of any legal proceeding, including appeal, arising out of or related to this Agreement, whichever is later.

15.0 INSURANCE. SDHS shall procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the work hereunder and the results of that work by the SDHS, their agents, representatives, employees, contractors, subcontractors or volunteers. Insurance shall be placed with insurers with a current **A.M. Best's** rating of no less than "A" and "VII" unless otherwise approved in writing by the CITY's Risk Manager.

15.1. SDHS's liabilities, including but not limited to SDHS's indemnity obligations, under Section 14 of this Agreement, shall not be deemed limited in any way to the insurance coverage required herein. Maintenance of specified insurance coverage is a material element of this Agreement.

15.2. Types and Amounts Required. SDHS shall maintain, at minimum, the following insurance coverages for the duration of this Agreement. If SDHS maintains broader coverage and/or higher limits than the minimums shown below, the CITY shall be entitled to the broader coverage and/or the higher limits maintained by SDHS. Any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the CITY.

a. *Excess/Umbrella Liability Policy*. SDHS shall maintain an Excess/Umbrella Liability Policy with an aggregate limit of not less than Ten Million Dollars (\$10,000,000). The Excess/Umbrella Liability Policy shall meet all of the insurance requirements for the Commercial General Liability policy, including, but not limited to, the additional insured, contractual liability, "insured contract" definition, occurrence definition, primary and noncontributory, indemnity, and defense requirements. No insurance policies maintained by the Additional Insureds, whether primary or excess, and which also apply to a loss covered hereunder, shall be called upon to contribute to a loss until SDHS's primary and excess liability policies are exhausted.

b. *Commercial General Liability ("CGL")*. SDHS shall maintain CGL Insurance written on an ISO Occurrence form or equivalent providing coverage at least as broad which shall cover liability arising from any and all personal injury or property damage in the amount of \$2,000,000 per occurrence and subject to an annual aggregate of \$4,000,000. There shall be no endorsement or modification of the CGL limiting the scope of coverage for either insured vs. insured claims or contractual liability. All defense costs shall be outside the limits of the policy. An Umbrella Liability policy or Excess Liability policy may be used in combination with a CGL policy to meet the required limits of insurance in this section, provided that the required endorsements in section 15.4 are added to such policy. If SDHS maintains any insurance policy with higher limits than the minimums shown in this section above, including an Umbrella Liability policy or an Excess Liability policy, the CITY requires and shall be entitled to coverage for any higher limits maintained by SDHS.

c. *Commercial Automobile Liability.* SDHS shall maintain Commercial Automobile Liability Insurance for all of the SDHS's automobiles including owned, hired and non-owned automobiles, written on an ISO form CA 00 01 12 90 or a later version of this form or an equivalent form providing coverage at least as broad for bodily injury and property damage for a combined single limit of \$1,000,000 per occurrence. Insurance certificate shall reflect coverage for any automobile (any auto).

d. *Workers' Compensation.* SDHS shall maintain Workers' Compensation insurance for all of the SDHS's employees who are subject to this Agreement and to the extent required by applicable state or federal law, a Workers' Compensation policy providing at minimum \$1,000,000 employers' liability coverage. SDHS shall provide an endorsement that the insurer waives the right of subrogation against the CITY and its respective elected officials, officers, employees, agents and representatives.

15.3. Waiver of Subrogation. SDHS hereby grants to CITY and its respective officers, officials, employees, and representatives a waiver of any right to subrogation which any insurer of SDHS may acquire against the CITY by virtue of the payment of any loss under such insurance. SDHS agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not the CITY has received a waiver of subrogation endorsement from the insurer.

15.4. Additional Required Provisions. The commercial general liability, excess/including any umbrella liability policy or excess liability policy, and automobile liability policies shall contain, or be endorsed to contain, the following provisions:

a. The CITY, its officers, officials, employees, volunteers and representatives shall be named as additional insureds. The CITY's additional insured status must be reflected on additional insured endorsement form which shall be submitted to the CITY.

b. The policies are primary and non-contributory to any insurance that may be carried by the CITY, as reflected in an endorsement which shall be submitted to the CITY.

15.5. Verification of Coverage. SDHS shall furnish the CITY with original certificates and amendatory endorsements effecting coverage required by this Section 15. The endorsement should be on forms provided by the CITY or on other than the CITY's forms provided those endorsements conform to CITY requirements. All certificates and endorsements are to be received and approved by the CITY before work commences. However, failure to obtain the required documents prior to the work beginning shall not waive SDHS's obligation to provide them. The CITY reserves the right to require complete, certified copies of all required insurance policies, including endorsements affecting the coverage required by these specifications at any time.

15.6. Subcontractor Coverage. SDHS shall also require each of its subcontractors to maintain insurance coverage that meets all the requirements of this Agreement.

15.7. CITY Options. SDHS agrees that if it does not keep the aforesaid insurance in full force and effect, the CITY may either: (i) despite section 13, above, immediately terminate this Agreement; or (ii) take out the necessary insurance and pay, at SDHS's expense, the premium thereon.

16.0 CUSTOMARY SERVICES. SDHS shall be permitted without the CITY's prior written consent to enter into agreements with third party providers of services that are customary in the industry to assist SDHS to carry out its day-to-day operations.

17.0 NON-DISCRIMINATION. SDHS shall not discriminate against any employee or applicant for employment because of sex, race, color, age, religion, ancestry, national origin, disability, military or veteran status, medical condition, genetic information, gender expression, marital status, or sexual orientation. SDHS shall take affirmative action to insure that applicants are employed and that employees are treated during employment without regard to their sex, race, color, age, religion, ancestry, national origin, disability, military or veteran status, medical condition, genetic information, gender expression, marital status, or sexual orientation and shall make reasonable accommodation to qualified individuals with disabilities or medical conditions. Such action shall include, but not be limited to the following: employment, upgrading, demotion, transfer, recruitment, or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. SDHS agrees to post in conspicuous places available to employees, contractors, agents and/or applicants for employment any non-discrimination notices required by law and any non-discrimination notices provided by CITY setting forth the provisions of this non-discrimination clause.

18.0 GENERAL PROVISIONS.

18.1. Entire Agreement. This Agreement comprises the entire agreement between the CITY and SDHS concerning the Services, and supersedes all prior negotiations, representations or agreements.

18.2. Notices. Any notices given under this Agreement shall be in writing and shall be served either: (i) by hand delivery; (ii) by U.S. mail, postage prepaid, registered or certified mail, return receipt requested; or (iii) by transmittal over an electronic transmitting device (with confirmation of receipt), such as facsimile or email, provided that a complete copy of any notice so transmitted shall also be mailed by U.S. mail. Notices shall be deemed received at the earlier of actual receipt or three (3) days following deposit in U.S. mail, postage prepaid. From time to time the parties may designate a new address for purposes of notice hereunder by notice to the other parties hereto in the manner provided above. Initial notice addresses are as follows:

To the CITY: City of Solana Beach
 635 South Highway 101
 Solana Beach, CA 920175
 Attn: Gregory Wade, City Manager
 Email: gwade@cosb.org

With a copy to: Burke, Williams & Sorensen, LLP
501 West Broadway, Suite 1600
San Diego, CA 92101
Attn: Johanna Canlas, City Attorney
Email: jcanlas@bwslaw.com

To SDHS: San Diego Humane Society
5500 Gaines Street
San Diego, California 92110
Attn: Julianna Tetlow, Director of Government Relations
Fax: 619-299-0198
Email: JTetlow@sdhumane.org

With a copy to: Sheppard, Mullin, Richter & Hampton LLP
501 W. Broadway, 19th Floor
San Diego, California 92101
Attn: Whitney Hodges, Esq.
Email: whodges@sheppardmullin.com

18.3. Interpretation; Drafting. This Agreement shall be construed equally as against the Parties hereto and shall not be construed against the party responsible for its drafting. All prior drafts of this Agreement shall be disregarded in construing the intent of any provision contained herein or therein, and such prior drafts shall be inadmissible in any proceeding at which any such provision is to be interpreted.

18.4. Headings. The headings of the articles and sections herein are inserted for convenience of reference only and are not intended to be a part of or to affect the meaning or interpretation of this Agreement.

18.5. No Third-party Beneficiaries. The covenants contained herein are made solely for the benefit of the parties hereto and successors and assigns of such parties as specified herein and shall not be construed as having been intended to benefit any third party which is not a party to this Agreement.

18.6. Severability. If any provision of this Agreement or a portion thereof is held, by a court of competent jurisdiction, to be illegal or invalid, such provision or portion thereof shall be deemed to be severed and deleted; and neither such provision, its severance or deletion shall affect the validity of the remaining provisions of this Agreement.

18.7. Modification. This Agreement may be amended, modified or rescinded only by a writing signed by all parties to this Agreement or by their duly authorized agents.

18.8. No Waiver. No waiver of any right under this Agreement shall be deemed effective unless contained in a writing signed by the party charged with such waiver, and no waiver of any right arising from any breach or failure to perform shall be deemed to be a waiver of any such future right or of any other right arising under this Agreement.

18.9. California Law; Venue. This Agreement and its performance shall be governed, interpreted, construed, and regulated by the laws of the State of California. Any action brought to enforce or interpret any portion of this Agreement shall be brought in the County of San Diego, California.

18.10. Counterparts. This Agreement may be executed **in** two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

IN WITNESS WHEREOF, the Parties by and through their respective authorized officials, have executed this Agreement effective as of the date written above.

CITY OF SOLANA BEACH,
A municipal corporation.

SAN DIEGO HUMANE SOCIETY AND S.P.C.A.,
a California nonprofit corporation.

Gregory Wade
City Manager

Gary Weitzman, DVM, MPH, CAWA
President and CEO

APPROVED AS TO FORM:

Johanna N. Canlas
City Attorney

ATTEST:

Angela Ivey
City Clerk

EXHIBIT A
Community Engagement and Services

In addition to those Services identified in Section 1 of the Agreement, SDHS may routinely provide the CITY with the additional "Community Engagement and Services." The services identified below be provided at no additional cost to the CITY unless otherwise specified and is subject to modification at SDHS's discretion based on resources and capacity. Such community engagement and additional services may include:

- Public education.
- Animal behavior modification program.
- Pet education classes.
- Community events.
- Affordable Community Veterinary assistance programs such as:
 - Spay/Neuter Services
 - General medical veterinary care – preventative and basic sick care
 - > Ear cleanings
 - > Nail Trims
 - > Bloodwork
 - > Deworming
 - Wellness resources including vaccines, flea medications and education
 - Pharmacy services
- Vaccinations including rabies clinics
- Microchipping.
- Safety net service programs.
- Owner requested euthanasia.

EXHIBIT B
Calls for Service - Priority Categories

Priority Categories	Response Time	Example of Call
Priority 1	Within 30 Minutes	Persons in Danger Animal in Immediate Danger Urgent Medical Care Needed Animal in Secured Vehicle ("Hot Dog") Animal Fighting Cases Intentional Cruelty In-Progress Assist Public Safety Agency Bite to Person (Animal Not Contained) Exigent Circumstances <ul style="list-style-type: none"> • Gunshot • Stabbing • Broken Bones • Serious Open Wounds • Visibly Injured/frapped Animal Street Sale of Animals (after all other Priority 1 Calls are Handled)
Priority 2	Within 3 Hours	In-Progress Incidents Not Reaching Priority 1 Bite to Person (Animal Contained - Reported within 24 Hours) Running-At-Large (In Progress) Abandonment Captured/Caged Animals/Confined Strays
Priority 3	Within 12 Hours	Intentional Cruelty (Not In-Progress) Non-Life Threatening Medical Care Needed Non-Exigent Circumstances <ul style="list-style-type: none"> • Skin Infections • Emaciated • Over-Grown Hooves Hoarding - No Immediate Emergency After-the-Fact Bite (Reported After 24 Hours)
Priority4	Within 24 Hours	Check the Well-Being with a Reporting Party No Water (Temperature Dependent) Emaciated (Thin or Bones Showing) Lead/Leash too Short Inadequate or No Shelter Even Sale of Animals (i.e., Flea Markets)
Priority 5	Within 48 Hours	Check the Well-Being- No Reporting Party Running-at-large (Not in Progress) Pet Shop Inspections Rodeo or Circus Inspections Kennel Inspections



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Community Development Department
SUBJECT: **City Council Consideration of Resolution 2023-040 Three-Year Cooperative Agreement Extension of the Community Development Block Grant and Home Investment Partnerships Programs**

BACKGROUND:

The Federal Government requires local jurisdictions with populations less than 50,000 to enter into cooperative agreements on a three-year cycle if they desire to participate in receiving Community Development Block Grant (CDBG) and Home Investment Partnerships Program (HOME) funds. On February 3, 2023, the County of San Diego Housing and Community Development Services (HCDS) sent its notification letter (Attachment 1) to the City requesting verification that the City of Solana Beach will continue its participation for the next three years as has been done in the past.

This item is before the City Council for the consideration of Resolution 2023-040 (Attachment 2) to authorize the automatic renewal of the Cooperation Agreement (Attachment 3) for three additional years covering Fiscal Years (FY) 2024-2027.

DISCUSSION:

In 2011, the City Council authorized execution of a Cooperative Agreement with the County of San Diego for the Community Development Program. This agreement is set up to be automatically extended to a new consecutive three-year term by resolution of the City Council if the City intends to continue participation. If the City elects not to participate with the County, the City would need to retain its own representatives to participate on a competitive basis to apply for the same amount of grant funding. Given the relatively limited eligible projects and additional resources required to effectively compete for these funds, participating in the CDBG program with the County would be the most efficient and cost-effective approach. Adoption of Resolution 2023-040 informs the County of the City's desire to continue to participate in the cooperative agreement and be eligible for grant funds that have been approximately \$50,000 annually.

CITY COUNCIL ACTION:

The previous CDBG funding approved by the City Council was used to construct pedestrian ramps at public street intersections that comply with the Americans with Disabilities Act (ADA).

The City recently awarded a construction contract for the FY 2022/23 ADA Pedestrian Ramps project. The FY 2023/24 CDBG application was submitted to the County of San Diego in October 2022. County's approval of funding and notice to proceed is anticipated later this year.

CEQA COMPLIANCE STATEMENT:

This action is not a project as defined by the California Environmental Quality Act (CEQA).

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation.
- Deny Staff recommendation and do not participate in this program.
- Provide alternative direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2023-040 authorizing the automatic renewal of the Community Development Block Grant Cooperation Agreement (Attachment 2) for the qualification periods of July 1, 2024 to June 30, 2025; July 1, 2025 to June 30, 2026; and July 1, 2026 to June 30, 2027.

CITY MANAGER RECOMMENDATION:

Approve Department recommendation.



Gregory Wade, City Manager

Attachments:

1. County of San Diego Notification letter (dated February 3, 2023)
2. Cooperation Agreement between the County of San Diego and the City for a Community Development Program
3. Resolution 2023-040



County of San Diego

NICK MACCHIONE, FACHE
AGENCY DIRECTOR

HEALTH AND HUMAN SERVICES AGENCY
HOUSING AND COMMUNITY DEVELOPMENT SERVICES
3989 RUFFIN ROAD, SAN DIEGO, CA 92123
(858) 694-4801 • FAX (858) 467-9713

DAVID ESTRELLA
DIRECTOR, HOUSING AND COMMUNITY
DEVELOPMENT SERVICES

February 3, 2023

Mo Sammak
City of Solana Beach
635 South Highway 101
Solana Beach, CA 92075

2024-2026 CDBG PARTICIPATING CITIES COOPERATION AGREEMENT

Dear CDBG Participating City:

The current San Diego Urban County Community Development Block Grant (CDBG) Program Cooperation Agreement (Agreement), effective July 1, 2021, through June 30, 2024, includes an automatic renewal provision. The renewal option allows for the City's continued participation for an additional three consecutive periods covering July 1, 2024, through June 30, 2027.

San Diego Urban County is a federally designated area that includes the unincorporated area of San Diego County and all non-entitlement cities within the County that choose to participate in the CDBG Program. In accordance with the U.S. Department of Housing and Urban Development (HUD) Community Planning and Development (CPD) Notice, CPD-22-07 (attached), issued on April 25, 2022, the County of San Diego Housing and Community Development Services (HCDS) is required to provide notification of your City's opportunity to continue participating with the San Diego Urban County in fiscal years 2023-2025 Community Development Block Grant (CDBG) Programs and Annual Funding Plans.

The CPD Notice describes the administrative steps required by HUD for the CDBG San Diego Urban County qualification process. In further accordance with the requirements of Notice CPD-22-07, please be advised that if a City elects to remain with the Urban County and execute a Cooperation Agreement, the Cooperation Agreement must remain in effect until all CDBG funds and any CDBG and/or HOME Investment Partnerships (HOME) Program revenue received from funded CDBG and/or HOME activities have been expended and funded facilities are completed. Also, participating cities cannot withdraw from the Cooperation Agreement while it remains in effect.

If the City elects to remain in the Urban County, the City would be ineligible to apply under the separate small cities or State CDBG Programs. The City would also automatically participate in the HOME Program if the Urban County receives HOME funding, but could only participate in the HOME Program as part of the Urban County.

Participating cities may also elect not to participate in the Urban County CDBG Program and funding. If a City elects not to participate in the Urban County, the City must advise the County and HUD in writing of its decision to be excluded by March 3, 2023. Such election to be excluded will be effective for the entire three-year period for which the Urban County qualifies unless the City specifically elects to be included in a subsequent year for the remainder of the Urban County's three-year qualification (Cooperation Agreement) period. In that case, the City must provide such notice of election in writing.

If your City decides not to participate in the 2024-2026 Urban County Cooperation Agreement, your Chief

Executive Officer must notify both HUD and the County of the decision in writing before March 3, 2023.

Such notification to HUD should be addressed to:

Chin Woo Choi, Program Manager
U.S. Department of Housing and Urban Development
Los Angeles Area Office Region IX
611 W. Sixth Street, Suite 800
Los Angeles, CA 90017

Notification to the County should be addressed to:

David Estrella, Director
Housing and Community Development Services
3989 Ruffin Road
San Diego, CA 92123

Please submit a letter from the City Manager with the city's intent to participate for the next CDBG Program qualification period to our office by March 3, 2023.

If the City intends to continue participation in the Urban County, a resolution from City Council authorizing the automatic renewal of the Cooperation Agreement for the qualification periods of July 1, 2024 – June 30, 2025; July 1, 2025 – June 30, 2026; and, July 1, 2026 – June 30, 2027, must be submitted to County of San Diego Housing and Community Development Services as soon as possible.

Please contact me at (619) 346-3375 or SarahSnook.Brunson@sdcounty.ca.gov with any questions.

Sincerely,



Sarah Snook Brunson, Housing Program Analyst
Housing and Community Development Services

Enclosure

A COOPERATION AGREEMENT BETWEEN THE COUNTY
OF SAN DIEGO AND CITY OF SOLANA BEACH
FOR A COMMUNITY DEVELOPMENT PROGRAM

This Agreement is made and entered into this 16 day of May, 2011, by and between the County of San Diego, a political subdivision of the State of California, hereinafter called "County," and City of Solana Beach, a municipal corporation of the State of California, located in the County of San Diego, hereinafter called "City," collectively referred to as "Parties."

RECITALS:

WHEREAS, in 1974, the U. S. Congress enacted and the President signed a law entitled, The Housing and Community Development Act of 1974, as amended, herein called the "Act". The Act is omnibus legislation relating to Federal involvement in a wide range of housing and community development activities and contains eight separate titles.

WHEREAS, Title I of the Act is entitled, Community Development, and consolidates several existing categorical programs for housing and community development into new programs for such housing and development under block financial grants. The primary objectives of Title I are the improvement and development of metropolitan cities and urban counties or communities by providing financial assistance annually for area-wide plans and programs of housing assistance, public services and public works.

WHEREAS, in 1990, the U. S. Congress enacted and the President signed a law entitled, The National Affordable Housing Act, herein called the "Housing Act". The Housing Act is legislation relating to Federal involvement in affordable housing activities.

WHEREAS, the Housing Act requires an Urban County (as defined in the Housing Act) to certify that it is following a Consolidated Plan (as defined in the Housing Act) in order to receive Community Development Block Grant and HOME Investment Partnerships funds.

WHEREAS, the County of San Diego has requested of the Department of Housing and Urban Development that it be qualified as an Urban County and thereby become eligible for financial entitlement to receive Community Development Block Grant and HOME Investment Partnerships funds. Pursuant thereto, the County has been informed preliminarily, subject to final determination, that it will qualify as an Urban County and be eligible for funds.

WHEREAS, the Housing and Community Development Block Grant Regulations issued pursuant to the Act (the "Regulations") provide that qualified urban counties must submit an Annual Funding Plan (as defined in the Housing Act) to the Department of Housing and Urban Development for funds and that cities and smaller communities within the metropolitan area not qualifying as metropolitan cities may join the County in said Annual Funding Plan and thereby become a part of a more comprehensive County effort

WHEREAS, as the applicant, the County must take the full responsibility and assume all obligations of an applicant under the statute. This includes the analysis of needs, the setting of objectives, the development of community development and housing

affordability strategies and plans, the community development program, and the assurances or certifications.

NOW THEREFORE, in consideration of the mutual promises, recitals and other provisions hereof, the Parties agree as follows:

1. All capitalized terms not defined herein shall have the meanings given to them under the Act.
2. The Parties agree that this Agreement covers the Community Development Block Grant Entitlement Program and the HOME Investment Partnerships Program.
3. The Parties agree to cooperate to undertake or assist in undertaking, community renewal and lower income housing assistance activities.
4. The City agrees that it shall be included in the Annual Funding Plan the County shall develop and submit to the Department of Housing and Urban Development for Title I Housing and Community Development Block Grant and HOME Investment Partnerships Program funds under the Act and the Housing Act.
5. The City agrees that it may not apply for grants under the Small Cities or State Community Development Grant programs from appropriations for fiscal years during the period in which it is participating in the Urban County Community Development Block Grant Program under this Agreement, and may not participate in a HOME consortium except through the Urban County, regardless of whether the Urban County receives a HOME formula allocation.

6. The City shall prepare or work with the County in the preparation of a detailed project or projects or other activities to be conducted or performed within the City the plan of which shall be included in the aforesaid Annual Funding Plan.

7. The County agrees to include the City in its Annual Funding Plan under the Act and to work with the City in the preparation of the detailed project or projects or other activities to be conducted or performed within the City pursuant to the Annual Funding Plan.

8. The County is hereby authorized to carry out activities which will be funded from annual Community Development Block Grant funds from Fiscal Year 2012-2014 appropriations and from any program income generated from the expenditure of such funds. The City and the County recognize that the County shall be the governmental entity required to execute any grant agreement received pursuant to its Annual Funding Plan and that it shall there by become legally liable and responsible there under for the proper performance of the plan and program. The City agrees that it shall fully cooperate with the County in all things required and appropriate to comply with the provisions of any Grant Agreement received by the County pursuant to the Act and its Regulations.

9. Pursuant to 24 CFR 570.501(b), the City agrees and does hereby commit itself to undertake, conduct or perform or assist the County in undertaking, conducting or performing the essential community development and lower-income housing assistance activities identified in the plan and program contemplated hereunder pursuant to the Act. The City is subject to the same requirements applicable to subrecipients, including the requirement of entering into a written agreement with the County as described in 24 CFR 570.503.

10. All funds received by the County in accordance with its Annual Funding Plan shall be identified and allocated to the specific projects or activities set out in the Annual Funding Plan and such allocated amounts shall be expended exclusively for such projects or activities; provided, however, that a different distribution may be made when necessary to comply with Title I of the Housing and Community Development Act of 1974, as amended.

11. The City shall notify the County of any income generated by the expenditure of Community Development Block Grant funds received by the City. Such program income may be paid to the County, or the City may retain the program income subject to the provisions of this Agreement, the Act and its Regulations. Any program income retained must only be used for eligible activities in accordance with all Community Development Block Grant requirements as then apply.

12. The County shall monitor the use of any program income, requiring appropriate record-keeping and reporting by the City as may be needed for this purpose, and shall report the use of such program income to HUD. In the event of close-out or change of status of the City, all program income on hand or received by the City subsequent to the close-out or change of status shall be paid to the County.

13. The City shall notify the County of any modification or change in the use of real property acquired or improved in whole or in part using Community Development Block Grant funds that is within the control of the City, from that use planned at the time of acquisition or improvement including disposition. Such notification shall be made within thirty (30) days of such change of use.

14. The City shall reimburse the County in an amount equal to the current fair market value, less any portion thereof attributable to expenditures of non-Community Development Block Grant funds, of property acquired or improved with Community Development Block Grant funds that is sold or transferred for a use which does not qualify under the Regulations. The City shall fully inform the County of such program income within thirty (30) days of the sale or change of use of property acquired or improved with Community Development Block Grant funds.

15. In the event of close-out or change of status of the City or termination of this Agreement between the County and the City, such program income resulting from the disposition or transfer of property acquired or improved with Community Development Block Grant funds shall be paid to the County by the City.

16. City has adopted and is enforcing a policy prohibiting the use of excessive force by law enforcement agencies within their jurisdictions against any individuals engaged in non-violent civil rights demonstrations; and a policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location which is the subject of such non-violent civil rights demonstrations within jurisdictions.

17. The term of this Agreement, known as the COUNTY CDBG Urban County Qualification period, shall cover fiscal years 2012-2014, commencing on July 1, 2012, and ending on June 30, 2014, unless an earlier date of termination is fixed by HUD, pursuant to the Act. Notwithstanding the above, if there are activities undertaken pursuant to this Agreement that are not yet completed or funded, then for the purpose of those activities only, this Agreement shall remain in effect until all Community Development Block Grant funds received pursuant to this Agreement, and any program income received with respect

to activities carried out pursuant to this Agreement are expended, and the funded activities are completed. The Parties cannot terminate or withdraw from this Agreement while it is in effect. The Agreement automatically renews to a new consecutive three-year terms, unless either Party provides written notice at least 60 days prior to the end of the term that it elects not to participate in a new qualification period. A copy of that notice must be sent to the HUD Field Office. Before the end of each three-year term, the County will notify the City in writing, by the date specified in HUD's urban county qualification notice for the next qualification period, of its right not to participate in the urban county for a successive three-year term with a copy of the notification sent to the HUD Field Office.

18. It is anticipated that the 2012/2013 Annual Funding Plan will be approved prior to July 1, 2012. All subsequent periods of performance hereunder shall be agreed to by written notification of this Agreement, fully executed by the Parties.

19. The Parties shall adopt amendments to this Agreement incorporating any changes necessary to meet the requirements for cooperation agreements set forth in the Urban County qualification Notice by HUD prior to a subsequent three-year extension of the term. Any amendment to this Agreement shall be submitted to HUD as required by the regulations. Such failure to comply will void the automatic renewal for such qualification period.

20. The Mayor and City Attorney of the City shall execute and submit to the County of San Diego the HUD Certification Forms with respect to the community development activities carried out within the boundaries of this City. It is further understood that the County will rely upon the Certifications executed by the Mayor and City Attorney for purposes of executing Certification Forms for submission to HUD.

21. All records of the City respecting these Annual Funding Plans and any project undertaken pursuant thereto shall be open and available for inspection by auditors assigned by HUD and/or the County on reasonable notice during the normal business hours of the City.

22. The Parties agree to take all actions necessary to comply with the Urban County's certification required by section 104(b) of Title I of the Housing and Community Development Act of 1974, as amended, including Title VI of the Civil Rights Act of 1964, the Fair Housing Act, section 109 of Title I of the Housing and Community Development Act of 1974, as amended and other applicable laws.

23. The Parties agree that no Urban County funding will be expended for activities in or in support of any cooperating unit of general local government that does not affirmatively further fair housing within its own jurisdiction or that impedes the County's actions to comply with its fair housing certification.

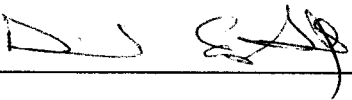
24. If Community Development Block Grant funds are not awarded to the County by the U.S. Department of Housing and Community Development, the County's obligation to distribute those funds to the Urban County members will be terminated.


25. The Parties agree that if City fails to obligate funds within 12 months of the notice to proceed or to expend funds within 36 months of obligation for an eligible project or activity identified in the Annual Funding Plan pursuant to Paragraphs 6 and 7, the County may recapture and reallocate such unexpended funds at its sole discretion. The recaptured funds shall be made available for reprogramming to other eligible activities as deemed appropriate by the County, as Grantee for the Urban County.

IN WITNESS WHEREOF, the governing bodies of the respective Parties have authorized this Cooperation Agreement and direct its execution by their respective chief executive officers this 10 day of May, 2011. The terms and provisions of this Agreement are fully authorized under State and local law and the Agreement provides full legal authority for the County to undertake or assist in undertaking essential community development and housing assistance activities, specifically urban renewal and publicly assisted housing.

COUNTY OF SAN DIEGO

CITY OF SOLANA BEACH

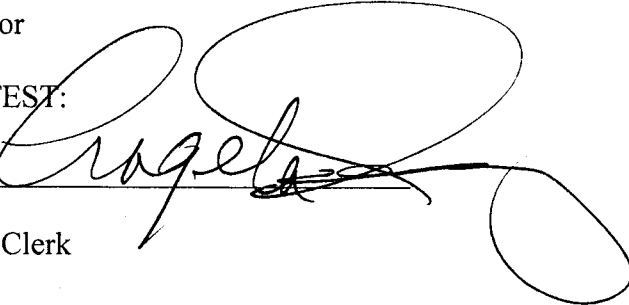
BY 

BY 

Director,
Housing and Community Development

Mayor

ATTEST:

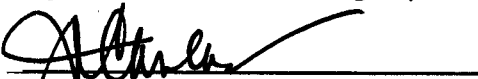
BY 

City Clerk

APPROVED AS TO FORM AND LEGALITY
COUNTY COUNSEL


SENIOR DEPUTY 4/28/11

Approved as to form and legality:


City Attorney

COUNTY COUNSEL acknowledges that the terms and provisions of the agreement are fully authorized under State and local law and the agreement provides full legal authority for the County of San Diego to undertake, or assist in undertaking, essential community renewal and lower income housing assistance activities.

BY 

Senior Deputy

RESOLUTION 2023-040

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONFIRMING THE CITY'S DESIRE TO PARTICIPATE IN FISCAL YEARS 2024-2025, 2025-2026 AND 2026-2027 COMMUNITY DEVELOPMENT BLOCK GRANT APPLICATIONS PROGRAM AND HOME INVESTMENT PARTNERSHIPS PROGRAMS

WHEREAS, the Housing and Community Development Department (HCD) of the County of San Diego administers the San Diego Urban County Community Development Block Grant Program and HOME Investment Partnerships Program ("Programs"); and

WHEREAS, the City desires to continue to participate in these Programs; and

WHEREAS, in 2020, the City entered into a three-year Cooperative Agreement with the County Housing and Community Development Department for the Community Development Program; and the agreement has a renewal option that allows an automatic three year extension with City Council authorization.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council authorizes the automatic renewal of the Community Development Block Grant Cooperation Agreement for the qualification periods of July 1, 2024 to June 30, 2025; July 1, 2025 to June 30, 2026; and July 1, 2026 to June 30, 2027.

PASSED AND ADOPTED this 12th day of April 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: City Manager/Human Resources
SUBJECT: **City Council Consideration of Resolution 2023-044 Approving the Creation and Adoption of a Principal Management Analyst Job Description/Position**

BACKGROUND:

In accordance with the City's Personnel Rules and Regulations, Section 8.10, the City Council authorizes and approves all salary and benefit plans for employees and establishes salary ranges pursuant to the recommendation of the City Manager. Salary and benefits for non-represented employees (confidential, management and seasonal/part-time employees) are included in the Salary and Compensation Plan approved by the City Council each fiscal year. The City Council must also approve a Salary and Compensation Plan for all employees to coincide with fiscal appropriations of a new fiscal year and new budget. Subsequent mid-year revisions to the adopted Salary and Compensation Plan may be recommended by the City Manager pursuant to City Personnel Rules and approved by the City Council.

New Classifications:

It is the responsibility of the City Manager to consistently engage in organizational analysis of various City operations to improve efficiency and effectiveness and ensure the most economical means of conducting business is achieved. Section 2.08.070, Section D, of the Solana Beach Municipal Code (SBMC), "Powers and Duties (of City Manager)" Administrative Reorganization of Offices, states:

It shall be the duty and responsibility of the City Manager to conduct studies and effect such administrative reorganization of offices, positions or units under the City Manager's direction as may be indicated in the interest of efficient, effective and economical conduct of the City's business.

In order to keep pace with the current labor market, to assist in the recruitment and retention of City personnel and to provide additional opportunity for professional growth an advancement within the City, Staff is recommending the following:

1. Creation of a Principal Management Analyst classification.

CITY COUNCIL ACTION:

2. Updating the FY 2022/2023 Management Salary Schedule (Schedule 1) to include the Principal Management Analyst position at pay grade M-4.

This item is before the City Council for consideration of Resolution 2023-044 (Attachment 1) to approve the updated FY 2022/2023 Management Salary Schedule 1 (Attachment 2) to include a Principal Management Analyst position, and to approve the creation and addition of the Principal Management Analyst position (Attachment 3) to the City's job classifications.

DISCUSSION:

The City Manager recommends approval and adoption of the Principal Management Analyst classification and update the FY 2022/2023 Salary Management Salary Schedule 1 accordingly at pay grade M-4.

Classification Updates

Staff recommends creating and adopting a Principal Management Analyst position in order to keep pace with the current labor market and to allow for additional growth and advancement opportunities within the City, as well as to provide flexibility in recruitment of new employees based on skills and qualifications.

The Principal Management Analyst is an advanced level analyst position responsible for conducting difficult, sensitive, and complex administrative and technical work under general direction, where assignments are subject to infrequent review while work is in progress. The position would serve a variety of administrative, coordinative, analytical and community or City Commission liaison functions as required by the changing needs of the City and as directed by the City Manager, Assistant City Manager or other Department Director. The immediate need for establishment of this position is to fill a vacancy created by the departure of the City's Senior Management Analyst that served as liaison to the Climate Action Commission and performed high-level support to both the City Manager's and Finance Departments.

It is expected that an employee hired in this position will exercise considerable discretion and independent judgment in performing extensive liaison and coordination responsibilities with City Staff and representatives of public agencies, commissions, and community groups. The Principal Management Analyst position is a FLSA exempt, at-will position under the Management Employees salary schedule 1, pay grade M-4.

CEQA COMPLIANCE STATEMENT: Not a project as defined by CEQA.

FISCAL IMPACT:

Increase of \$20,000 to the General Fund and \$2,000 to non-General Fund funds in FY 2022/2023 appropriations allocated between salary and benefits as determined by the Finance Department.

WORKPLAN: N/A

OPTIONS:

- Approve the creation of the Principal Management Analyst position at pay grade M-4 of the Management Salary Schedule 1.
- Do not approve the creation of the Principal Management Analyst position at pay grade M-4 of the Management Salary Schedule 1.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council:

1. Adopt Resolution 2023-044 approving the creation of the Principal Management Analyst position at pay grade M-4 of the Management Salary Schedule 1.
2. Approve a FY 2022/2023 appropriation of \$20,000 to the General Fund and \$2,000 to non-General Fund funds allocated between salary and benefits as determined by the Finance Department.
3. Authorize the City Treasurer to amend the FY 2022/2023 Adopted Budget accordingly.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-044
2. Updated FY 2022/2023 Management Salary Schedule 1
3. Principal Management Analyst job description

RESOLUTION 2023-044

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE CREATION AND ADOPTION OF A PRINCIPAL MANAGEMENT ANALYST POSITION AND UPDATING THE CITY'S FY 2022/2023 CLASSIFICATION PLAN AND THE MANAGEMENT SALARY SCHEDULE 1

WHEREAS, the City Council authorizes all salary and compensation plans (Section 8.10 of the City's Personnel Rules and Regulations); and

WHEREAS, the City Council must approve any changes to the salary and compensation plan for employees; and

WHEREAS, it is the responsibility of the City Manager to consistently engage in organizational analysis of various City operations to improve efficiency and effectiveness and ensure the most economical means of conducting business is achieved (Section 2.08.070, Section D, of the Solana Beach Municipal Code); and

WHEREAS, a new Principal Management Analyst job description has been created and added to the City's Classification Plan and the Management Salary Schedule 1; and

WHEREAS, the City Council has reviewed and considered the City Manager's recommendations for creation of the Principal Management Analyst position and is prepared to approve and adopt the new classification and update the FY 2022/2023 Salary Management Salary Schedule 1.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. The Principal Management Analyst classification has been created and added to the FY 2022/2023 Salary Management Salary Schedule 1.
3. The Finance Director/Treasurer increase the FY2022/2023 appropriations \$20,000 to the General Fund and \$2,000 to non-General Fund funds allocated between salary and benefits.
4. Except as identified above, the terms of the FY 2022/2023 Salary and Compensation Plans shall continue in full force and effect for all employees.

PASSED AND ADOPTED this 12th day of April 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –

ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA CANLAS, City Attorney

ANGELA IVEY, City Clerk

EXECUTIVE MANAGEMENT AND MANAGEMENT EMPLOYEES
SALARY SCHEDULE 1
EFFECTIVE APRIL 14, 2023

Pay Greade	Job Classifications	Frequency	Minimum	25th Percentile	Midpoint	75th Percentile	Maximum
M1	Management Analyst	Annual	\$64,854.40	\$74,568.00	\$84,302.40	\$94,036.80	\$103,750.40
	Human Resources Analyst	Monthly	\$5,405	\$6,214	\$7,025	\$7,836	\$8,646
	Recreation Supervisor	Bi-weekly	\$2,702	\$3,107	\$3,513	\$3,918	\$4,323
	Executive Assistant to City Manager/Council Public Works Supervisor	Hourly	\$31.18	\$35.85	\$40.53	\$45.21	\$49.88
M2	Deputy City Clerk	Annual	\$74,193.60	\$83,470.40	\$92,726.40	\$102,003.20	\$111,280.00
	Senior Human Resources Analyst	Monthly	\$6,183	\$6,956	\$7,727	\$8,500	\$9,273
	Senior Management Analyst	Bi-weekly	\$3,091	\$3,478	\$3,864	\$4,250	\$4,637
		Hourly	\$35.67	\$40.13	\$44.58	\$49.04	\$53.50
M3	Network System Engineer	Annual	\$81,598.40	\$91,811.20	\$102,003.20	\$112,195.20	\$122,408.00
	Senior Accountant	Monthly	\$6,800	\$7,651	\$8,500	\$9,350	\$10,201
	Senior Civil Engineer	Bi-weekly	\$3,400	\$3,825	\$4,250	\$4,675	\$5,100
	Senior Planner	Hourly	\$39.23	\$44.14	\$49.04	\$53.94	\$58.85
M4	Information Technology Manager	Annual	\$89,772.80	\$100,984.00	\$112,195.20	\$123,427.20	\$135,054.40
	Principal Human Resources Analyst	Monthly	\$7,481	\$8,415	\$9,350	\$10,286	\$11,255
	Principal Management Analyst	Bi-weekly	\$3,741	\$4,208	\$4,675	\$5,143	\$5,627
	Principal Planner	Hourly	\$43.16	\$48.55	\$53.94	\$59.34	\$64.93
	Public Works Operations Manager Recreation Manager Risk Manager						
M4-A	Assistant to the City Manager	Annual	\$98,737.60	\$111,092.80	\$123,427.20	\$135,761.60	\$148,096.00
	Human Resources Manager	Monthly	\$8,228	\$9,258	\$10,286	\$11,313	\$12,341
	Principal Civil Engineer	Bi-weekly	\$4,114	\$4,629	\$5,143	\$5,657	\$6,171
		Hourly	\$47.47	\$53.41	\$59.34	\$65.27	\$71.20
M5	Fire Battalion Chief (2912 annual hours)	Annual	\$102,094.72	\$114,849.28	\$127,632.96	\$140,358.40	\$153,142.08
		Monthly	\$8,508	\$9,571	\$10,636	\$11,697	\$12,762
		Bi-weekly	\$4,254	\$4,785	\$5,318	\$5,848	\$6,381
		Hourly	\$35.06	\$39.44	\$43.83	\$48.20	\$52.59
M6	Finance Manager	Annual	\$108,617.60	\$122,200.00	\$135,761.60	\$149,344.00	\$162,926.40
	Marine Safety Captain	Monthly	\$9,051	\$10,183	\$11,313	\$12,445	\$13,577
		Bi-weekly	\$4,526	\$5,092	\$5,657	\$6,223	\$6,789
		Hourly	\$52.22	\$58.75	\$65.27	\$71.80	\$78.33
M6-A	Fire Battalion Chief (2080 annual hours)	Annual	\$112,299.20	\$126,339.20	\$140,379.20	\$154,398.40	\$168,459.20
		Monthly	\$9,358	\$10,528	\$11,698	\$12,867	\$14,038
		Bi-weekly	\$4,679	\$5,264	\$5,849	\$6,433	\$7,019
		Hourly	\$53.99	\$60.74	\$67.49	\$74.23	\$80.99
M7	Deputy Fire Chief	Annual	\$114,878.40	\$132,121.60	\$149,344.00	\$166,587.20	\$183,809.60
		Monthly	\$9,573	\$11,010	\$12,445	\$13,882	\$15,317
		Bi-weekly	\$4,787	\$5,505	\$6,223	\$6,941	\$7,659
		Hourly	\$55.23	\$63.52	\$71.80	\$80.09	\$88.37
M8	Administrative Services Director/Assistant City Manager	Annual	\$126,360.00	\$145,308.80	\$164,278.40	\$183,248.00	\$202,196.80
	City Clerk	Monthly	\$10,530	\$12,109	\$13,690	\$15,271	\$16,850
	City Engineer/Public Works Director	Bi-weekly	\$5,265	\$6,055	\$6,845	\$7,635	\$8,425
	Community Development Director	Hourly	\$60.75	\$69.86	\$78.98	\$88.10	\$97.21
	Fire Chief Finance Director/City Treasurer Human Resources Director						

City of Solana Beach
PRINCIPAL MANAGEMENT ANALYST
At-Will

Class specifications are intended to present a descriptive list of the range of duties performed by employees in the class. Specifications are not intended to reflect all duties performed within the job.

DEFINITION

Under general direction of the City Manager or Assistant City Manager, provides a variety of professional management support to the City by developing policies and procedures, overseeing projects, programs, and agreements, conducting studies, developing recommendations for action, and acting as liaison for the City with a variety of private and public organizations and regulatory agencies; provides expert professional assistance to City management staff in areas of expertise; fosters cooperative working relationships among City departments and other governmental and regulatory agencies; and performs related work as required. The Principal Management Analyst position is a FLSA exempt at-will management position.

CLASS CHARACTERISTICS

This is an advanced level analyst position in which incumbents conducts difficult, sensitive, and complex administrative and technical work under general direction, where assignments are subject to infrequent review while work is in progress and upon completion. The incumbent serves in a variety of administrative, coordinative, analytical and liaison capacities, as required by the changing needs of the City and as directed by the City Manager and/or Assistant City Manager. Successful performance of the work requires knowledge of public policy, human resources policy, municipal functions, and activities, including the role of an elected City Council, and the ability to develop, oversee and implement projects and programs in a variety of areas. This position is distinguished from lower-level analyst positions by its assignment of greater or more complex and sensitive projects and negotiations and liaison position assignments, such as finance, budget, grants, contracts and various other administrative functions. Position may provide supervision to Program Staff, Management Analysts, administrative Staff and/or Department interns.

City of Solana Beach
Principal Management Analyst

ESSENTIAL JOB FUNCTIONS

The following duties are typical for this classification. Incumbents may not perform all of the listed duties and/or may be required to perform additional or different duties from those set forth below to address business needs and changing business practices.

- Creates and implements environmental and sustainability programs and policies, oversees the City's environmental and sustainability performance, and ensures compliance with local, state, and federal regulations and policies.
- Supports department leadership in studying new and proposed sustainability programs, projecting energy savings and overall program feasibility. Develop methodologies used and document steps taken throughout the data collection and analysis process.
- Serves as the City's representative for a variety of joint powers agreements and contracts for professional and support services; negotiates and administers agreements for City services, including, solid waste, recycling and organics disposal (SB 1383), County grant agreements and homelessness program service agreements.
- Provides staff support, including preparing of Staff Reports and following-up on actions taken by subcommittees and City Council.
- Provides input into the development and implementation of goals, objectives, policies, procedures, and work standards for the City; provides input into the development and administration of the City Manager's departmental budget.
- Conducts organizational, operational, financial, and analytical studies; evaluates alternatives; prepares recommendations and narrative and statistical reports; and implements policy and procedural changes after approval.
- Conducts outreach efforts to internal and external stakeholders regarding general sustainability information including the Climate Action Plan

City of Solana Beach
Principal Management Analyst

programs and mitigation measures, waste reduction, Greenhouse Gas (GHG) emissions reductions, community event sustainability requirements and overall sustainability progress.

- Monitors and interprets various external factors, such as economic conditions, new legislation, and state and federal funding changes to determine the impact on City; develops policies, procedures, standards, and ordinances to ensure compliance with applicable laws and regulations.
- Makes presentations to the City Council, and other City commissions and committees; represents the City in meeting with members of community, business, professional, educational, and governmental organizations.
- Serves as a professional Staff resource to City managerial Staff.
- May direct the work of Staff on a project or day-to-day basis, trains Staff in work procedures.
- Identifies, plans, implements, and evaluates goals, objectives, priorities, and activities within assigned areas of responsibility in a manner consistent with the City's overall goals and objectives including developing strategies for the successful achievement of such.
- Prepares and directs the preparation of a variety of written correspondence, reports, policies, procedures, ordinances, requests for proposals, agreements, grant administration reporting requirements and other written materials.
- Monitors changes in laws, regulations and technology that may affect City activities and functions; implements policy and procedural changes as required.
- Prepares reports to State regulatory agencies.
- Receives, investigates, and responds to citizen and employee complaints, inquiries, and requests for services.

City of Solana Beach
Principal Management Analyst

- Coordinates with and assists the business community on education, outreach and compliance with local, county and State requirements.
- Acts as the Staff liaison to the Climate Action Commission.
- Coordinates the School Crossing Guard program in conjunction with the School District.
- Experience with website administration and social media is preferred, but not required.

- Performs other duties as required.

QUALIFICATIONS GUIDELINES

Education:

Possession of a bachelor's degree from an accredited college or university with major course works in Public Administration, Economics, Business Administration, Political Science, Public Policy, or closely related field. A master's degree in public administration, business administration or other related field is desirable.

Experience:

Four to five (4-5) years of increasingly responsible administrative management experience involving a combination of any of the following: research, project management, policy analysis, study and analysis of management, budget, organizational, procedural problems and issues, contract, and program administration, preferably in a government agency.

KNOWLEDGE, SKILLS & ABILITIES

Knowledge of:

- Principles, practices, and procedures of public administration in a municipal setting.
- Functions and services of a municipal government.
- Principles and techniques of conducting analytical studies, evaluating alternatives, and making sound recommendations.
- Basic budgetary and contract administration practices in a public agency. Applicable laws, codes, and regulations.

City of Solana Beach

Principal Management Analyst

- Principles and techniques of program planning, implementation, and administration.
- Statistical and financial analysis and records management principles and practices.
- Principles and practices of public administration, including purchasing and contracting and the maintenance of public records.
- Principles and practices of management and supervision; the City's personnel policies and Memoranda of Understanding.
- Techniques for making effective public presentations.
- English usage, grammar, spelling, vocabulary, and punctuation.
- Computer applications related to the work.
- Techniques for effectively representing the City in contacts with insurance providers, governmental agencies, third-party administrators, and employees.
- Techniques for providing a high level of customer service to City Staff, and variety of individuals from various socio-economic, cultural, and ethnic backgrounds, in person and over the telephone.
- Program management, budgeting, and supervisory techniques.
- Modern office practices, methods, computer equipment and computer applications.

Ability to:

- Provide accurate interpretations of policies and regulations.
- Prepare a variety of reports and analyses, which are written clearly, concisely, and accurately.
- Maintain confidentiality of sensitive information and records.
- Analyze issues and make recommendations to resolve administrative and procedural problems.
- Develop written presentations and reports, which include drawing conclusions and making recommendations.
- Establish and maintain effective working relationships with applicants, employees, City officials, bargaining units, and the general public.
- Organize own work, set priorities, and meet critical deadlines; use initiative and independent judgment within established procedural guidelines; plan and organize responsibilities so that reports are produced in a timely and accurate manner; exercise independent judgment; and make sound decisions.

City of Solana Beach

Principal Management Analyst

- Accomplish work with a minimum of supervision and with only general direction.
- Assist directing the work of others on a project or day-to-day basis, train others in work procedures.
- Plan, organize, assign, train, supervise, review, and evaluate the activities and staff of assigned program areas.
- Monitor and analyze current developments and legislation and their implications for the City.
- Prepare clear, concise, and effective reports, correspondence, and other written materials.
- Make effective oral presentations of complex material to diverse audiences as needed.
- Communicate clearly and concisely, both orally and in writing.
- Use tact, initiative, prudence, and independent judgment within general policy and legal guidelines.
- Work in a team atmosphere and participate on a variety of departmental and Citywide committees to enhance the provision of all City services.
- Effectively use computer systems, software applications, and modern business equipment to perform a variety of work tasks.
- Demonstrate an awareness and appreciation of the cultural diversity of the community and work with diverse populations and maintain an inclusive environment.
- Establish and maintain effective working relationships with those contacted in the course of work.

Special Requirements:

- Possession of a valid Class "C" California driver's license with a satisfactory driving record.
- Incumbents may be asked to travel on City business, using their own vehicle or a City vehicle, and are required to be in the Department of Motor Vehicles Pull Notice Program.

ADDITIONAL REQUIREMENTS

The above job description is intended to represent only the key areas of responsibilities; specific position assignments will vary depending on the business needs of the department.

City of Solana Beach
Principal Management Analyst

City of Solana Beach employees are designated Disaster Service Workers through state law (California Government Code Section 3100-3109). Employment with the City requires the affirmation of a loyalty oath to this effect. Employees are required to complete all Disaster Service Worker-related training as assigned, and to return to work as ordered in the event of an emergency.

PHYSICAL AND MENTAL DEMANDS/WORKING CONDITIONS

The physical and mental demands herein are representative of those that must be met by an employee to successfully perform the essential functions of this job. Reasonable accommodations may be made to enable individuals with disabilities to perform these essential job functions.

- Mental function: Includes reading, writing, mathematical computations, operating a computer, problem solving, managing multiple projects, calmly handling complaints and problems from irate citizens or contractors, decision making under stressful conditions, and executing assignments with general supervision/direction and within established deadlines.
- Productivity: Incumbents must perform work in an efficient, effective, and timely manner as directed/assigned.
- Mobility: Incumbents require sufficient mobility to work in an office setting and operate office equipment. Ability to sit, stand, walk, kneel, crouch, stoop, squat, twist, climb, lift 60 lbs., and push or pull objects up to 100 lbs. and sit, stand, walk for prolonged periods.
- Vision: Vision sufficient to read small print, computer screens, and printed documents, and to operate assigned equipment.
- Hearing: Incumbents are required to hear in the normal audio range with or without correction.
- Environment: Standard office environment with travel to attend meetings or conduct site investigations. Occasional exposure to temperature swings from indoor to outdoor temperatures; exposure to dust from atmosphere and volumes of paper; infrequent exposure to extreme heat and humidity in un-air-conditioned facilities; extreme noise working at off-site locations; mechanical and electrical hazards of equipment; fumes and odors of burned wiring. Work environment is an 80-hour biweekly work period, with unscheduled breaks.

Duties may require working varying hours and days. Work is performed in City Hall and other off-site locations. Work characteristics are both formal and informal; both autonomous and team-oriented; having both routine and variable tasks; with variable pace and pressure.

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City of Solana Beach
Principal Management Analyst

- Physical: Primary functions require sufficient physical ability to work in an office setting and operate office equipment. Continuous fine finger dexterity to manipulate small tools and equipment; Frequent walking, standing, sitting, side-to-side turning of neck; firm grasp to lift and move equipment; Occasional bending and stooping, squatting, reaching at and above shoulder height, pushing/pulling up to 100 lbs., twisting at waist, upward and downward flexion of neck; lifting of objects weighing up to 60 lbs. Infrequent kneeling.
- Other factors: Incumbents may be required to work extended hours including evenings, weekends, and holidays. Incumbents may be required to travel outside City boundaries to attend meetings.



STAFF REPORT

CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Finance Department
SUBJECT: **Consideration of Resolution 2023-046 to Increase the Budget for Building Permit Revenue and Professional Services for Building Permit Review and Inspection Services for FY2022/23**

BACKGROUND:

The City has been experiencing a higher than anticipated volume of Building Permit activity in Fiscal Year 2022/23. EsGil, LLC has been providing building plan review and inspection services for the City of Solana Beach since 1987. The most recent professional service agreement (PSA) with them was approved by City Council on June 9, 2021.

This item is before Council to increase the estimated Building Permit Revenue and increase the budget for professional services that will be provided by Esgil, LLC as the City's provider for professional building permit plan review and inspection services.

DISCUSSION:

In an effort to ensure that the City continues to provide sufficient and effective services to its constituents for Building Permit services, staff is requesting an increase of \$220,000 to the estimated revenue for Building Permits, and a \$200,000 increase in the Community Development Department Building Services for professional services to be provided by Esgil, LLC. Recently, the City's Fire Prevention Specialist resigned from the City to take a position in another local jurisdiction. During the recruitment for this position, which is currently ongoing, additional budget allocation is also necessary to allow EsGil to provide these Fire Inspection services.

COUNCIL ACTION:

CEQA COMPLIANCE STATEMENT:

This is not a project under the California Environmental Quality Act (CEQA).

FISCAL IMPACT:

Increase in Estimated Building Permit Revenue by \$220,000 from \$305,000 to \$525,000, and an increase to Professional Services in the Community Development Department Building Services by \$200,000 from \$391,250 to \$591,250. This has net impact of increasing savings to the FY2022/23 budget by \$20,000.

WORK PLAN: N/A

OPTIONS:

- Authorize Staff recommendation.
- Do not authorize Staff recommendation.
- Provide alternative direction to Staff.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council consider adoption of Resolution 2023-046 (Attachment 1) authorizing the City Manager to increase the Estimated Building Permit Revenue by \$220,000 from \$305,000 to \$525,000 and increase Professional Services Budget in the Community Development Department Building Services by \$200,000 from \$391,250 to \$591,250.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-046

RESOLUTION 2023-046

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING BUDGET ADJUSTMENTS FOR BUILDING PERMIT REVENUE AND PROFESSIONAL SERVICES FOR BUILDING PLAN REVIEW AND INSPECTION SERVICES

WHEREAS, the Community Development Department has utilized the services of EsGil, LLC (EsGil) to provide professional building plan review and inspections services for many years; and

WHEREAS, the City has determined there has been higher than anticipated building permit activity in Fiscal Year 2022/23;

NOW, THEREFORE, the City Council of the City of Solana Beach does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the City Manager is authorized to increase the Estimated Building Permit Revenue by \$220,000 from \$305,000 to \$525,000 and increase Professional Services budget in the Community Development Department Building Services by \$200,000 from \$391,250 to \$591,250.

PASSED AND ADOPTED this 12th day of April, 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
 NOES: Councilmembers –
 ABSTAIN: Councilmembers –
 ABSENT: Councilmembers –

 LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

 JOHANNA N. CANLAS, City Attorney

 ANGELA IVEY, City Clerk



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Community Development Department
SUBJECT: **Public Hearing: DRP for 241 Pacific Avenue**
(Case # DRP22-014 Applicant: Richard Schrager
Resolution 2023-033)

BACKGROUND

The Applicant, Richard Schrager, is seeking the City Council’s approval of a Development Review Permit (DRP) for an interior remodel of an existing residence and construction of a new 316 square foot covered patio in front of the existing residence. The existing residence was originally constructed in 1959 prior to the City’s incorporation and prior to the adoption of the Zoning Ordinance and the Local Coastal Program Land Use Plan which require a minimum 40-foot rear yard setback from the top edge of the coastal bluff. A square footage addition was approved and constructed in 1990 prior to the adoption of the Scaled Residential Overlay Zone (SROZ) which reduced the maximum allowable Floor Area Ratio (FAR) for the property in 2007. Therefore, the existing residence exceeds the maximum allowable FAR and is considered a legally existing non-conforming structure.

The Applicant is requesting the approval of a DRP in order to demolish bay windows that are 11 square feet from both the main and upper levels, renovate the kitchen, bathroom, primary bathroom, relocate/reconstruct one interior and two exterior staircases, install new windows and doors, patch and retexture the existing stucco, replace the roofing materials and construct a 316 square foot attached covered porch in the front of the main level of the existing multi-level residence. The 5,137 square foot lot is located within the Medium Residential (MR) Zone and the Scaled Residential Overlay Zone (SROZ). The proposed project is below the bluff top redevelopment project threshold(s) as defined by the City’s Certified Local Coastal Program (LCP) Land Use Plan (LUP) as discussed in this Staff Report.

The proposed project requires a DRP for two reasons: 1) for development on a coastal bluff top property or on the face or toe of a bluff for which a coastal development permit

CITY COUNCIL ACTION:

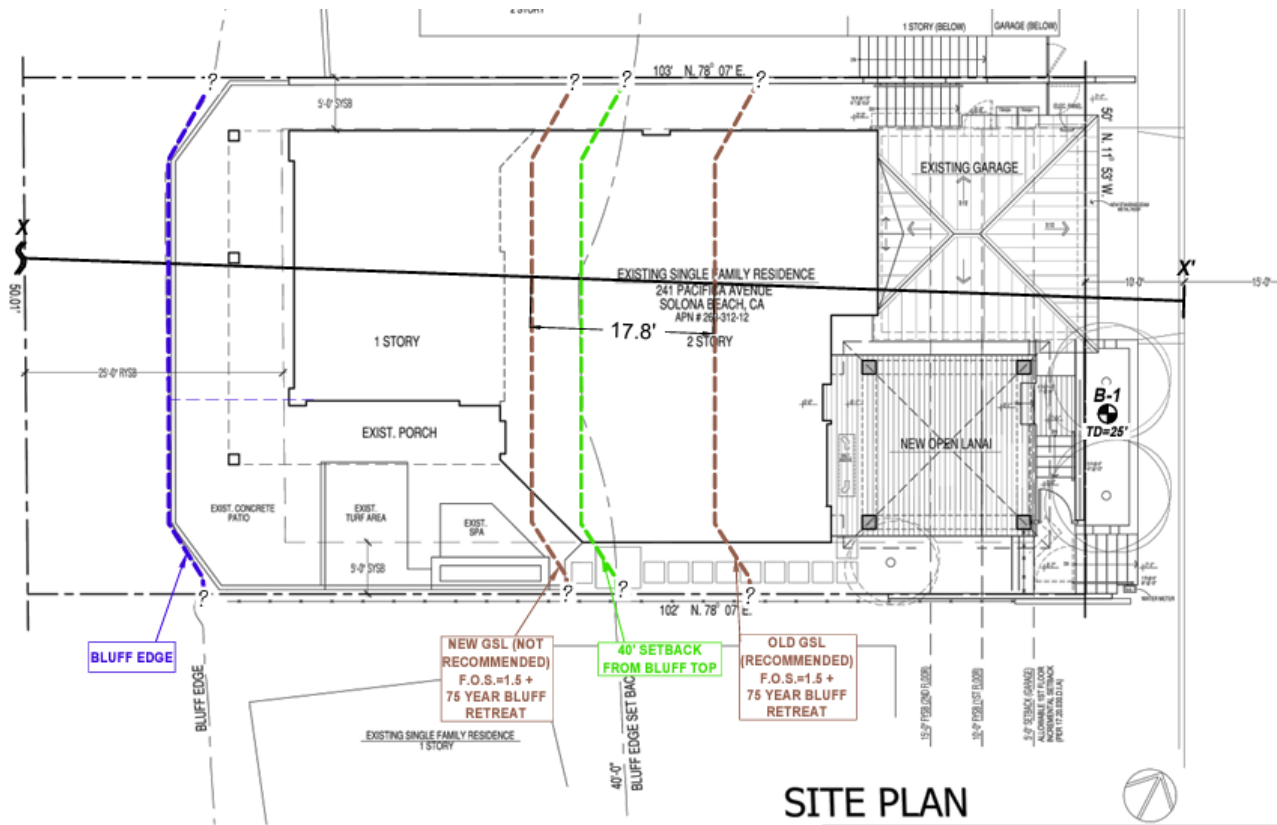
will be required the California Coastal Commission, and 2) for new construction, including replacement of an existing structure or structural additions to existing development in residential zones where the total of existing square footage plus proposed new square footage of the structure exceeds 60 percent of the maximum floor area allowable under the applicable floor area ratio.

The issue before the Council is whether to approve, approve with conditions, or deny the Applicant's request as contained in Resolution 2023-033 (Attachment 1).

DISCUSSION

The subject property is located on the west side of Pacific Avenue between the intersection of Hill Street and Pacific Avenue to the south and Pacific Avenue and Clark Street to the North. The lot size is 5,137 square feet, but the western side of the site (coastal bluff edge) has eroded over time and the current lot size measures approximately 4,937 square feet in total area. The site is currently developed with a multi-level, single-family residence with an attached garage.

The existing home consists of a 423 square foot lower-level garage that is constructed right at the front property line, the main floor is 1,884 square feet and setback approximately 25 feet from the property line, and the upper level is 1,258 square feet and is also setback 25 feet from the front property line. The rear 27 feet of the main floor and the rear 8 feet of the upper level are seaward of the 40-foot blufftop setback. The Applicant initially submitted a site plan showing the Geologic Setback Line (GSL) in the current location by calculating shear strength parameters using soils samples from a similar property instead of the project site. After performing the same analysis using soil samples from the project site, the "New GSL" was determined to be approximately 17.8 feet seaward of the "Old GSL" location shown on the plans. The Applicant provided a setback map (Attachment 2) showing the two GSL locations (identified as "New" and "Old") but requested to use the more conservative GSL location on the project plans. Therefore, the conservative GSL is located approximately 36 feet seaward of the front (east) property line as shown on the following page.



The existing garage and the first approximately 16 feet of the existing main floor and upper floor are located landward of the GSL. The remainder of the home is seaward of the GSL line. The Applicant is proposing to construct a covered porch in front of the southeast corner of the main level, an interior remodel and to relocate the existing staircase in the southeast corner of the lot as well as the staircase along the northern elevation of the garage to allow for the construction of a door. All structural components of the proposed work are landward of the GSL. The project plans are provided in Attachment 3.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ. The project has been evaluated for conformance with the policies contained in the City's Certified LCP LUP, regulations of the SROZ, and the Solana Beach Municipal Code (SBMC) which are discussed further later in this report. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit (CDP) from the California Coastal Commission (CCC) prior to the issuance of a building permit by the City.

Table 1, on the following page, provides an overview of the applicable Certified LUP and Solana Beach Municipal Code (SBMC) specific minimum and maximum requirements of the zoning regulations for the development of the property compared to the Applicant's proposed design. As shown, the proposed height, setbacks, and floor area ratio (FAR) for the proposed covered porch are in compliance with the regulations of the SBMC.

Table 1			
LOT INFORMATION			
Property Address:	241 Pacific Ave.	Zoning Designation:	MR (5-7 du/ac)
Legal Lot Size:	5,137 ft ²	# of Units Allowed:	1 Dwelling Unit 1 ADU & 1 JADU
*Actual Lot Size:	≈ 4,937 ft ²	# of Units Requested:	1 Dwelling Unit
Max. Allowable Floor Area:	2,569/2,469 ft ²	Setbacks:	Required Proposed
**Proposed Floor Area:	3,143 ft ²	Front (E)	5 ft. 0 ft.
Exceeds Max Floor Area:	574/674 ft ²	Interior Side (N)	5 ft. 5 ft.
Max. Allowable Height:	25 ft.	Interior Side (S)	5 ft. 5 ft.
Max. Proposed Height of addition:	13 ft.	Rear (W)	ft. 22.5 ft.
Overlay Zone(s):	SROZ		
* Actual lot size is the remaining area of the lot after erosion of the bluff edge.			
** Existing square footage of legally non-conforming structure is 3,565 ft ² .			
PROPOSED PROJECT INFORMATION			
Floor Area Breakdown:		Required Permits:	
Existing Lower-Level Garage:	423 ft ²	DRP: A DRP is required for 1. Any development on a coastal bluff top property or on the face or toe of a bluff for which a coastal development permit issued by the California Coastal Commission is presently required. The total of existing square footage plus proposed new square footage of the structure exceeds 60 percent of the maximum floor area allowable under the applicable floor area ratio.	
Existing Main Level Living Area:	1,884 ft ²		
<u>Existing Upper-Level Living Area:</u>	<u>1,258 ft²</u>		
Subtotal:	3,565 ft ²		
Proposed Demolition:	-22 ft ²		
Garage Exemption:	-400 ft ²		
Total Floor Area:	3,143 ft²		
Proposed Grading: The proposed project includes a 6 yd ³ of excavation for the footings.			

CTE, Inc. the City’s third-party geotechnical engineering consultant, has reviewed the proposed project design and the geotechnical reports written by GeoSoils Inc. provided by the Applicant (Attachment 4) and has concluded that the project, as proposed, is consistent with the City’s LUP and SBMC geotechnical requirements. (Attachment 5)

City Council Resolution 2023-033 provides the full text of the pertinent DRP regulations. Staff has prepared draft findings for approval of the project for Council’s consideration based upon the information in this report and Staff’s analysis of the proposed project. It provides the applicable LUP and SBMC sections in italicized text. Conditions from the Planning, Engineering and Fire Departments have been incorporated into the Resolution of Approval. The Council may direct Staff to modify the Resolution to reflect the findings and conditions as it deems appropriate as a part of the Public Hearing process. If the Council determines the project is to be denied, Staff will prepare a Resolution of Denial for an action to be taken at a subsequent Council meeting.

The following is a discussion of compliance with the policies of the LCP LUP as well as the findings for a DRP (as each applies to the proposed project) and a discussion of the development plans and recommended conditions as contained in the attached Resolution.

Local Coastal Program (LCP) Land Use Plan (LUP):

The City's LUP applies citywide as the entire City is located within the Coastal Zone. Therefore, in addition to compliance with the City's Municipal Code and General Plan, the project's conformance with the certified LUP is also evaluated.

The LUP contains specific policies, provisions and regulations related to properties located on the coastal bluff including those related to bluff edge setbacks, existing legal non-conforming structures and the removal of permanent irrigation systems located within 100 feet of the bluff edge.

The key relevant policies from the City's Certified LUP which apply to this project are listed below in italics for reference followed by an analysis of the how the proposed project is designed in compliance with the respective Certified LUP policy:

Policy 4.14: Existing, lawfully established structures that are located between the sea and the first public road paralleling the sea (or lagoon) built prior to the adopted date of the LUP that do not conform to the provisions of the LCP shall be considered legal non-conforming structures. Such structures may be maintained and repaired, as long as the improvements do not increase the size or degree of non-conformity. Additions and improvements to such structures that are not considered Bluff Top Redevelopment, as defined herein, may be permitted provided that such additions or improvements themselves comply with the current policies and standards of the LCP. Complete demolition and reconstruction or Bluff Top Redevelopment is not permitted unless the entire structure is brought into conformance with the policies and standards of the LCP.

Policy 4.17: New development shall be set back a safe distance from the bluff edge, with a reasonable margin of safety, to eliminate the need for bluff retention devices to protect the new improvements. All new development, including additions to existing structures, on bluff property shall be landward of the Geologic Setback Line (GSL) as set forth in Policy 4.25. This requirement shall apply to the principal structure and accessory or ancillary structures such as guesthouses, pools, tennis courts, cabanas, and septic systems, etc. Accessory structures such as decks, patios, and walkways, which are at-grade and do not require structural foundations may extend into the setback area no closer than five feet from the bluff edge. On lots with a legally established bluff retention device, the required geologic analysis shall describe the condition of the existing seawall; identify any impacts it may be having on public access and recreation, scenic views, sand supply and other coastal resources; and evaluate options to mitigate any previously unmitigated impacts of the structure or modify, replace or remove the existing protective device in a manner that would eliminate or reduce those impacts.

The proposed project plans (Attachment 2) indicate that the project will consist of interior remodel of an existing multi-level home that was constructed in approximately 1959 as well as the addition of a covered patio and site improvements. The residence is located seaward of the GSL except for the eastern most 16 feet of the main and upper levels as well as the garage. There is an existing covered patio with a BBQ behind the main level

with a guardrail that will remain. No new proposed development is seaward of the 40-foot setback line or the GSL.

The property has required five-foot side yard setbacks along the north and south side yards as well as along the front (landward or east) side of the property. It should be noted that the existing, nonconforming garage on the south side of the home currently extends to the front property line and will remain in place as allowed under both the SBMC and the LUP. No portion of the proposed improvements would encroach into the required five-foot minimum front yard setback. The existing deck will continue to encroach approximately 2 feet into the required south side yard setback.

The GSL and bluff stability requirements of the LUP are provided under LUP Policy 4.25. The geotechnical analysis prepared by GeoSoils, Inc. that was provided by the Applicants is discussed further below.

Policy 4.25: *All new bluff property development shall be set back from the bluff edge a sufficient distance to ensure that it will not be in danger from erosion and that it will ensure stability for its projected 75 year economic life. To determine the GSL, applications for bluff property development must include a geotechnical report, from a licensed Geotechnical Engineer or a certified Engineering Geologist that establishes the Geologic Setback Line (GSL) for the proposed development. This setback line shall establish the location on the bluff top stability where it can be reasonably assured for the economic life of the development. Such assurance will take the form of a quantitative slope analysis demonstrating a minimum factor of safety against sliding of 1.5 (static) or 1.2 (pseudostatic, $k=0.15$ or determined through analysis by the geotechnical engineer), using shear strength parameters derived from relatively undeformed samples collected at the site. In no case shall the setback be less than 40 feet from the bluff edge, and only if it can be demonstrated that the structure will remain stable, as defined above, at such a location for its 75-year economic life and has been sited safely without reliance on existing or future bluff retention devices, other than a caisson foundation.*

The Applicant provided a geotechnical analysis from GeoSoils, Inc. that was reviewed by one of the City's third-party geotechnical engineering firms, CTE, Inc. They confirmed that the bluff erosion rate analysis and related stability calculations provided by the Applicant's geotechnical engineer and proposed project design are consistent with the City's Certified LUP policies and applicable SBMC requirements.

The remodeled residence maintains the same rear yard setback as the existing residence and would not encroach further west into the rear yard setback. Therefore, the existing non-conformity would remain and the proposed improvements would not increase the size or degree of the existing legal non-conformity as allowed under LUP Policy 4.14.

Policy 4.26: *With respect to bluff properties only, the City will require the removal or capping of any permanent irrigation system within 100 feet of the bluff edge in connection with issuance of discretionary permits for new development, redevelopment, or shoreline protection, or bluff erosion, unless the bluff property owner demonstrates to the satisfaction of the Public Works Director, or the CCC if*

the project is appealed, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).

The proposed project has been conditioned to require the removal or capping of any/all onsite permanent irrigation systems located within 100 feet of the bluff edge.

Chapter 8 of the LUP (Definitions) contains the threshold listed below that is used by the City to evaluate whether a proposed project is considered a remodel or whether it meets the definition of a “Bluff Top Redevelopment” project.

Bluff Top Redevelopment shall apply to proposed development located between the sea and the first public road paralleling the sea (or lagoon) that consists of alterations including (1) additions to an existing structure, (2) exterior and/or interior renovations, (3) and/or demolition of an existing bluff home or other principal structure, or portions thereof, which results in:

(a) Alteration of 50% or more of major structural components including exterior walls, floor and roof structure, and foundation, or a 50% increase in floor area. Alterations are not additive between individual major structural components; however, changes to individual major structural components are cumulative over time from the date of certification of the LUP.

(b) Demolition, renovation or replacement of less than 50% of a major structural component where the proposed alteration would result in cumulative alterations exceeding 50% or more of a major structural component, taking into consideration previous alterations approved on or after the date of certification of the LUP; or an alteration that constitutes less than 50% increase in floor area where the proposed alteration would result in a cumulative addition of greater than 50% of the floor area taking into consideration previous additions approved on or after the date of certification of the LUP.

The proposed project will maintain all existing setbacks, is below the maximum building height, the existing residence exceeds the maximum allowable FAR, however, the Applicant is proposing to remove 22 square feet, therefore, does not increase the size or the degree of the existing legal non-conformity. Additionally, as shown in Table 3, the proposed project is below all thresholds listed above and is therefore not considered a Bluff Top Redevelopment project and is not subject to Certified LUP Policy 4.29 which would otherwise require the project, as new development, to be brought into conformance with the LCP.

Table 3 – Project Comparison to Bluff Top Redevelopment Thresholds				
Structural Component	Existing	Proposed or Modified	Percent Change / Difference	LUP Threshold Exceeded?
Exterior Walls	302 ft. 6 in.	67 ft. 10in.	22%	No
Floor Area	3,165 SF	-22 SF	0.7%	No
Foundation	2,307 SF	252.25	11%	No
Roof Structure	2,934 SF	570 SF	19%	No
Floor Structure	3,142 SF	555 SF	18%	No

The property is located approximately 0.3 miles south of Tide Park Beach public beach access easement and 0.2 miles north of Fletcher Cove Park which each provide public coastal access to the public beach below. As designed, the proposed project would not change the existing public access.

According to the geotechnical report prepared by GeoSoils, Inc. (Attachment 3) the combined 1.5 Factor of Safety and theoretical 75-year bluff erosion line (Geologic Setback Line or GSL) is located approximately 40 feet from the bluff edge and runs through the eastern portion of the residence made up of a bedroom, bathroom, kitchen, living room and basement (family room, two bedrooms and two bathrooms). Because there are no changes to the footprint of the residence east of the geologic setback line, this is informative but does not affect the project as proposed.

The LUP recommends the use of 0.40 feet per year as the default average annual bluff erosion rate unless a site-specific geotechnical analysis indicates a different erosion rate should be used. LUP Policy 4.25 allows for the use of a site-specific bluff erosion rate and stipulates that any existing shoreline protective devices shall be excluded from the slope stability calculations (Policy 4.18).

A site-specific bluff erosion rate analysis was conducted by GeoSoils, Inc., as allowed by Certified LUP Policy 4.25, and determined to be 0.1875 feet per year. This analysis was reviewed and confirmed by the City’s Third-Party geotechnical engineer, Geopacifica.

Development Review Permit Compliance:

In addition to meeting zoning requirements, the project must also be found in compliance with development review criteria. The proposed project requires a DRP for development on a coastal bluff top property that requires a coastal development permit issued by the CCC and for replacement of an existing structure or structural additions to existing development in residential zones that exceeds 60 percent of the maximum floor area allowable under the applicable floor area ratio.

The following is a list of the development review criteria topics:

1. Relationship with Adjacent Land Uses
2. Building and Structure Placement
3. Landscaping

4. Roads, Pedestrian Walkways, Parking and Storage Areas
5. Grading
6. Lighting
7. Usable Open Space

The Council may approve, or conditionally approve, a DRP only if all of the findings listed below can be made. Resolution 2023-033 (Attachment 1) provides the full discussion of the following findings.

1. The proposed development is consistent with the general plan and all applicable requirements of this title, including special regulations, overlay zones, and specific plans.
2. The proposed development complies with the development review criteria set forth in subsection F of this section.
3. All required permits and approvals issued by the city, including variances, conditional use permits, comprehensive sign plans, and coastal development permits have been obtained prior to or concurrently with the development review permit.
4. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the applicant obtaining the required permit or approval from the other agency.

If the above findings cannot be made, the Council shall deny the DRP. The following is a discussion of the applicable development review criteria as they relate to the proposed project.

Relationship with Adjacent Land Uses:

The property is located within the MR Zone. Other nearby properties are also located within the MR Zone and are developed with one and two-story, single-family residences. The project site is currently developed with a split-level, single-family residence.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single-family residences developed at a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further in this report. As a condition of project approval, the

Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

Building and Structure Placement:

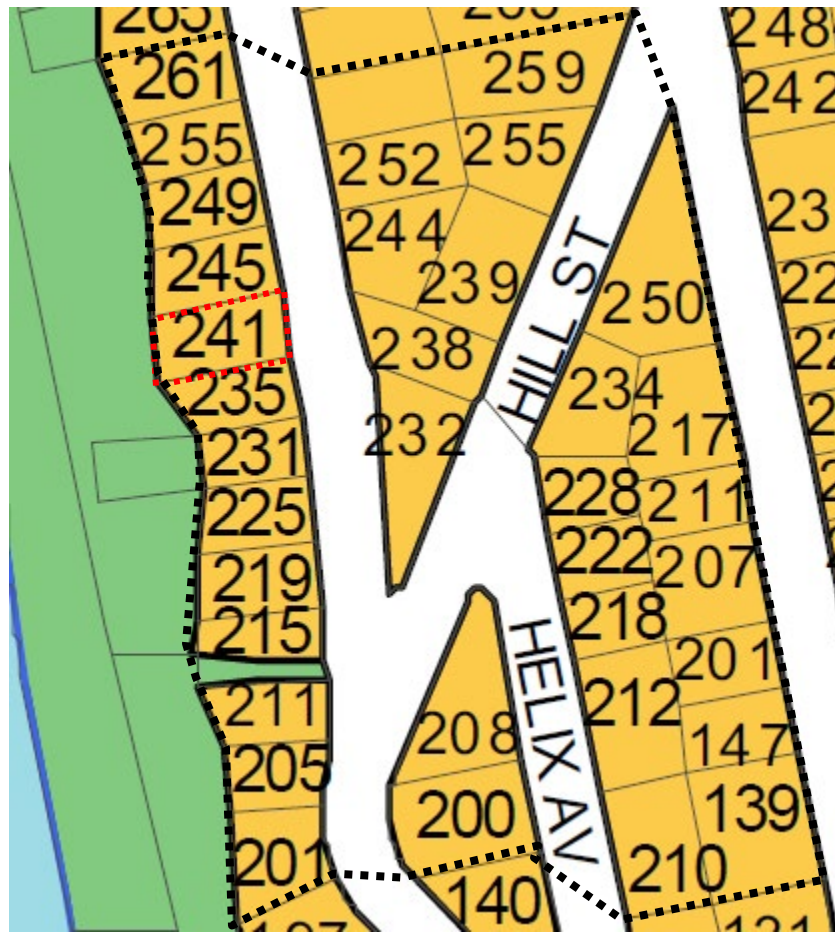
The Applicant is proposing to remodel the interior of the existing residence, construct a new 316 square foot covered patio in front of the southeast corner of the main level, and relocate two exterior staircases. The existing staircase along the northern elevation of the garage would be reconstructed approximately 12 feet west of the face of the garage in order to allow for a door to be added to the northern elevation garage and provide an area to store the garbage and recycle bins. The existing staircase that provides pedestrian access to the main level entry area will also be relocated in order to construct the new covered porch south of the existing garage. The covered porch would be 13 feet above the existing grade. A new gate and guardrail are proposed to enclose the front yard area.

The interior remodel scope would include the removal of one bay window of 11 square feet from both the main and upper levels, the renovation of the kitchen, bathroom and primary bathroom, relocate/reconstruct the interior staircase, the installation of new windows and doors, and to replace the roofing materials.

After the removal of the bay windows the total proposed floor area would be 3,143 square feet, which exceeds the maximum allowable FAR of 2,569 for a lot of 5,137 square feet by 574 square feet. As previously mentioned, the existing residence was constructed in 1959 and significantly remodeled in 1990 prior to the adoption of the SROZ, which subsequently reduced the maximum allowable FAR of the property.

Neighborhood Comparison:

Staff compared the proposed project to properties within the surrounding area located along both sides of Pacific Avenue, Hill Street and Helix Avenue as shown on the map on the following page.



All of the properties are located within the MR Zone and also located within the SROZ; therefore, they have a maximum FAR allowance using a tiered calculation of .50 for the first 6,000 SF of lot area, 0.175 for the next 9,000 SF, 0.10 for the next 5,000 SF and 0.05 for the remainder of the lot. The maximum allowable FAR for this 5,137 SF lot is calculated as follows:

$$0.50 \times 5,137 \text{ SF lot} = 2,569 \text{ SF}$$

The 35 properties evaluated in this comparison are developed with existing homes that range in size from 320 square feet to 6,718 square feet, according to the County Assessor records. It should be noted that the County Assessor does not include the garage, covered porch area, unfinished basement, or accessory building area in the total square footage. Accordingly, the building area of the proposed project has been calculated for comparison purposes by deleting the area of the proposed garages, the covered porch, and ceiling height over 15 feet as follows:

Project Gross Building Area:	3,543 ft ²
Delete Garage:	- 423 ft ²
<hr/>	<hr/>
Project Area for Comparison to Assessor's Data:	3,120 ft ²

Table 2 below is based upon the County Assessor's data and SanGIS data. It contains neighboring lot sizes, the square footage of existing development and the maximum allowable square footage for potential development on each lot based on the original lot

size not the current (gross) lot size that in many cases has been reduced in size due to coastal bluff erosion.

Table 2:						
#	Property Address	Lot Size in ft ² (GIS)	*Existing ft ² Onsite (Assessor's)	Proposed / Recently Approved ft ²	Max. Allowable ft ² S.R.O.Z.	Zone
1	261 Pacific Avenue	4,798	3,023		2,399	MR
2	255 Pacific Avenue	4,346	3,018		2,173	MR
3	249 Pacific Avenue	4,352	1,364		2,176	MR
4	245 Pacific Avenue	4,826	3,284		2,413	MR
5	241 Pacific Avenue	5,137	3,004	3, 120	2,564	MR
6	235 Pacific Avenue	4,307	1,382		2,154	MR
7	231 Pacific Avenue	3,801	2,751		1,901	MR
8	225 Pacific Avenue	4,170	1,949		2,085	MR
9	219 Pacific Avenue	4,623	3,443		2,312	MR
10	215 Pacific Avenue	4,874	2,578		2,437	MR
11	211 Pacific Avenue	4,375	2,763		2,188	MR
12	205 Pacific Avenue	3,749	1,850		1,875	MR
13	201 Pacific Avenue	5,147	3,122		2,574	MR
14	200 Pacific Avenue	7,446	4,646		3,253	MR
15	208 Pacific Avenue	8,009	4,353		2,527	MR
16	232 Pacific Avenue	7,228	2,664		3,345	MR
17	238 Pacific Avenue	5,054	3,046		2,813	MR
18	239 Hill Street	6,973	3,086		2,978	MR
19	244 Pacific Avenue	5,626	2,370		2,641	MR
20	255 Hill Street	5,956	1,670		3,247	MR
21	252 Pacific Avenue	5,282	2,656		2,641	MR
22	259 Hill Street	7,412	4,461		3,247	MR
23	0 Pacific Avenue	5,153	0		2,577	MR
24	234 Hill Street	5,331	2,168		2,666	MR
25	250 Hill Street	10,214	6,718		3,737	MR
26	288 N. Helix Avenue	3,952	320		1,976	MR
27	222 N. Helix Avenue	3,526	1,342		1,763	MR
28	218 N. Helix Avenue	3,275	2,352		1,638	MR
29	212 N. Helix Avenue	3,568	2,349		1,784	MR
30	210 N. Helix Avenue	3,549	2,306		1,775	MR
31	137 S. Sierra Avenue	8,458	3,301		3,431	MR
32	147 S. Sierra Avenue	4,258	3,385		2,129	MR
33	201 s. Sierra Avenue	4,403	1,288		2,202	MR
34	207 S. Sierra Avenue	6347	4,140		3,061	MR
35	211 S. Sierra Avenue	4,012	832		2,006	MR
36	217 S. Sierra Avenue	6,946	2,231		3,166	MR

* Some of these structures exceed the maximum allowable floor area for the lot because they were built prior to the adoption of the SROZ, which reduced the maximum floor area for the lots.

Fences, Walls and Retaining Walls:

The SBMC allows for fences and walls or any combination thereof, to be no higher than 42 inches in height as measured from existing grade within the front yard setback. Fences, walls and retaining walls located within the rear and interior side yards are allowed to be up to six feet in height with an additional 24 inches that is 50% open to light and air. In addition, one architectural feature around a walkway can be proposed as long as the area of 8 feet by 12 feet is at least 50% open to light and air.

The plans indicate that a 5-foot 6-inch tall gate is proposed to be constructed with the first 2.5 feet solid and the top 3 feet 50% open. This gate will be located on the north side of the garage and will provide pedestrian access to the relocated staircase along the northern property line. An existing 6-foot-high fence is currently located along the north and south sides of the property. A 5 ft 6 in. fence that has the top two feet open to light and one pedestrian gate along the eastern property line are proposed in conformance with the maximum fence height regulations for fences within the front yard setback. A condition of approval has been added to the resolution that indicates that any proposed onsite fences, walls and any proposed railing located on top or any combination thereof shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).

Landscape:

The project is not subject to the water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified irrigated landscaped areas that exceed 500 square feet. The Applicant is not proposing any new irrigated landscaping.

The LCP Policy 4.26 requires the Applicant to cap or remove any permanent irrigation systems onsite unless the bluff property owner demonstrates, to the satisfaction of the City Engineer, that such irrigation has no material impact on bluff erosion. A condition has been added that if there are any permanent irrigation systems that they shall be capped or removed.

Parking:

The existing attached 423 square foot garage that is located at the street level provides vehicular access to the northeast corner of the residence. The garage will remain as it currently exists. The existing on grade staircase that abuts the face of the garage follows the northern elevation of the garage. The Applicant is proposing to reconstruct the staircase approximately 12 feet back from the face of the garage in order to add a door to the garage and a location to store the trash and recycling bins behind a proposed gate.

The existing two-car garage is located within the front yard setback however, it was constructed with the necessary building permits and is considered legal non-conforming therefore the property qualifies for the 400 square footage exemption for required parking in an enclosed garage.

Grading:

The proposed project includes a total grading quantity of 6 cubic yards of excavation for the footings of the proposed patio/patio cover and the relocation of two exterior staircases.

Lighting:

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

Useable Open Space:

The project consists of a covered patio addition and remodeling of an existing single-family residence with attached garage and associated site improvements; therefore, usable open space and recreational facilities are not required according to SBMC 17.20.040.

Property Frontage & Public Right-of-Way Improvements:

The existing property frontage is improved with concrete curb, gutter, and sidewalk. If approved, the Applicant will be required to improve the existing concrete curb along the entire property frontage. An Encroachment Maintenance and Removal Agreement (EMRA) will be required for the existing planters, retaining walls, and stairs in the public right-of-way.

Public Hearing Notice:

Notice of the City Council Public Hearing for this project was published in the San Diego Union Tribune more than 10 days prior to the public hearing. The same public notice was mailed to property owners and occupants within 300 feet of the proposed project site on March 31, 2023. As of the date of preparation of this Staff Report, Staff has not received any letters, phone calls, or emails from neighbors or interested parties in support of, or in opposition to, the proposed project.

In conclusion, if the Council can make the required findings, the proposed project, as conditioned, could be found in compliance with the requirements of the Certified LUP, Zoning Ordinance, and the General Plan, and could be found to meet the findings required to approve a DRP.

CEQA COMPLIANCE STATEMENT:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1 Exemption) of the 2022 State CEQA Guidelines which is an exemption for minor alteration of existing public or private structures or facilities including additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition, or 2,500 square feet, whichever is less.

FISCAL IMPACT: N/A

WORK PLAN: N/A

OPTIONS:

- Approve Staff recommendation adopting the attached Resolution 2023-033
- Approve Staff recommendation subject to additional specific conditions necessary for the City Council to make all required findings for the approval of a DRP.
- Deny the project if all required findings for the DRP cannot be made.

DEPARTMENT RECOMMENDATION:

The proposed project meets the minimum objective requirements under the LUP, SBMC, is consistent with the General Plan and may be found, as conditioned, to meet the discretionary findings required as discussed in this report to approve a DRP. Therefore, Staff recommends that the City Council:

1. Conduct the Public Hearing: Open the Public Hearing, Report Council Disclosures, Receive Public Testimony, and Close the Public Hearing.
2. Find the project exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and
3. If the City Council makes the requisite findings and approves the project, adopt Resolution 2023-033 conditionally approving an interior remodel to an existing multi-level, single family residence as well as the relocation of two exterior staircases and the construction of a covered porch area at 241 Pacific Avenue.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-033
2. Bluff Setback Map
3. Project Plans
4. GeoSoils Reports
5. CTE, Inc. Letters

RESOLUTION 2023-033

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, CONDITIONALLY APPROVING A DEVELOPMENT REVIEW PERMIT TO REMODEL AND ADD A COVERED PORCH TO AN EXISTING SINGLE-FAMILY RESIDENCE AT 241 PACIFIC AVENUE, SOLANA BEACH

APPLICANTS: Richard Schrager
CASE NO.: DRP22-014

WHEREAS, Richard Schrager (hereinafter referred to as “Applicant”) has submitted an application for a Development Review Permit (DRP) pursuant to Title 17 (Zoning), of the Solana Beach Municipal Code (SBMC); and

WHEREAS, the Public Hearing was conducted pursuant to the provisions of Solana Beach Municipal Code Section 17.72.030; and

WHEREAS, at the Public Hearing on April 12, 2023, the City Council received and considered evidence concerning the proposed application; and

WHEREAS, the City Council of the City of Solana Beach found the application request exempt from the California Environmental Quality Act pursuant to Section 15301 of the State CEQA Guidelines; and

WHEREAS, this decision is based upon the evidence presented at the hearing and any information the City Council gathered by viewing the site and the area as disclosed at the hearing.

NOW THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the foregoing recitations are true and correct.
2. That the request for a DRP to construct an interior remodel and the addition of a covered patio to an existing two-story, single-family residence with an attached garage located at 241 Pacific Avenue is conditionally approved based upon the following findings and subject to the following conditions:
3. FINDINGS
 - A. In accordance with Section 17.68.040 (Development Review Permit) of the City of Solana Beach Municipal Code, the City Council finds the following:

- I. *The proposed project is consistent with the General Plan and all applicable requirements of SBMC Title 17 (Zoning Ordinance), including special regulations, overlay zones and specific plans.*

General Plan Consistency: The proposed project, as conditioned, is consistent with the City's General Plan designation of Medium Density Residential, which allows for single-family residential development with a maximum density of 5-7 dwelling units per acre. Further, the proposed development is consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

Local Coastal Program Land Use Plan Consistency: The proposed project is consistent with all applicable requirements of the City's certified Local Coastal Program Land Use Plan including key policies related to bluff edge setbacks for new development.

Zoning Ordinance Consistency: The proposed project is consistent with all applicable requirements of the Zoning Ordinance (Title 17) (SBMC 17.20.030 and 17.48.040), which delineates maximum allowable Floor Area Ratio (FAR), Permitted Uses and Structures (SBMC Section 17.20.020), which provides for uses of the property for a single-family residence. Further, the proposed project adheres to all property development regulations established for the Medium Residential (MR) Zone and cited by SBMC Section 17.020.030 as well as the specific development regulations of the Scaled Residential Overlay Zone (SROZ) cited in SBMC Section 17.48.040.

The design of the proposed project is consistent with the provisions for minimum yard dimensions (i.e., setbacks) and the maximum FAR, maximum building height, and parking requirements. Prior to building permit issuance, the project will be reviewed for compliance with the landscape regulations as established by SBMC Section 17.56.

- II. *The proposed development complies with the following development review criteria set forth in Solana Beach Municipal Code Section 17.68.040.F:*

- a. *Relationship with Adjacent Land Uses: The development shall be designed in a manner compatible with and where feasible, complimentary to existing and potential development in the immediate vicinity of the project site. Site planning on the perimeter of the development shall give consideration to the protection of surrounding areas from potential adverse effects,*

as well as protection of the property from adverse surrounding influences.

The property is located within the MR Zone. Other nearby properties are also located within the MR Zone and are developed with one and two-story, single-family residences. The project site is currently developed with a single-family residence.

The project, as designed, is consistent with the permitted uses for the MR Zone as described in SBMC Sections 17.20.010 and 17.12.020. The property is designated Medium Density Residential in the General Plan and intended for single-family residences developed at a maximum density of five to seven dwelling units per acre. The proposed development could be found to be consistent with the objectives of the General Plan as it encourages the development and maintenance of healthy residential neighborhoods, the stability of transitional neighborhoods, and the rehabilitation of deteriorated neighborhoods.

The property is not located within any of the City's Specific Plan areas; however, it is located within the boundaries of the SROZ and within the Coastal Zone. The project has been evaluated, and could be found to be in conformance with, the regulations of the SROZ, which are discussed further in this report. As a condition of project approval, the Applicant would be required to obtain a Coastal Development Permit, Waiver or Exemption from the California Coastal Commission prior to the issuance of a Building Permit.

- b. Building and Structure Placement: Buildings and structures shall be sited and designed in a manner which visually and functionally enhances their intended use.*

The Applicant is proposing to remodel the interior of the existing residence, construct a new 316 square foot covered patio in front of the southeast corner of the main level, and relocate two exterior staircases. The existing staircase along the northern elevation of the garage would be reconstructed approximately 12 feet west of the face of the garage in order to allow for a door to be added to the northern elevation garage and provide an area to store the garbage and recycle bins. The existing staircase that provides pedestrian access to the main level entry area will also be relocated in order to construct the new covered porch south of the existing garage. The covered porch would be

13 feet above the existing grade. A new gate and guardrail are proposed to enclose the front yard area.

The interior remodel scope would include the removal of one bay window of 11 square feet from both the main and upper levels, the renovation of the kitchen, bathroom and primary bathroom, relocate/reconstruct the interior staircase, the installation of new windows and doors, and to replace the roofing materials.

After the removal of the bay windows the total proposed floor area would be 3,143 square feet, which exceeds the maximum allowable FAR of 2,569 for a lot of 5,137 square feet by 574 square feet. As mentioned before, the existing residence was constructed in 1990 prior to the adoption of the SROZ which reduced the maximum allowable FAR of the property.

- c. *Landscaping: The removal of significant native vegetation shall be minimized. Replacement vegetation and landscaping shall be compatible with the vegetation of the surrounding area. Trees and other large plantings shall not obstruct significant views when installed or at maturity.*

The project is not subject to the water efficient landscaping regulations of SBMC Chapter 17.56. According to SBMC Section 17.56.040, the regulations apply to modified irrigated landscaped areas that exceed 500 square feet. The Applicant is not proposing any new irrigated landscaping.

The LCP Policy 4.26 requires the Applicant to cap or remove any permanent irrigation systems onsite unless the bluff property owner demonstrates, to the satisfaction of the City Engineer, that such irrigation has no material impact on bluff erosion. A condition has been added that if there are any permanent irrigation systems that they shall be capped or removed.

- d. *Roads, Pedestrian Walkways, Parking and Storage Areas: Any development involving more than one building or structure shall provide common access roads and pedestrian walkways. Parking and outside storage areas, where permitted, shall be screened from view, to the extent feasible, by existing topography, by the placement of buildings and structures, or by landscaping and plantings.*

The existing attached 423 square foot garage that is located at the street level provides vehicular access to the northeast corner of the residence. The garage will remain as it currently exists.

The existing on grade staircase that abuts the face of the garage follows the northern elevation of the garage. The Applicant is proposing to reconstruct the staircase approximately 12 feet back from the face of the garage in order to add a door to the garage and a location to store the trash and recycling bins behind a proposed gate.

The existing two-car garage is located within the front yard setback however, it was constructed with the necessary building permits and is considered legal non-conforming therefore the property qualifies for the 400 square footage exemption for required parking in an enclosed garage.

- e. *Grading: To the extent feasible, natural topography and scenic features of the site shall be retained and incorporated into the proposed development. Any grading or earth-moving operations in connection with the proposed development shall be planned and executed so as to blend with the existing terrain both on and adjacent to the site. Existing exposed or disturbed slopes shall be landscaped with native or naturalized non-native vegetation and existing erosion problems shall be corrected.*

The proposed project includes a total grading quantity of 6 cubic yards of excavation for the footings of the new porch addition and the relocation of the exterior staircases.

- f. *Lighting: Light fixtures for walkways, parking areas, driveways, and other facilities shall be provided in sufficient number and at proper locations to assure safe and convenient nighttime use. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding areas per SBMC 17.60.060 (Exterior Lighting Regulations).*

A condition of project approval includes that all new exterior lighting fixtures comply with the City-Wide Lighting Regulations of the Zoning Ordinance (SBMC 17.60.060). All light fixtures shall be shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities as to be detrimental to the surrounding area.

- g. *Usable Open Space: Recreational facilities proposed within required usable open space shall be located and designed to maintain essential open space values.*

The project consists of remodeling of an existing single-family residence, attached garage, associated site improvements and the addition of a covered patio therefore, usable open space and recreational facilities are not required according to SBMC 17.20.040.

- III. All required permits and approvals, including variances, conditional use permits, comprehensive sign plans, and coastal development permits, have been obtained prior to or concurrently with the development review permit.*

All required permits are being processed concurrently with the Development Review Permit.

- IV. If the development project also requires a permit or approval to be issued by a state or federal agency, the city council may conditionally approve the development review permit upon the Applicants obtaining the required permit or approval from the other agency.*

The Applicant is required to obtain approval from the CCC prior to issuance of Building Permits.

4. CONDITIONS

Prior to use or development of the property in reliance on this permit, the Applicants shall provide for and adhere to the following conditions:

A. Community Development Department Conditions:

- I. The Applicant shall pay required Development Fees Public Facilities Fees, as established by SBMC Section 17.72.020 and Resolution 1987-36.
- I. The Applicant shall pay required Fire Mitigation, Park Development and Public Use Facilities Impact Fees, as established by SBMC Chapter 15.60, Chapter 15.65, Chapter 15.66, and Resolution 2018-147.
- II. Building Permit plans must be in substantial conformance with the plans presented to the City Council on April 12, 2023, and located in the project file with a submittal date of March 10, 2023.
- III. Any proposed onsite fences, walls and any proposed railing located on top or any combination thereof shall comply with applicable regulations of SBMC Section 17.20.040 and 17.60.070 (Fences and Walls).

- IV. The Applicants shall obtain required California Coastal Commission (CCC) approval of a Coastal Development Permit, Waiver or Exemption as determined necessary by the CCC, prior to the issuance of a building permit by the City.
- V. The Applicants shall remove or cap any/all permanent irrigation systems onsite unless the bluff property owner demonstrates, to the satisfaction of the Public Works Director, that such irrigation has no material impact on bluff erosion (e.g., watering hanging plants over hardscape which drains to the street).
- VI. All new bluff property landscaping shall consist of native, non-invasive, drought-tolerant, fire-resistant, and salt-tolerant species.
- VII. Any new exterior lighting fixtures shall be in conformance with the City-Wide Lighting Regulations of SBMC 17.60.060.
- VIII. All light fixtures shall be appropriately shielded so that no light or glare is transmitted or reflected in such concentrated quantities or intensities that render them detrimental to the surrounding area.
- IX. Construction vehicles shall be parked on the subject property at all times when feasible. If construction activity prohibits parking on the subject property, the Applicant shall ensure construction vehicles are parked in such a way to allow sufficient vehicular access on Pacific Avenue and minimize impact to the surrounding neighbors.
- X. The Applicant shall connect to temporary electrical service as soon as feasible to the satisfaction of the City. The use of gas-powered generator(s) during construction activity is discouraged and shall be limited only to selective use at the discretion of the City.
- XI. Pursuant to SBMC 17.68.040 subsection K, the signed final development plan shall be the official site layout for the property and shall be attached to any application for a building permit for the subject property. Any subsequent revisions or changes to the final development plan as approved by the Council will require an amendment to the approved DRP.

B. Fire Department Conditions:

- I. **OBSTRUCTION OF ROADWAYS DURING CONSTRUCTION:** All roadways shall be a minimum of 20 feet in width during construction and maintained free and clear, including the parking of vehicles per

the 2019 California Fire Code Chapter 5 Section 503.4 and 503.2.1.

- II. ADDRESS NUMBERS: STREET NUMBERS: Approved numbers and/or addresses shall be placed on all new and existing buildings and at appropriate additional locations as to be plainly visible and legible from the street or roadway fronting the property from either direction of approach. Said numbers shall contrast with their background, and shall meet the following minimum standards as to size: 4" high with a ½" inch stroke width for residential buildings, 8" high with a ½" stroke for commercial and multi-family residential buildings, 12" high with a 1" stroke for industrial buildings. Additional numbers shall be required where deemed necessary by the Fire Marshal, such as rear access doors, building corners, and entrances to commercial centers per the 2019 California Fire Code Chapter 5 Section 505.1.
- III. AUTOMATIC FIRE SPRINKLER SYSTEM-ONE- AND TWO-FAMILY DWELLINGS: Structures shall be protected by an automatic fire sprinkler system designed and installed. Plans for the automatic fire sprinkler system shall be submitted as Deferred Submittal and approved by the Solana Beach Fire Department prior to installation per the Solana Beach Municipal Code Title 15 Building and Construction Chapter 15.32 Fire Code Section 15.32.230 Section 903.2.01. Sprinklers will be required due to the significant modification to the change of stairs and roof.
- IV. CLASS "A" ROOF: All structures shall be provided with a Class "A" Roof covering to the satisfaction of the Solana Beach Fire Department and per the 2019 California Building Code Chapter 15 Section 1505.

C. Engineering Department Conditions:

- I. The Applicant is required to obtain an Encroachment Permit in accordance with SBMC Section 11.20 for the below frontage improvements being done in the public right-of-way. The frontage improvements shall be done to the satisfaction of the City Engineer prior to the occupancy of the proposed project:
 - a. Construction of a new concrete curb and any damaged sidewalk panels to the satisfaction of the City Engineer along Pacific Ave.
 - b. Construction of the concrete stairs.
 - c. Construction of the sidewalk underdrain pipes discharging the runoff from the planters.

- II. The Applicant shall record the Encroachment Maintenance Removal Agreement (EMRA) with the County of San Diego prior to the release of the Grading Bond and Security Deposit. The EMRA shall be recorded against this property for all private improvements in the Public Right-Of-Way including but not limited to:
 - a. Underdrain pipes.
 - b. Concrete retaining walls.
 - c. Planters.
 - d. Concrete stairs.
 - e. Pavers at the driveway approach.
 - f. Landscaping & irrigation.
 - III. All construction demolition materials shall be recycled according to the City's Construction and Demolition recycling program and an approved Waste Management Plan shall be submitted.
 - IV. Construction fencing shall be located on the subject property unless the Applicant has obtained an Encroachment Permit in accordance with chapter 11.20 of the SBMC which allows otherwise.
5. ENFORCEMENT: Pursuant to SBMC 17.72.120(B) failure to satisfy any and all of the above-mentioned conditions of approval is subject to the imposition of penalties as set forth in SBMC Chapters 1.1.6 and 1.18 in addition to any applicable revocation proceedings.
 6. EXPIRATION: The Development Review Permit for the project will expire 24 months from the date of this Resolution, unless the Applicants have obtained building permits and have commenced construction prior to that date, and diligently pursued construction to completion. An extension of the expiration date of this Development Review Permit may be applied for pursuant to SBMC 17.72.110 subject to City Council approval.
 7. INDEMNIFICATION AGREEMENT: The Applicants shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicants of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own

defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicants shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicants regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicants shall not be required to pay or perform any settlement unless such settlement is approved by the Applicants.

NOTICE TO APPLICANTS: Pursuant to Government Code Section 66020, you are hereby notified that the 90-day period to protest the imposition of the fees, dedications, reservations or other exactions described in this resolution commences on the effective date of this resolution. To protest the imposition of any fee, dedications, reservations or other exactions described in this resolution you must comply with the provisions of Government Code Section 66020. Generally, the resolution is effective upon expiration of the tenth day following the date of adoption of this resolution, unless the resolution is appealed or called for review as provided in the Solana Beach Zoning Ordinance.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Solana Beach, California, held on the 12th day of April 2023, by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSENT: Councilmembers –
ABSTAIN: Councilmembers –

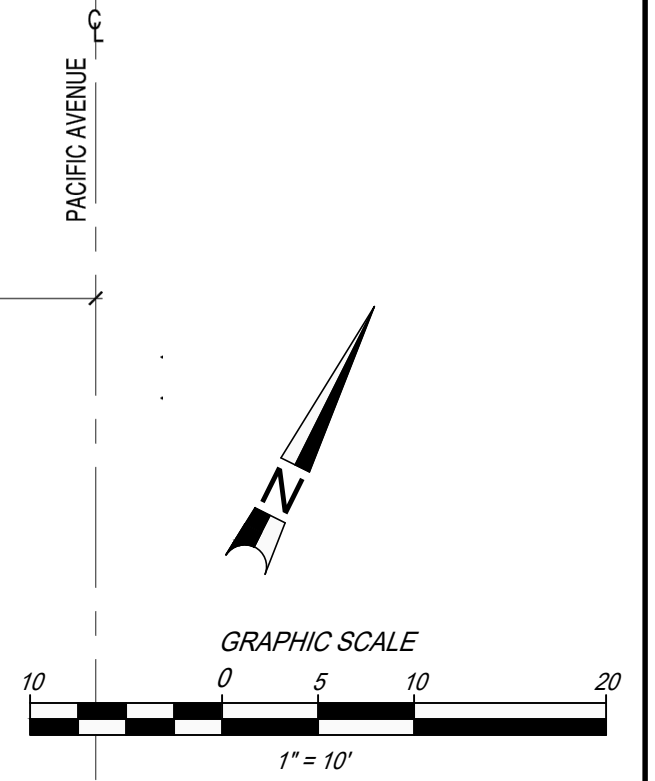
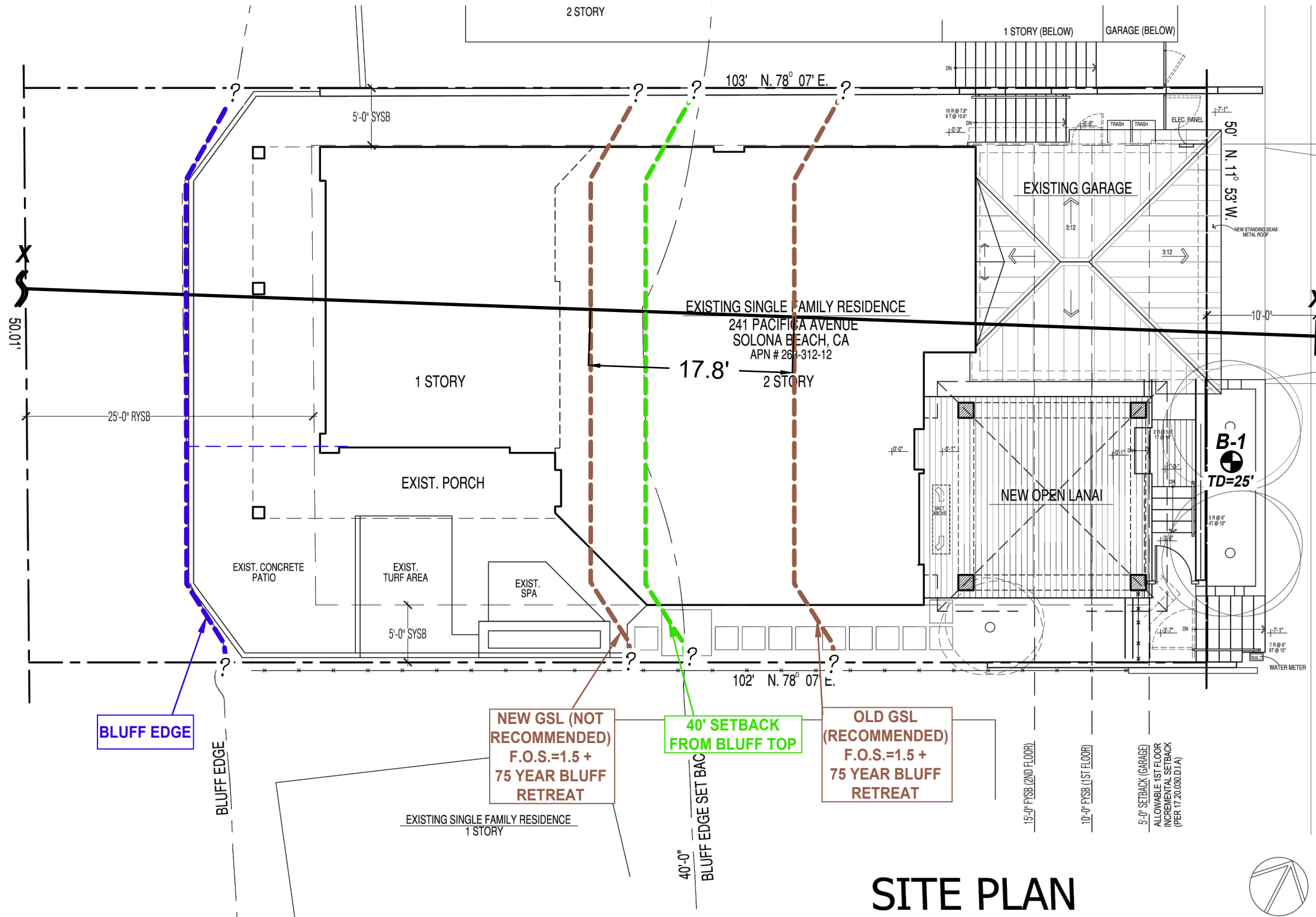
LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk



DRAFT

SITE PLAN

BASE MAP FROM:



SCHRAGER RESIDENCE
241 PACIFIC AVENUE, SOLANA CA

GSI LEGEND

- B-1** — APPROXIMATE LOCATION OF EXPLORATORY BORING WITH TOTAL DEPTH IN FEET
- TD=25'** — APPROXIMATE LOCATION OF GEOLOGIC CROSS SECTION

ALL LOCATIONS ARE APPROXIMATE
This document or file is not a part of the Construction Documents and should not be relied upon as being an accurate depiction of design.



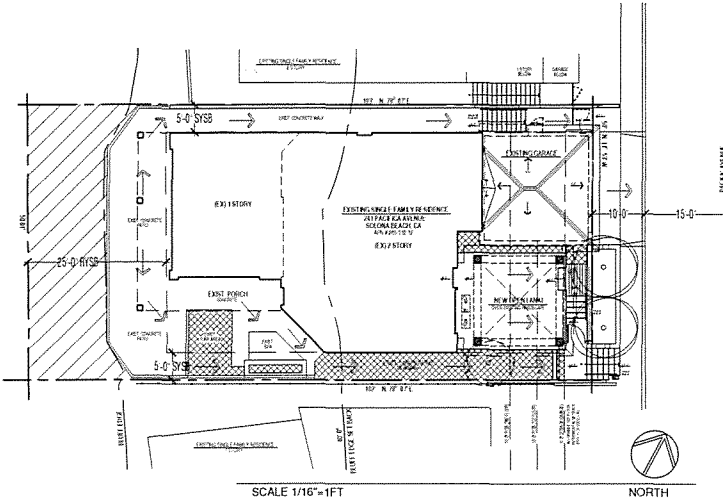
RE-REVISED BLUFF RETREAT MAP

Plate 1a

W.D. 8278-A5-SC DATE: 02/23 SCALE: 1" = 10'

ATTACHMENT 2

IMPERVIOUS AREA DIAGRAM:



IMPERVIOUS AREA	EXISTING	TBR	NEW	TOTAL
ROOF HOUSE & GARAGE	2,920 SF	0	0	2,920 SF
DRIVEWAY	0	0	0	0
FRONT HARDSCAPE	451 SF	0	0	451 SF
REAR HARDSCAPE	617 SF	0	0	617 SF
LANDSCAPED AREA	402 SF	0	0	402 SF
BLUFF AREA (NOT INCL.)	-747 SF	0	0	-747 SF
TOTAL LOT AREA (NO BLUFF)	4,390 SF	0	0	4,390 SF
TOTAL LOT AREA	5,137 SF	0	0	5,137 SF

NOTE: NEW LANA ROOF OVER EX. HARDSCAPE. NO CHANGES TO THE EXISTING IMPERVIOUS AREA.

NOTES:

- ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE PREMISES.
- STATE HEALTH AND SAFETY CODE SEC 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSSLINKED POLYETHYLEN (PEX) FOR INTERIOR WATER SUPPLY PIPING.
- LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE @ 60 PSI. AND MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI [CGBSC 4.303.1.4.1]
- MAX FLOW RATE OF SHOWER HEADS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE @ 80 PSI. AND MAXIMUM FLOW RATE OF 1.8 GPM @ 80 PSI.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.
- PROVIDE ULTRA LOW FLUSH TOILETS.
- PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION
- LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
- SEE MECHANICAL PLAN FOR REQUIRED ROOM EXHAUST /
- SEE POWER PLAN FOR SMOKE DETECTORS & CO2 ALARMS.

APPLICABLE CODES

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 BUILDING ENERGY EFFICIENCY STANDARDS

STRUCTURAL COMPONENT TABLE

STRUCTURAL COMPONENT	EXISTING	PROPOSED OR MODIFIED	PERCENT CHANGE / DIFFERENCE	LUP THRESHOLD EXCEEDED?
EXTERIOR WALLS	370'-4" LF	67'-10" LF	18%	
FLOOR AREA	3,336 SF	22 SF	0.006%	
FLOOR STRUCTURE	2,913 SF	230 SF	8%	
ROOF STRUCTURE	2,936 SF	67 SF	2%	
FOUNDATION	423 SF	0 SF	0%	

(SEE D1.1-D7.1)

PROJECT TEAM:

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PROJECT DATA

SITE ADDRESS: 241 PACIFIC AVENUE . SOLANA BEACH CA 92037

APN: 263-312-12

LOT AREA: 5,137 SF (1.12 ACRE)

BUILT-IN: 1952

HISTORIC: YES NO

EXISTING USE: SINGLE FAMILY DWELLING

PROPOSED USE: SINGLE FAMILY DWELLING

LEGAL DESC: THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
LOT 14 IN BLOCK 23 OF SOLANA BEACH, IN THE CITY OF SOLANA BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THERE OF NO. 1749, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 5, 1923. EXCEPTING THEREFROM ANY PORTION THEREOF OR NOW LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC COAST.

OWNER: RICK & LAURA SCHRAGER
241 PACIFIC AVENUE
SOLANA BEACH, CA 92075

BASE ZONE: MR-MEDIUM RESIDENTIAL

OVERLAY ZONES: SR 02- SCALED RESIDENTIAL OVERLAY ZONE

OCCUPANCY: R3

CONSTRUCTION TYPE: V-B

BUILDING HEIGHT: 20'-0"

OF STORIES EXISTING: 2 STORY BUILDING

OF STORIES PROPOSED: 2 STORY BUILDING

PARKING: NO. OF SPACES REQUIRED: 2 PROVIDED: 2

EASEMENTS & ENCROACHMENTS: NONE

HEIGHT LIMIT: 25'-0" - 2 STORY
16'-0" - 1 STORY

BUILDING HEIGHT: 22'-0" - 2 STORY
11'-6" - 1 STORY

BCS STOPS: NONE

FIRE DEPT. REQ'MENT: PROVIDE BUILDING ADDRESS NUMBERS VISIBLE & LEGIBLE FROM STREET

SCOPE OF WORK - PERMIT

THE IMPROVEMENTS INCLUDE REMOVAL OF THE EXISTING INTERIOR WINDING STAIRCASE AND REPLACING IT WITH A CONVENTIONAL SWITCHBACK STAIRCASE. REMODELING THE MASTER BEDROOM AREA AND CLOSET, REDUCING THE SIZE OF BEDROOM 3 ON THE MAIN LEVEL, ADDING A POWDER ROOM AND PANTRY, REMOVAL OF A SMALL PORTION OF ROOF, AND CONSTRUCTION OF A NEW LANA ADJACENT THE EXISTING GARAGE. OTHER THAN THE LANA, NO ADDITIONAL SQUARE FOOTAGE IS PROPOSED. NEW FOUNDATIONS ARE PROPOSED FOR THE LANA, AN EXPOSED ACCESSORY STRUCTURE NEAR THE STREET (PACIFIC AVENUE) AND EAST OF THE GSI SETBACK. RETROFITTING OF THE EXISTING FOUNDATION IS PLANNED AT SEVERAL LOCATIONS EAST OF THE 40-FOOT SETBACK LINE. THIS WILL CONSIST OF SIX FOOTINGS FOR NEW POST TO FACILITATE FLOOR FRAMING ADJUSTMENTS AND TWO FOOTINGS FOR SHEAR WALLS FOR SEISMIC UPGRADES.

AREA SUMMARIES

GROSS FLOOR AREA SUMMARY	
EXISTING MAIN LEVEL GROSS	1,884 SF
EXISTING UPPER LEVEL GROSS (INCLUDES PHANTOM)	1,258 SF
EXISTING GARAGE GROSS	423 SF
TOTAL EX. GROSS FLOOR AREA	3,565 SF
EX. ML BAY TBR	-11 SF
EX. UL BAY TBR	-11 SF
TOTAL EX. GROSS FLOOR AREA TO REMAIN	3,543 SF
TOTAL EXISTING GROSS	3,565 SF (65)
TOTAL PROPOSED GROSS	3,543 SF
TOTAL LOT AREA HAS A REDUCTION OF 200 SF AS A RESULT OF THE EROSION LOSS OVER TIME PER GEOTECH REPORT.	5,137 SF - 200 SF = 4,937 LOT AREA
PROPOSED FAR	3,543 SF / 4,937 SF = .72

GRADING QUANTITY

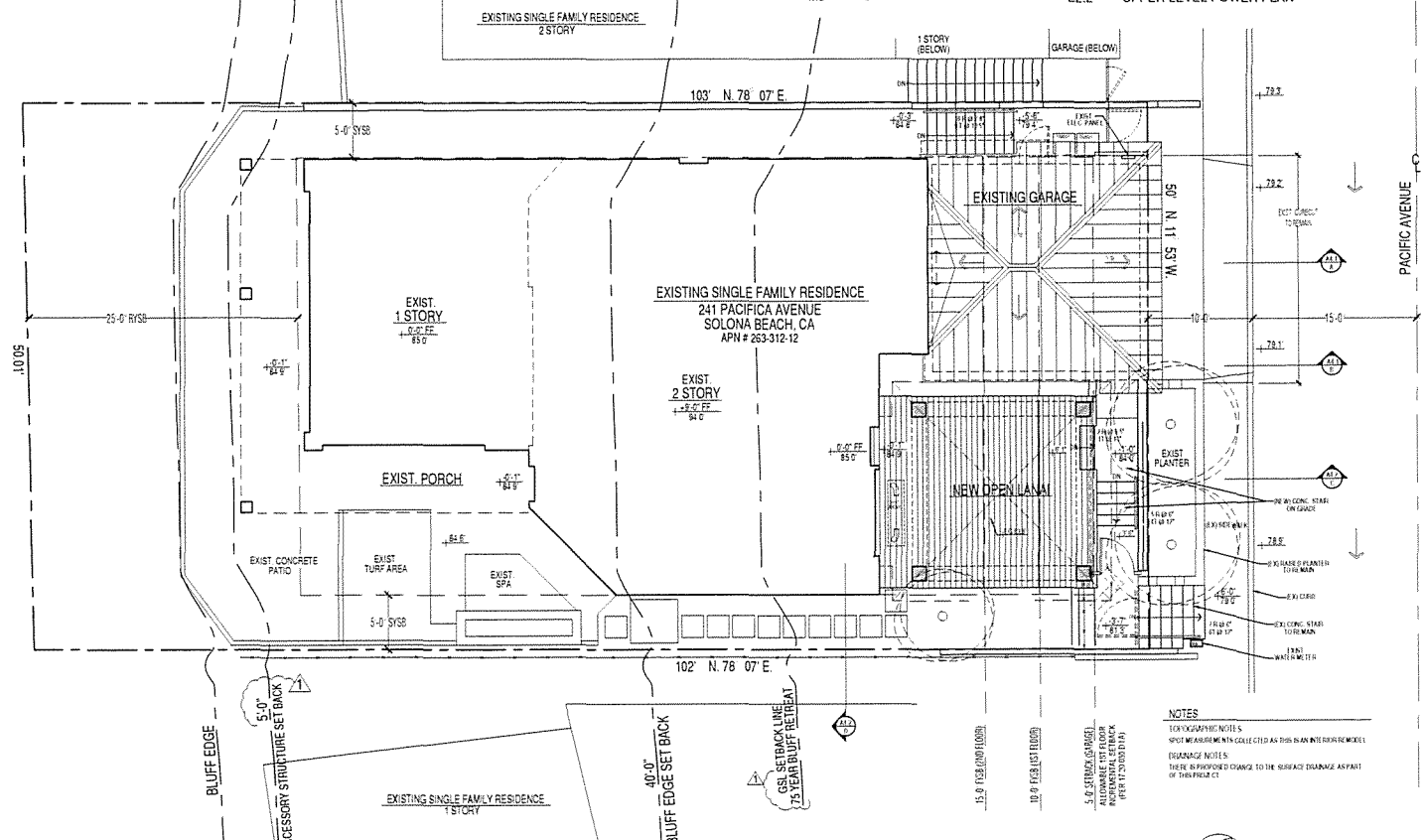
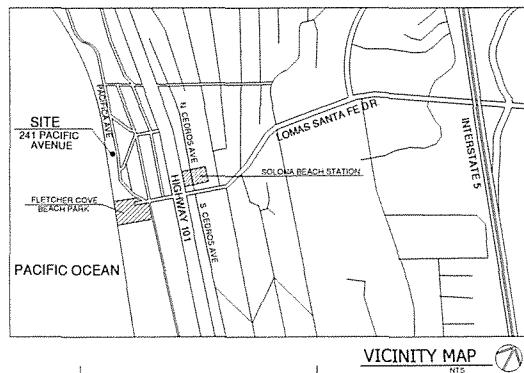
EXISTING EXTERIOR STAIR TO BE SHIFTED (NORTH ELEV) / EXCAVATE A TOTAL OF 8 CUBIC YARDS TO ACCOMMODATE NEW CONCRETE STAIR ON GRADE. (REF. TO SHEET A3.2)

GROSS FLOOR AREA SUMMARY

LOT AREA	5,137 SF
NET LOT AREA	
MAX ALLOWABLE GFA	5,137 x .50 = 2569 SF
GARAGE ALLOWANCE	400 SF
MAX ALLOWABLE	2,569 SF

PROPOSED FLOOR AREA / SQFT BREAKDOWN (SEE SHEET A2.3)

EXISTING FIRST FLOOR LIVING AREA	1,884 SF
FIRST FLOOR LIVING AREA TBR	-11 SF
EXISTING SECOND FLOOR LIVING AREA	1,258 SF
SECOND FLOOR LIVING AREA TBR	-11 SF
EXISTING GARAGE	423 SF
GARAGE ADDITION	0 SF
COVERED & ENCLOSED PATIO	0 SF
ACCESSORY DWELLING UNIT (ADU)	0 SF
SUBTOTAL OF FLOOR AREA	3,543 SF
OFF- STREET PARKING EXEMPTION (2 SPACES)	-400 SF
TOTAL PROPOSED FLOOR AREA	3,143 SF
PROPOSED LANA (OPEN 3 SIDES)	316 SF (NEW)



SITE PLAN
SCALE 1/8"=1FT



ATTACHMENT 3

SHEET INDEX

- C1.1 SITE PLAN
- C1.2 BMP PLAN
- EX1.1 EXISTING MAIN LEVEL PLAN
- EX1.2 EXISTING UPPER LEVEL PLAN
- EX1.3 EXISTING GARAGE LEVEL PLAN
- EX3.1 EXISTING ELEVATIONS
- EX3.2 EXISTING ELEVATIONS
- EX4.1 EXISTING BUILDING SECTIONS
- EX5.1 EXISTING ROOF PLAN
- D1.1 MAIN LEVEL DEMOLITION PLAN
- D1.2 UPPER LEVEL DEMOLITION PLAN
- D1.3 GARAGE LEVEL DEMOLITION PLAN
- D5.1 ROOF DEMOLITION PLAN
- D6.1 DEMOLITION ISOMETRICS
- D7.1 ALTERED EXTERIOR WALL PLANS
- D7.2 ALTERED FOUNDATION PLANS
- D7.3 ALT. FLOOR AND ROOF FRAMING PLANS
- A1.0 GENERAL NOTES
- A1.1 MAIN LEVEL PLAN
- A1.2 UPPER LEVEL PLAN
- A1.3 GARAGE LEVEL PLAN
- A2.1 MAIN LEVEL DIMENSIONAL PLAN
- A2.2 UPPER LEVEL DIMENSIONAL PLAN
- A2.3 F.A.R. FLOOR PLANS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A5.1 ROOF PLAN
- A6.1 MAIN LEVEL REFLECTED CEILING PLAN
- A6.2 UPPER LEVEL REFLECTED CEILING PLAN
- A8.1 DOOR & WINDOW SCHEDULE
- S1.0 TYPICAL STRUCTURAL NOTES
- S1.1 TYPICAL SPECIAL INSPECTION NOTES
- S2.0 TYPICAL FOUNDATION DETAILS
- S2.1 TYPICAL FRAMING DETAILS
- S2.2 TYPICAL SHEAR-WALL DETAILS
- S2.3 TYPICAL SHEAR TRANSFER DETAILS
- S2.4 DETAILS
- S2.5 DETAILS
- S3.0 GARAGE FOUNDATION PLAN
- S3.1 MAIN LEVEL FOUNDATION PLAN
- S3.2 MAIN LEVEL FLOOR FRAMING PLAN
- S3.3 UPPER ROOF FRAMING PLAN
- S4.0 FOUNDATION DETAILS
- S4.1 FRAMING DETAILS
- S4.2 FRAMING DETAILS
- M1.1 MAIN LEVEL MECHANICAL PLAN
- M1.2 UPPER LEVEL MECHANICAL PLAN
- T-24 TITLE 24 / CALIF. ENERGY CALC'S.
- E1.1 MAIN LEVEL LIGHTING PLAN
- E1.2 UPPER LEVEL LIGHTING PLAN
- E2.1 MAIN LEVEL POWER PLAN
- E2.2 UPPER LEVEL POWER PLAN



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- 11-7-22

SHEET NO.

C1.1

**STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S**

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- 1) ALL REQUIREMENTS OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP'S
- 2) THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER
- 3) ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION
- 4) THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING & GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES
- 5) THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND /OR STOP WORK NOTICES
- 6) THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/ EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY
- 7) THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION. CONCRETE RINSE OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/ WPCP
- 8) THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT WHICHEVER IS SOONER
- 9) IF A NON STORM WATER DISCHARGE LEAVES THE SITE THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGE. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR
- 10) EQUIPMENT FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT
- 11) THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND

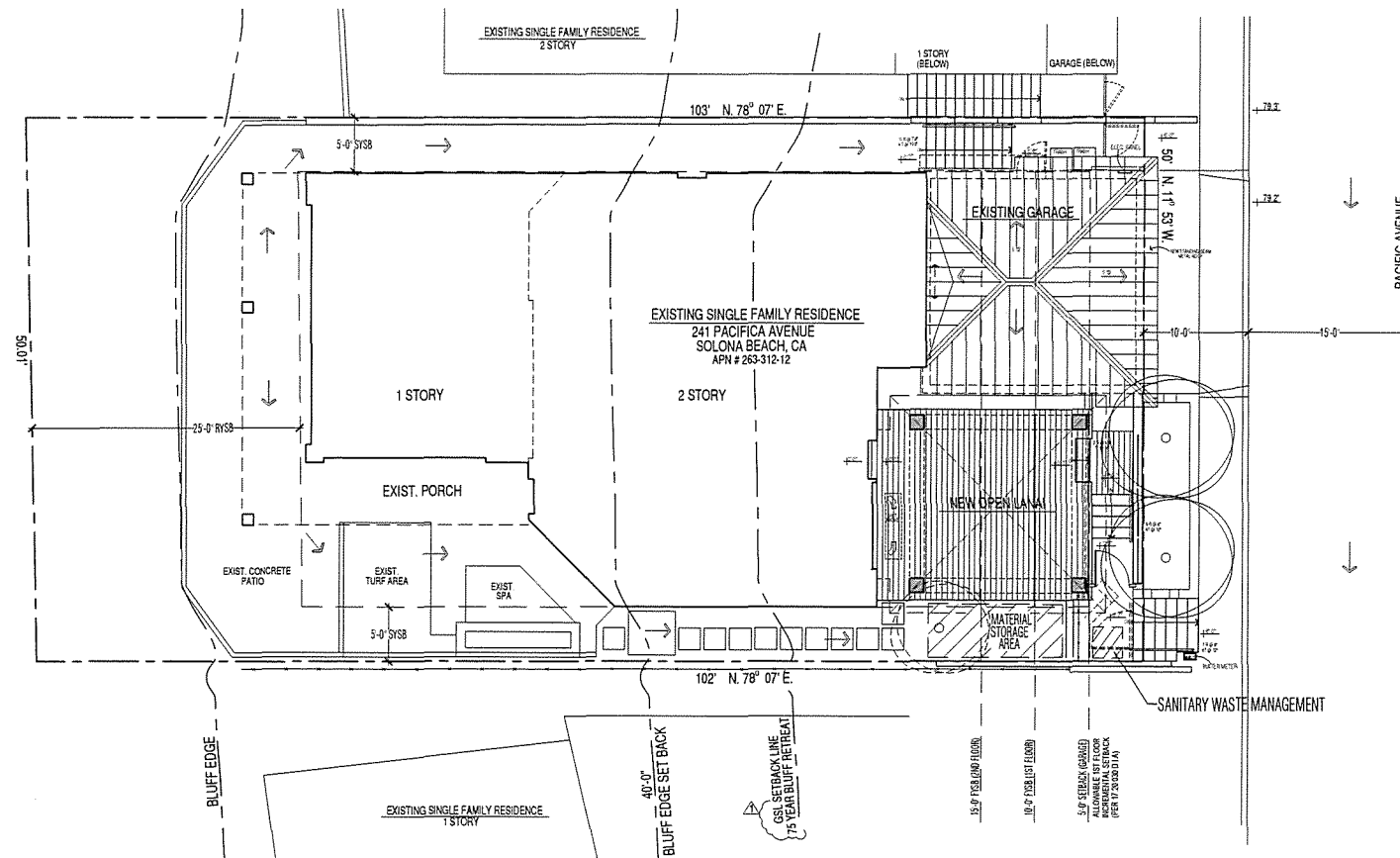
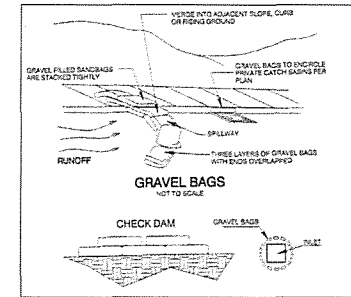
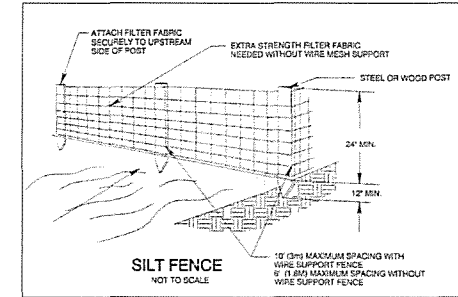
- 12) THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORSEEN CIRCUMSTANCES TO PREVENT NON STORM WATER AND SEDIMENT-LOADED DISCHARGES
- 13) THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUND WATERS CREATE A HAZARDOUS CONDITION
- 14) ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/ WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER
- 15) AS NECESSARY THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK OWNER/ DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES
- 16) THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS
- 17) CONSTRUCTION ENTRANCE AND EXIT AREA
TEMPORARY CONSTRUCTION EXITS AND ENTRANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELLED WAYS. WIDTH SHALL BE 10 FT OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE
(a) NON STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE CITY OF SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL"

STORM WATER CONSTRUCTION B.M.P'S

- 18) SILT FENCES SHALL BE USED TO PROVIDE EROSION AND SEDIMENT CONTROL. BOTTOM OF FENCES SHALL BE KEVED IN A MIN OF 12" SEE CASQA MANUAL SE-1 FOR DETAILS
- 19) ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS, SUCH AS SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER
- 20) A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECT WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE. SEE CASQA MANUAL WM-8, WM-3 FOR DETAILS
- 21) SIGN SHALL BE INSTALLED ADJACENT TO CONCRETE WASHOUT FACILITY TO INFORM EQUIPMENT OPERATORS TO UTILIZE PROPER FACILITIES FOR COMPLETE DETAILS SEE CASQA STORM WATER QUALITY HANDBOOK CONCRETE WASTE MANAGEMENT WM-8
- 22) ALL EROSION/ SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- 23) ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES. PROVIDE EROSION CONTROL BLANKET ON TEMPORARY CUT SLOPES DURING WINTER MONTHS PER CALTRANS MANUAL SECTION 55-7
- 24) THE STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT. BAGGED MATERIALS SHALL BE PLACED ON PALLETS AND UNDER COVER. FOR COMPLETE DETAILS SEE CASQA STORM WATER QUALITY HANDBOOK MATERIAL STORAGE AND SPILL PREVENTION WM-1, WM-3, WM-4
- 25) PROVIDE NUMBERS OF SUFFICIENT SIZE AND NUMBER TO CONTAIN SOLID WASTE SEE ALSO CITY OF SAN DIEGO WASTE MANAGEMENT FROM WM-1

EROSION AND SEDIMENT CONTROL NOTES

EROSION CONTROL BLANKETS	INSTALL ON ANY DISTURBED SITE WITH SLOPE GREATER THAN 3:1 SEE CASQA MANUAL EC-7 FOR DETAILS
PRESERVE EXISTING VEGETATION	EXISTING VEGETATION SHALL BE PRESERVED AS MUCH AS POSSIBLE SEE CASQA MANUAL EC-2 FOR DETAILS
FIBER ROLLS	USE FIBER ROLLS ON SLOPES KEVED INTO GROUND SEE CASQA MANUAL SE-3 FOR DETAILS
SILT FENCES	INSTALL ALONG CONTOURS TO KEEP SEDIMENT ON SITE SEE CASQA MANUAL SE-1 FOR DETAILS
DRAIN PROTECTION	USE GRAVEL BAGS AROUND DRAIN INLET POINTS SEE CASQA MANUAL SE-6, SE10 FOR DETAILS
PERIMETER CONTROLS	PROVIDE SEDIMENT CONTROL AT LIMITS OF SOIL DISTURBANCE SEE CASQA MANUAL SE-1, SE-5, SE-6, SE-8, SE 14 FOR DETAILS
CONCRETE WASHOUT	CONSTRUCY WASHOUT ON SITE SEE CASQA MANUAL WM-8, WM-3 FOR DETAILS
MATERIAL STORAGE	PREVENT POLLUTANT DISCHARGE FROM MATERIALS DELIVERED AND STORED ON SITE SEE CASQA MANUAL WM-1, WM-2, WM-4 FOR DETAILS
STOCKPILE MANAGEMENT	COVER AND STABILIZE STOCKPILES; PROVIDE SEDIMENT CONTROLS SEE CASQA MANUAL WM-3 FOR DETAILS
SOLID WASTE MANAGEMENT	HAZARDOUS WASTE AND MATERIALS SHALL BE KEPT IN CLOSED COVERED CONTAINERS SEE CASQA MANUAL NS-8, NS-9, NS-10
SANITARY FACILITIES	PROVIDE SANITARY FACILITIES @ PERIMETER OF SITE SEE CASQA MANUAL WM-9, WM-10 FOR DETAILS
SPILL PROTECTION	SEE CASQA MANUAL WM-4 FOR DETAILS



NOTE:
REMOVE AND CAP ANY PERMANENT IRRIGATION SYSTEM WITHIN 100' OF BLUFF EDGE.

LEGEND

- ← DIRECTION OF DRAINAGE
- SILT FENCE SEE DETAIL BELOW
- ▨ STABILIZED CONSTRUCTION ENTRANCE/EXIT SEE DETAIL BELOW
- ⊞ GRAVEL BAG PROTECTION
- ⊞ GRAVEL BAG PROTECTION @ ALL DRAIN INLETS
- ▨ FIBER ROLL INSTALLATION SEE DETAIL SHEET C1-1
- ⊞ DOWNSPOUTS



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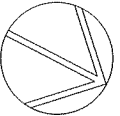
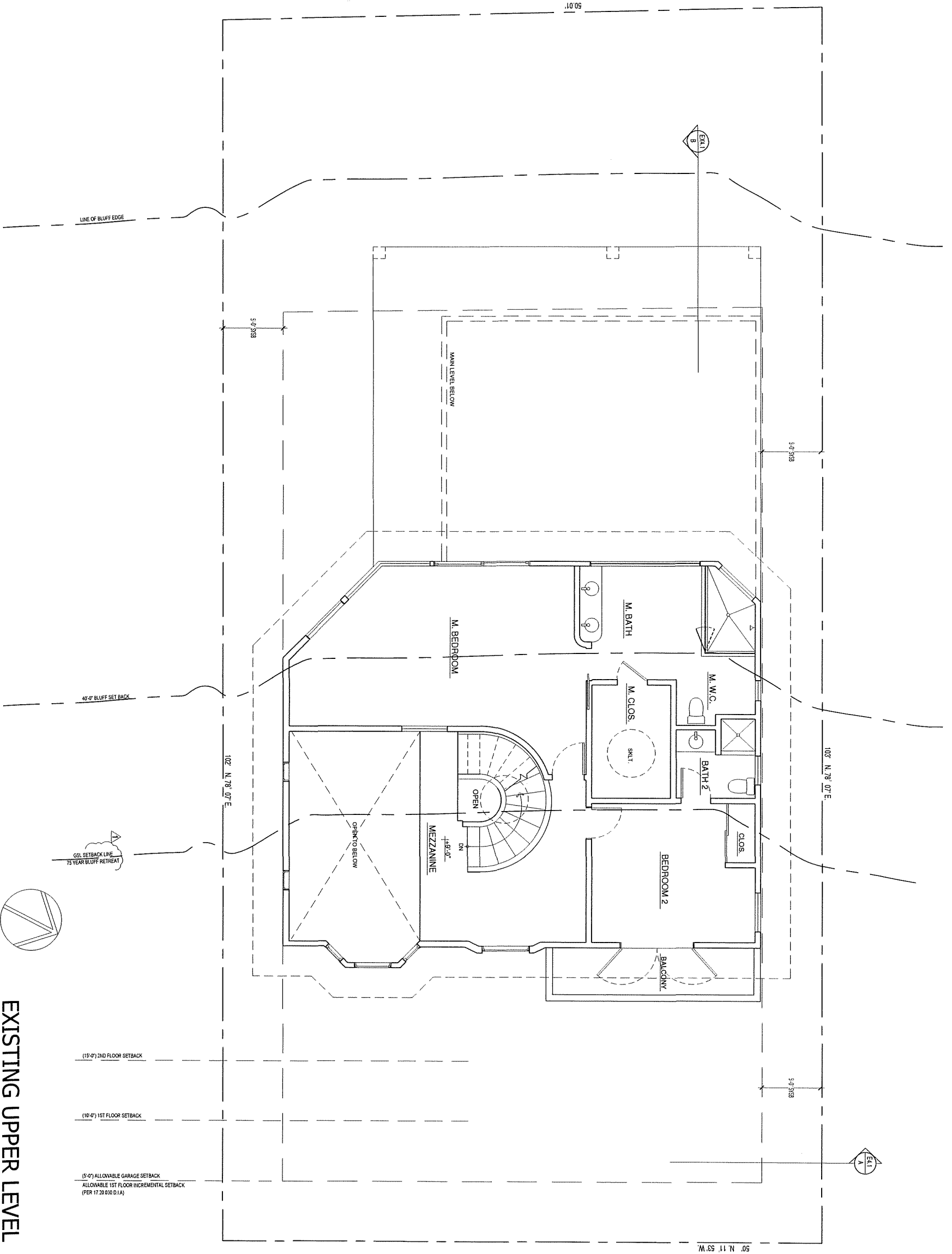
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BMP PLAN
SCALE 1/8"=1FT



SHEET NO.
C1.2



NORTH

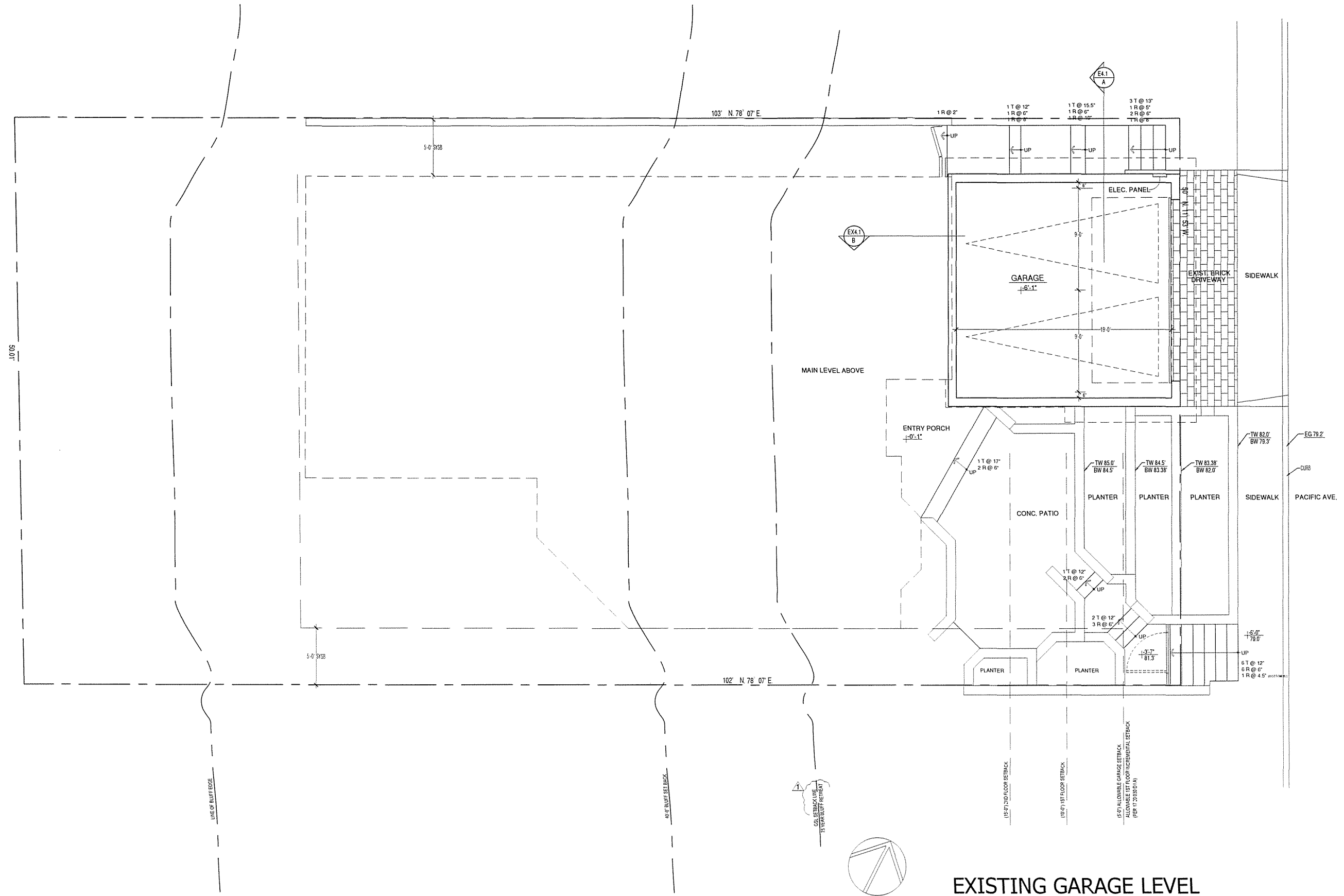
EXISTING UPPER LEVEL

GROSS AREA CALCULATIONS
 EXIST. UPPER LEVEL 1,086 SQFT
 EXIST. MAIN AREA 1,262 SQFT
 EXIST. ULT. GROSS 1,259 SQFT

SCALE 1/4"=1'-0"

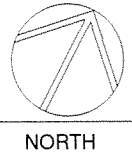
(15'-0") 2ND FLOOR SETBACK
 (10'-0") 1ST FLOOR SETBACK
 (5'-0") ALLOWABLE GARAGE SETBACK
 ALLOWABLE 1ST FLOOR INCREMENTAL SETBACK
 (PER 17.20 B30 D.1.A)





EXISTING GARAGE LEVEL

SCALE 1/4" = 1 FT



NORTH

GROSS AREA CALCULATIONS
 EXIST. GARAGE AREA = 423 SQFT



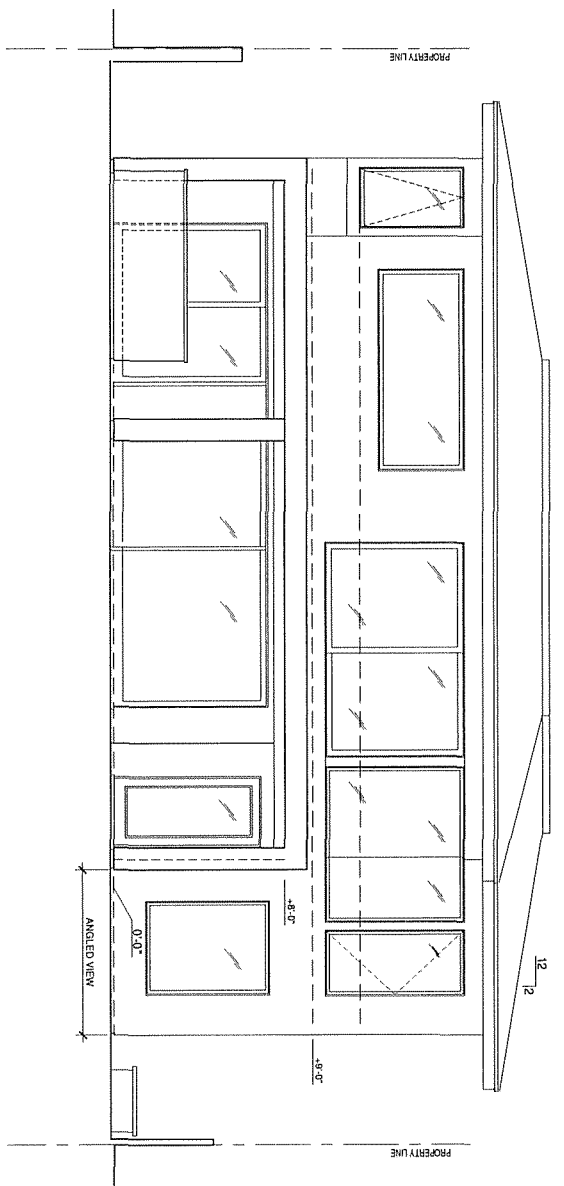
SCHRAGER RESIDENCE
 241 PACIFIC AVENUE., SOLANA BEACH CA



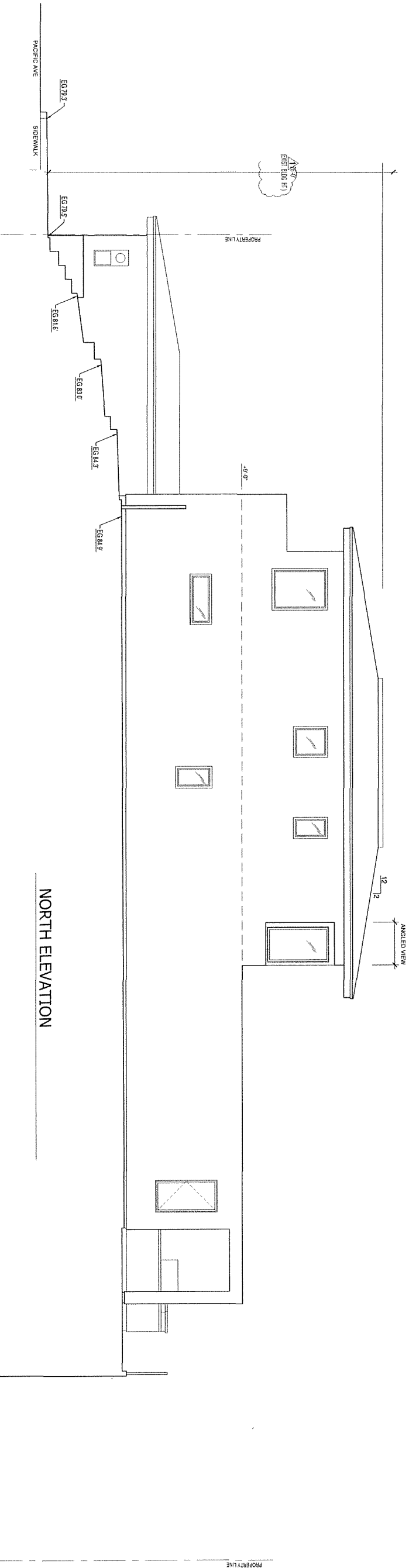
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 5-18-22
 9-15-22

SHEET NO.
EX 1.3



WEST ELEVATION



NORTH ELEVATION

EXISTING ELEVATIONS

SCALE 1/4"=1'-0"

SHEET NO.
EX 3.2

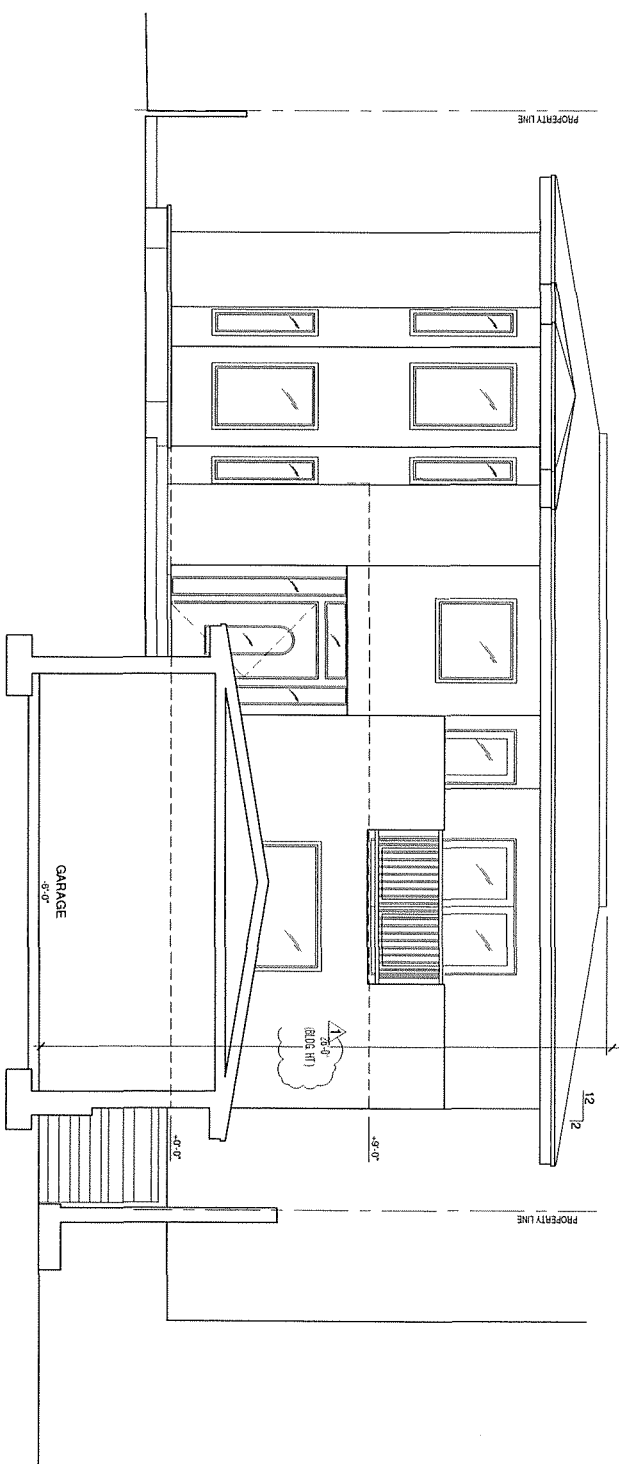
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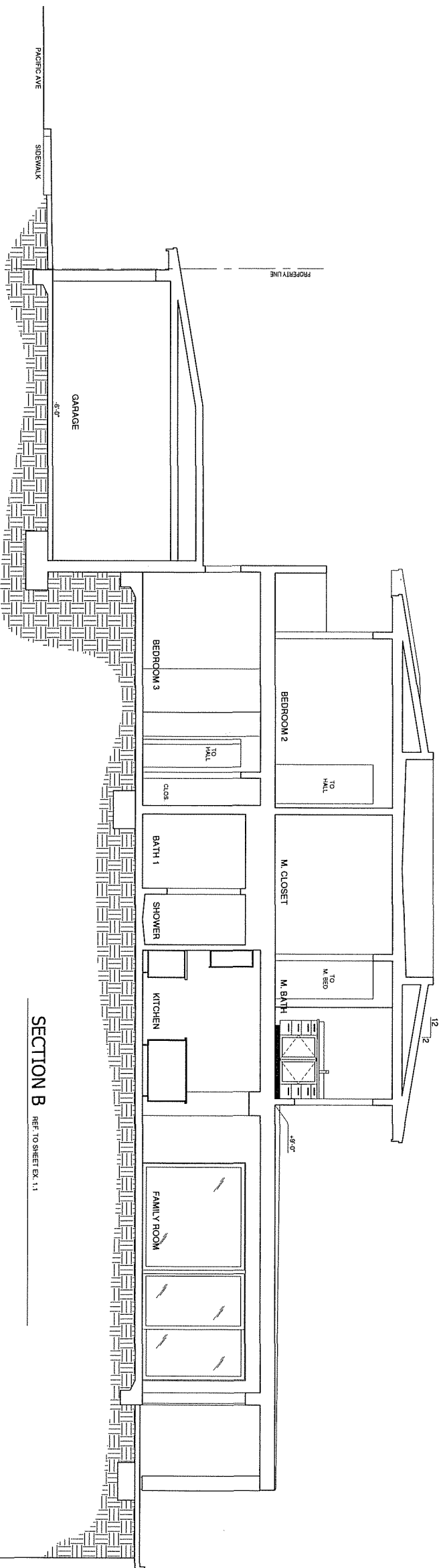


SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA

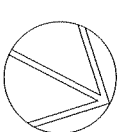




SECTION A REF. TO SHEET EX. 1.1



SECTION B REF. TO SHEET EX. 1.1



NORTH

EXISTING BUILDING SECTIONS

SCALE 1/4"=1'-0"

SHEET NO.
EX 4.1

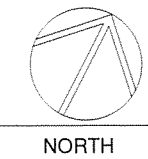
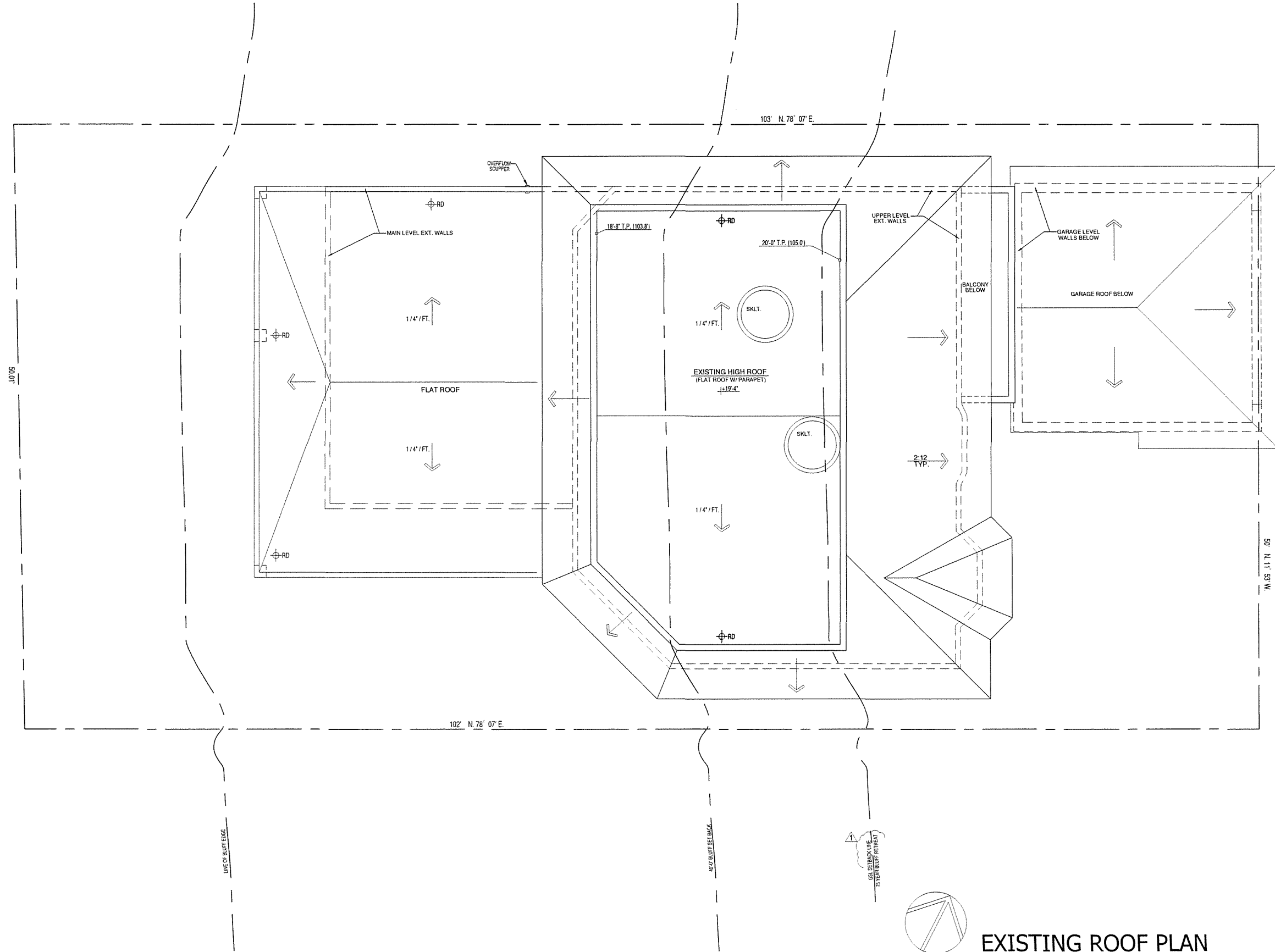
11-21-21
5-18-22
8-15-22

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SCHRAGER RESIDENCE
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EXISTING ROOF PLAN

SCALE 1/4"=1FT



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SHEET NO.
EX 5.1



SCHRAGER RESIDENCE
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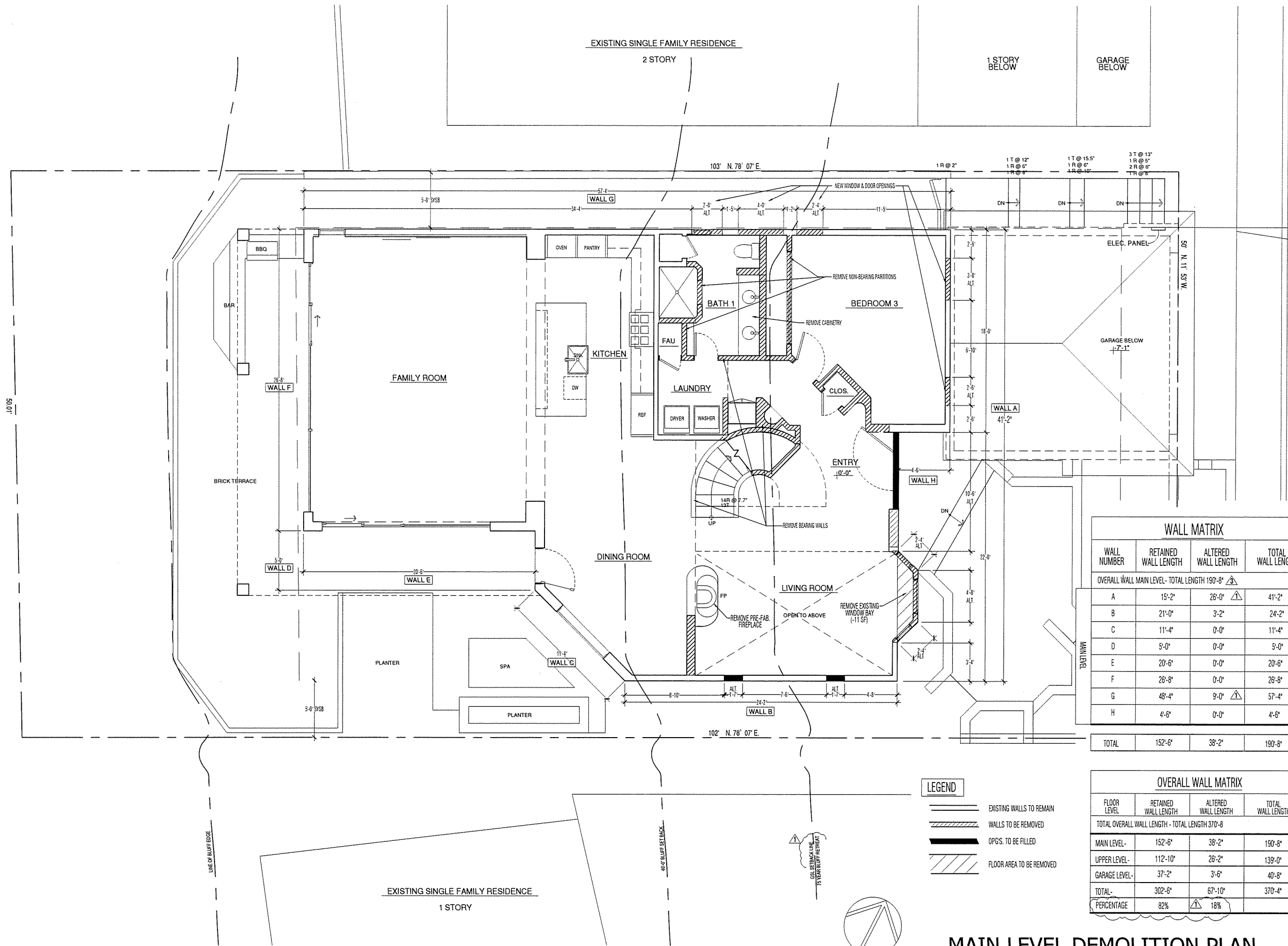
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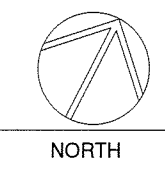
SHEET NO.
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WALL MATRIX			
WALL NUMBER	RETAINED WALL LENGTH	ALTERED WALL LENGTH	TOTAL WALL LENGTH
OVERALL WALL MAIN LEVEL- TOTAL LENGTH 190'-8" Δ			
A	15'-2"	26'-0" Δ	41'-2"
B	21'-0"	3'-2"	24'-2"
C	11'-4"	0'-0"	11'-4"
D	5'-0"	0'-0"	5'-0"
E	20'-6"	0'-0"	20'-6"
F	26'-8"	0'-0"	26'-8"
G	48'-4"	9'-0" Δ	57'-4"
H	4'-6"	0'-0"	4'-6"
TOTAL	152'-6"	38'-2"	190'-8"

OVERALL WALL MATRIX			
FLOOR LEVEL	RETAINED WALL LENGTH	ALTERED WALL LENGTH	TOTAL WALL LENGTH
TOTAL OVERALL WALL LENGTH - TOTAL LENGTH 370'-8"			
MAIN LEVEL-	152'-6"	38'-2"	190'-8"
UPPER LEVEL-	112'-10"	26'-2"	139'-0"
GARAGE LEVEL-	37'-2"	3'-6"	40'-8"
TOTAL-	302'-6"	67'-10"	370'-4"
PERCENTAGE	82%	18% Δ	

- LEGEND**
- EXISTING WALLS TO REMAIN
 - WALLS TO BE REMOVED
 - OP'GS. TO BE FILLED
 - FLOOR AREA TO BE REMOVED



MAIN LEVEL DEMOLITION PLAN

SCALE 1/4"=1FT



SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA

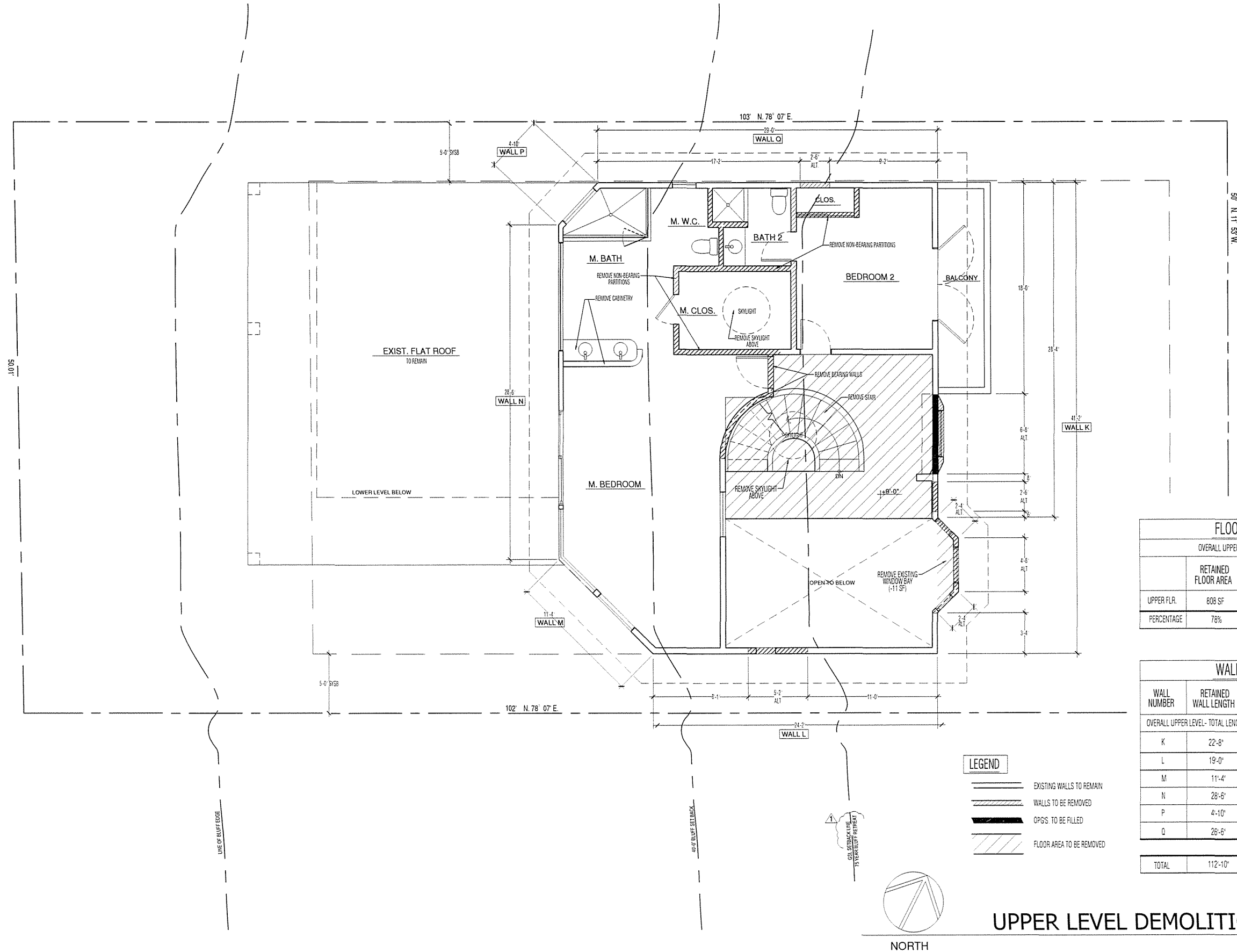


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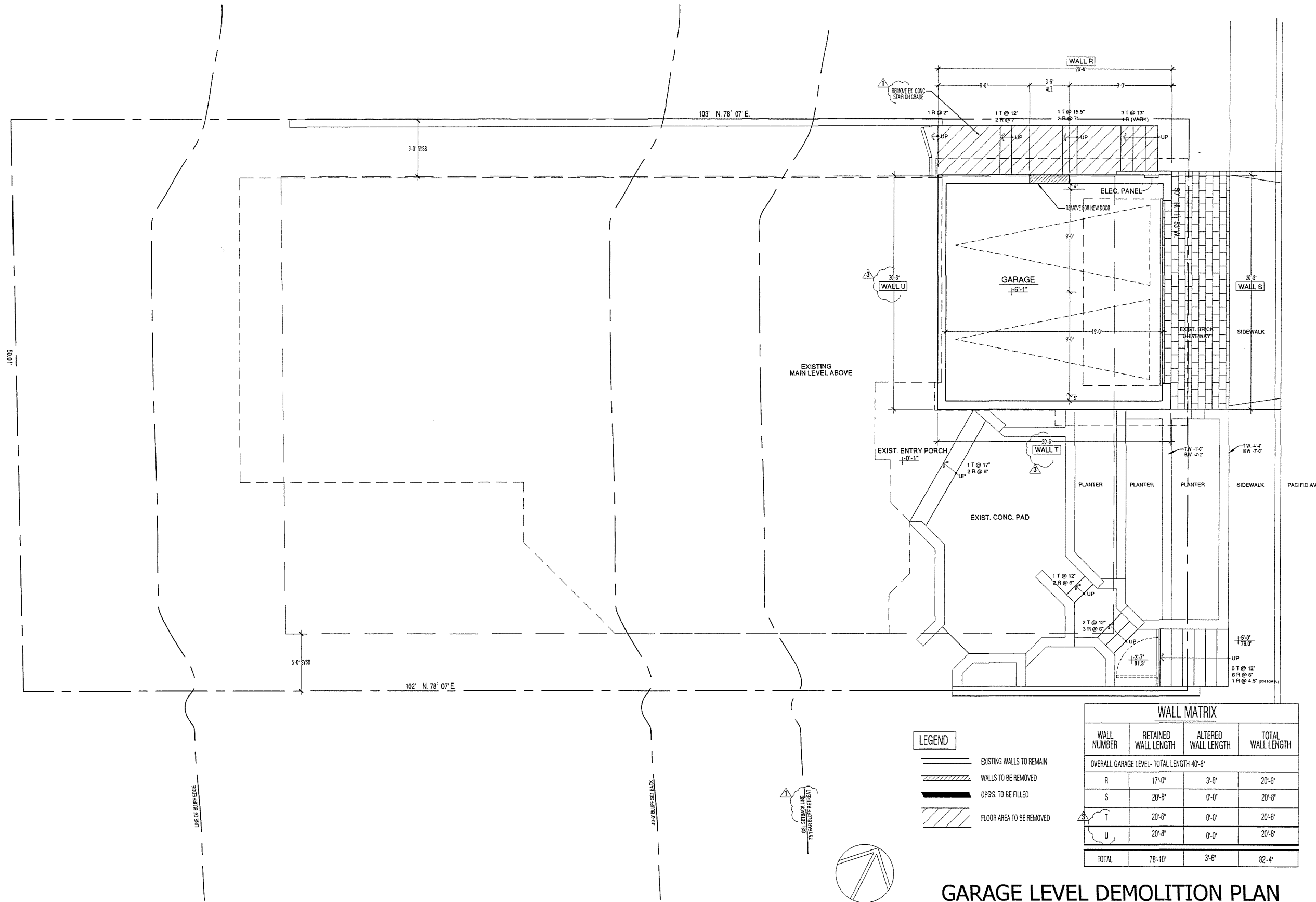
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SHEET NO.
D 1.2



FLOOR MATRIX			
OVERALL UPPER LEVEL SF = 1,253 SF			
	RETAINED FLOOR AREA	ALTERED FLOOR AREA	TOTAL FLOOR AREA
UPPER FLR.	808 SF	230 SF	1,038 SF
PERCENTAGE	78%	22%	

WALL MATRIX			
WALL NUMBER	RETAINED WALL LENGTH	ALTERED WALL LENGTH	TOTAL WALL LENGTH
OVERALL UPPER LEVEL- TOTAL LENGTH 139'-0" $\frac{1}{8}$			
K	22'-8"	18'-6"	41'-2"
L	19'-0"	5'-2"	24'-2"
M	11'-4"	0'-0"	11'-4"
N	28'-6"	0'-0"	28'-6"
P	4'-10"	0'-0"	4'-10"
Q	26'-6"	2'-6"	29'-0"
TOTAL	112'-10"	26'-2"	139'-0"



LEGEND

- EXISTING WALLS TO REMAIN
- WALLS TO BE REMOVED
- OPG'S. TO BE FILLED
- FLOOR AREA TO BE REMOVED

WALL MATRIX			
WALL NUMBER	RETAINED WALL LENGTH	ALTERED WALL LENGTH	TOTAL WALL LENGTH
OVERALL GARAGE LEVEL - TOTAL LENGTH 40'-8"			
R	17'-0"	3'-6"	20'-6"
S	20'-8"	0'-0"	20'-8"
T	20'-6"	0'-0"	20'-6"
U	20'-8"	0'-0"	20'-8"
TOTAL	78'-10"	3'-6"	82'-4"

GARAGE LEVEL DEMOLITION PLAN

SCALE 1/4"=1FT

NORTH



SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA

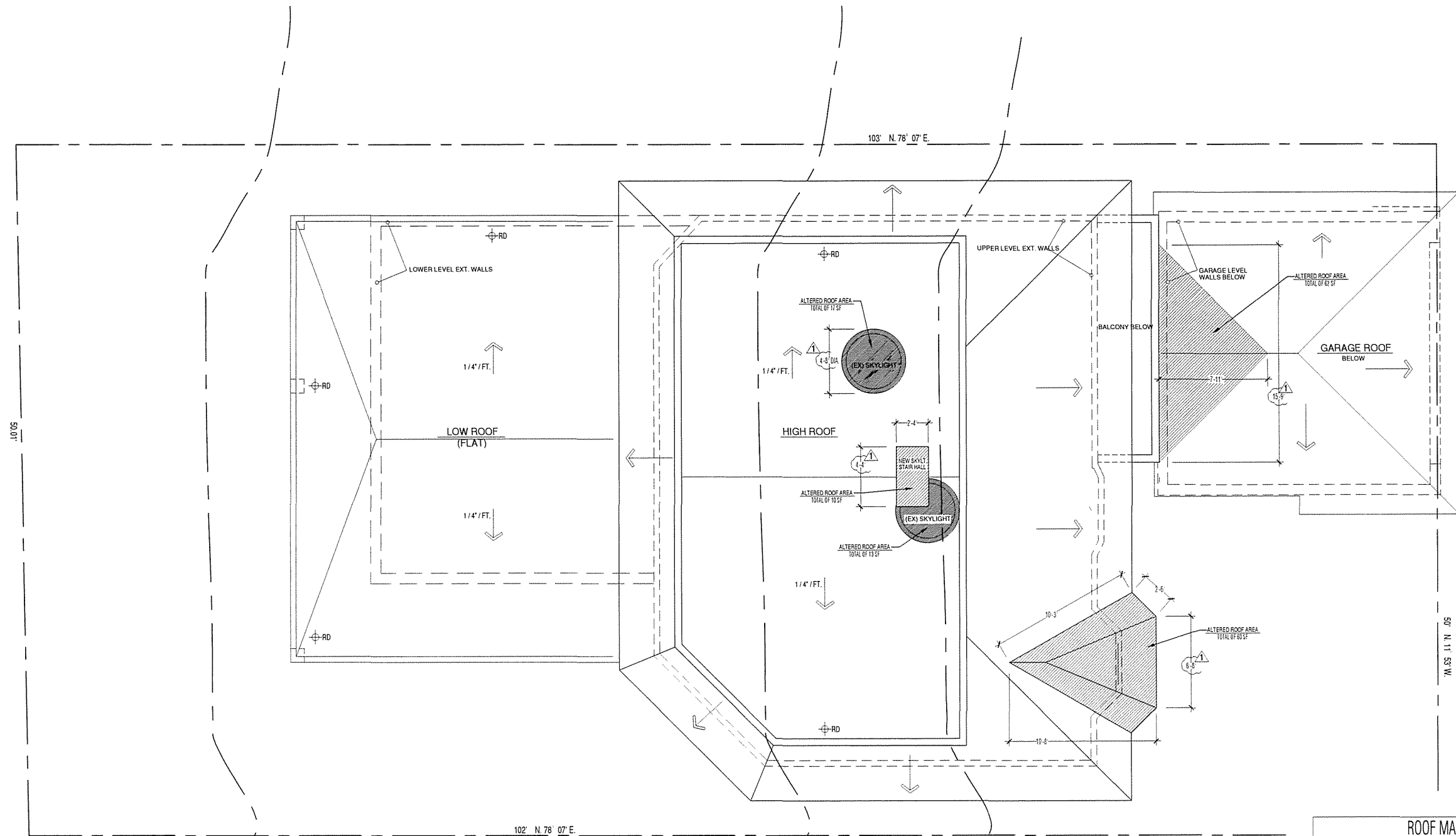


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11-7-22

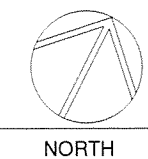
SHEET NO.

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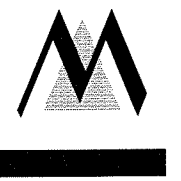
- LEGEND**
- EXISTING WALLS TO REMAIN
 - WALLS TO BE REMOVED
 - OPGS. TO BE FILLED
 - FLOOR AREA TO BE REMOVED

ROOF MATRIX			
OVERALL ROOF SF = 1,253 SF			
	RETAINED ROOF AREA	ALTERED ROOF AREA	TOTAL ROOF AREA
HIGH ROOF	1,535 SF	△ 100 SF	1,635 SF
LOW ROOF	856 SF	0 SF	856 SF
GARAGE ROOF	433 SF	62 SF	495 SF
TOTAL ROOF AREA	2,824 SF	△ 162 SF	2,986 SF
PERCENTAGE	95%	△ 5%	



ROOF DEMOLITION PLAN

SCALE 1/4"=1FT



SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA



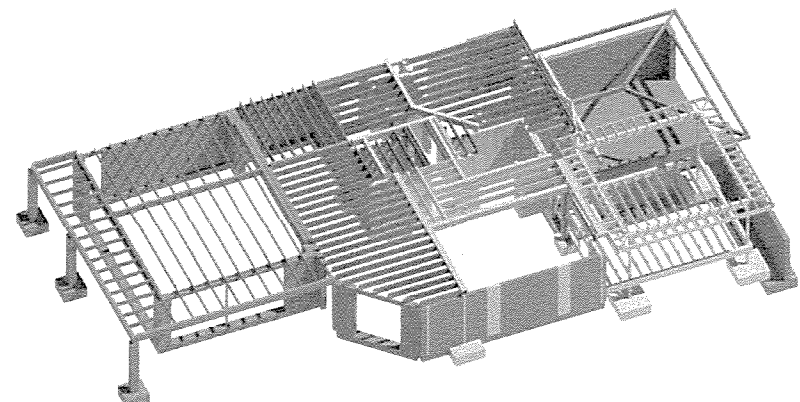
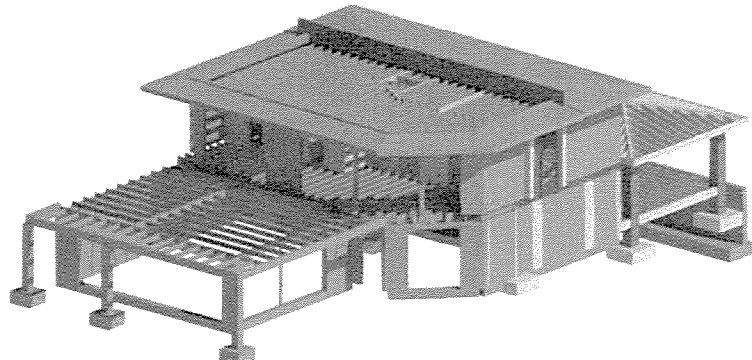
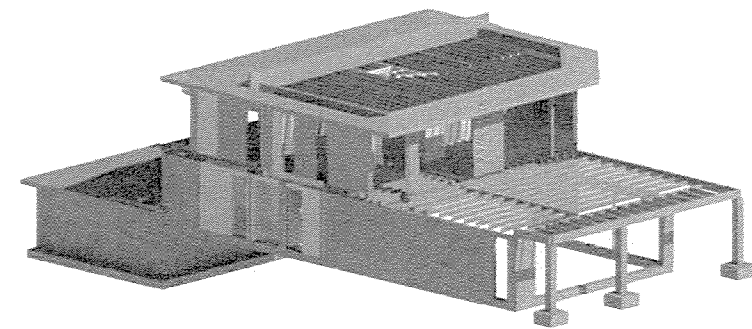
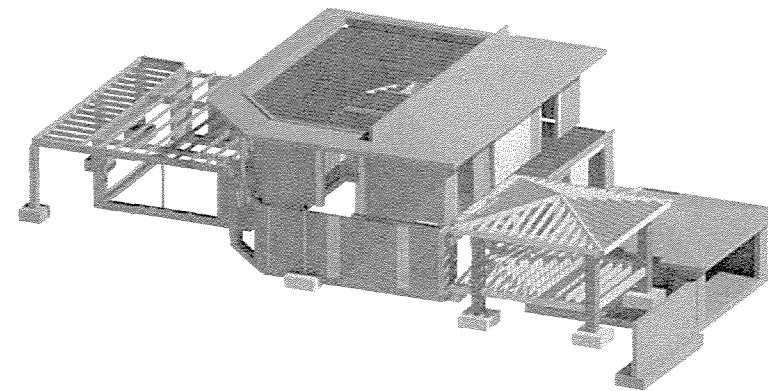
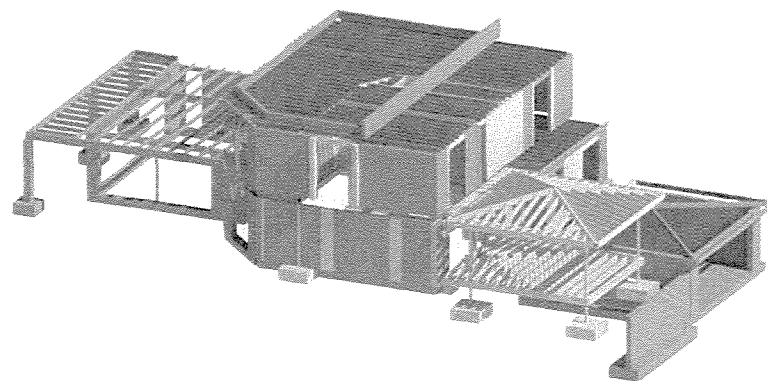
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9.25.18 SUBMITTAL

LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS AND FRAMING PER STRUCTURAL

DEMOLITION ISOMETRICS
NEW FRAMING PER STRUCTRAL

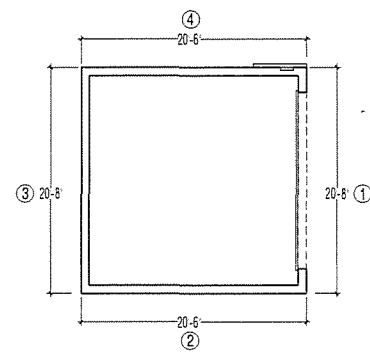
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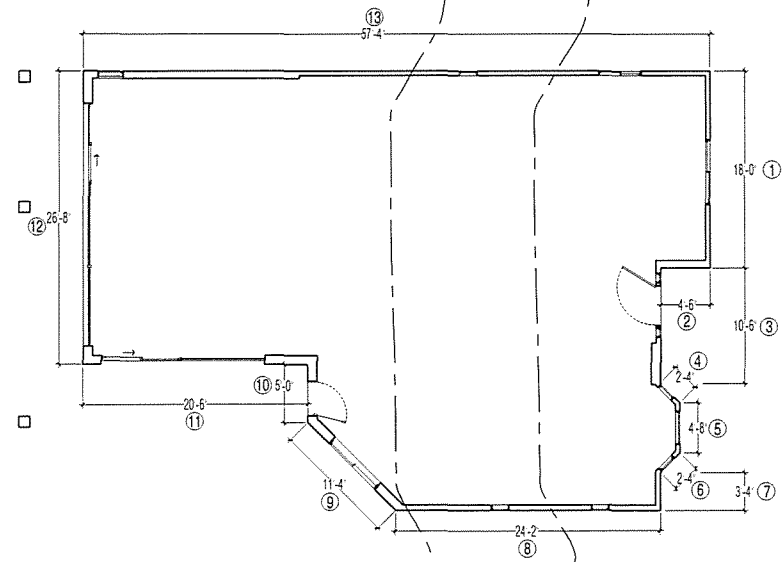


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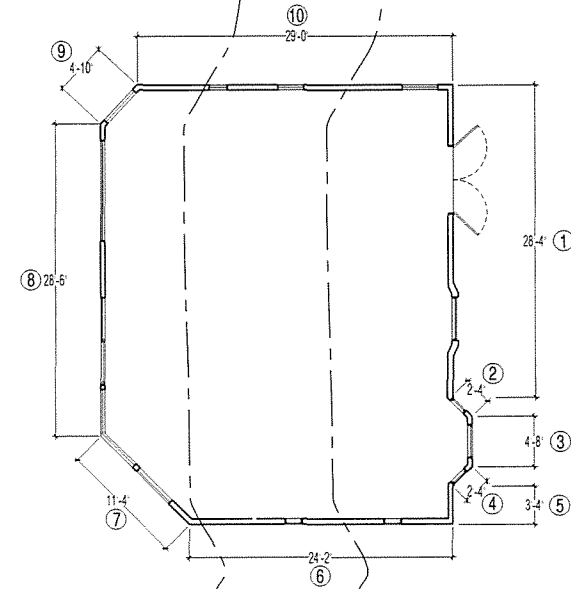
WALL MATRIX	
WALL NUMBER	TOTAL WALL LENGTH
1	20'-8"
2	20'-6"
3	20'-8"
4	20'-6"
SUB-TOTAL	82'-4" LF

GARAGE FLOOR PLAN (EXISTING)



WALL MATRIX	
WALL NUMBER	TOTAL WALL LENGTH
1	18'-0"
2	4'-6"
3	10'-6"
4	2'-4"
5	4'-8"
6	2'-4"
7	3'-4"
8	24'-2"
9	11'-4"
10	5'-0"
11	20'-6"
12	26'-8"
13	57'-4"
SUB-TOTAL	190'-8" LF

MAIN FLOOR PLAN (EXISTING)

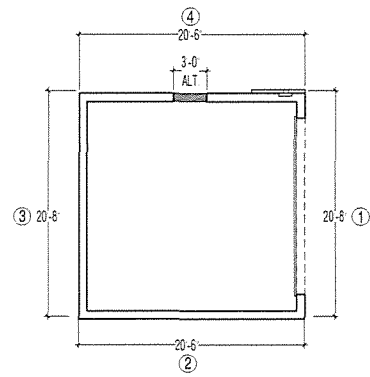


WALL MATRIX	
WALL NUMBER	TOTAL WALL LENGTH
1	28'-4"
2	2'-4"
3	4'-8"
4	2'-4"
5	3'-4"
6	24'-2"
7	11'-4"
8	28'-6"
9	4'-10"
10	29'-0"
SUB-TOTAL	139'-0" LF

UPPER FLOOR PLAN (EXISTING)

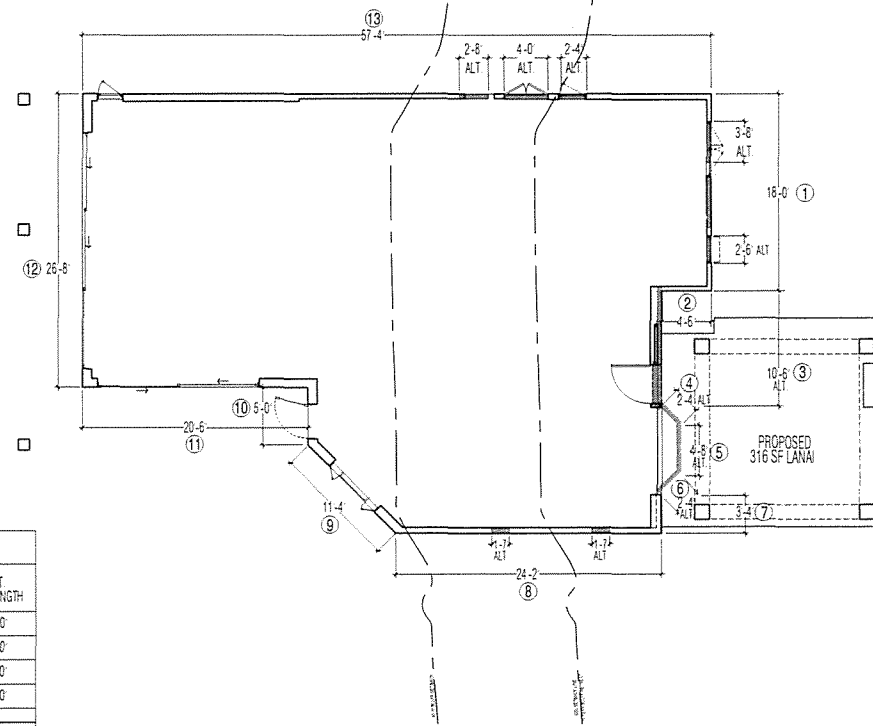
EXISTING WALL MATRIX	
EXIST. FLOOR LEVEL	TOTAL WALL LENGTH
GARAGE	82'-4"
MAIN	190'-8"
UPPER	139'-0"
TOTAL EXIST. WALLS	412'-0" LF

EXISTING PLANS



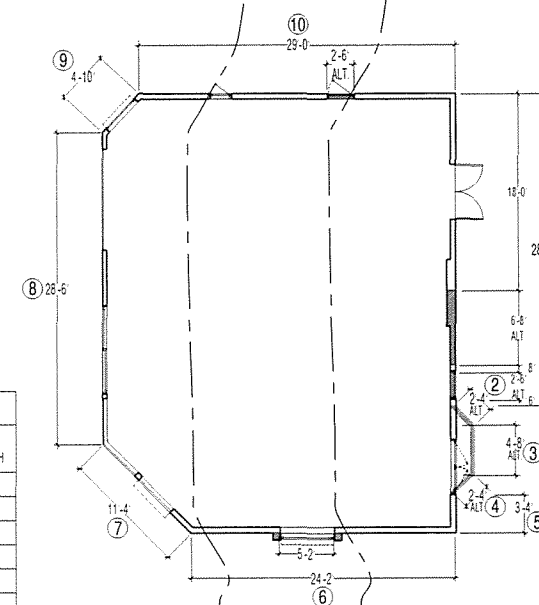
WALL MATRIX		
WALL NUMBER	TOTAL WALL LENGTH	ALT. WALL LENGTH
1	20'-6"	0'-0"
2	20'-6"	0'-0"
3	20'-8"	0'-0"
4	20'-6"	3'-0"
SUB-TOTAL	82'-4" LF	3'-0" ALT

GARAGE FLOOR PLAN (PROPOSED)



WALL MATRIX		
WALL NUMBER	TOTAL WALL LENGTH	ALT. WALL LENGTH
1	18'-0"	6'-2"
2	4'-6"	0'-0"
3	10'-6"	10'-6"
4	2'-4"	2'-4"
5	4'-8"	4'-8"
6	2'-4"	2'-4"
7	3'-4"	0'-0"
8	24'-2"	3'-2"
9	11'-4"	0'-0"
10	5'-0"	0'-0"
11	20'-6"	0'-0"
12	26'-8"	0'-0"
13	57'-4"	0'-0"
SUB-TOTAL	190'-8" LF	29'-2"

MAIN FLOOR PLAN (PROPOSED)



PROPOSED WALL MATRIX		
PROP. FLOOR LEVEL	TOTAL WALL LENGTH	ALT. WALL LENGTH
GARAGE	82'-4"	3'-0" LF
MAIN	190'-8"	29'-2" LF
UPPER	139'-0"	26'-2" LF
TOTAL PROP. WALLS	412'-0" LF	58'-4" LF
TOTAL PERCENTAGE ALTERED 58'-4" / 412'-0" = 14% ALTERED		

UPPER FLOOR PLAN (PROPOSED)

50% RULE CALCULATIONS		
EXISTING WALLS:		
(EX) GARAGE	82'-4" LF	
(EX) MAIN	190'-8" LF	
(EX) UPPER	139'-0" LF	
TOTAL EXISTING	412'-0" LF	
ALTERED EXISTING WALLS:		
(ALT) GARAGE	3'-0" LF	
(ALT) MAIN	29'-2" LF	
(ALT) UPPER	26'-2" LF	
TOTAL EXISTING	58'-4" LF	
58'-4" / 412'-0" = 14% ALTERED		

WALL MATRIX		
WALL NUMBER	TOTAL WALL LENGTH	ALT. WALL LENGTH
1	28'-4"	9'-2"
2	2'-4"	2'-4"
3	4'-8"	4'-8"
4	2'-4"	2'-4"
5	3'-4"	0'-0"
6	24'-2"	5'-2"
7	11'-4"	0'-0"
8	28'-6"	0'-0"
9	4'-10"	0'-0"
10	29'-0"	2'-6"
SUB-TOTAL	139'-0" LF	26'-2" LF

EXTERIOR WALL ALTERATIONS
50% RULE EXHIBITS

SCALE 1/8" = 1FT

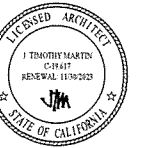
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SHEET NO.

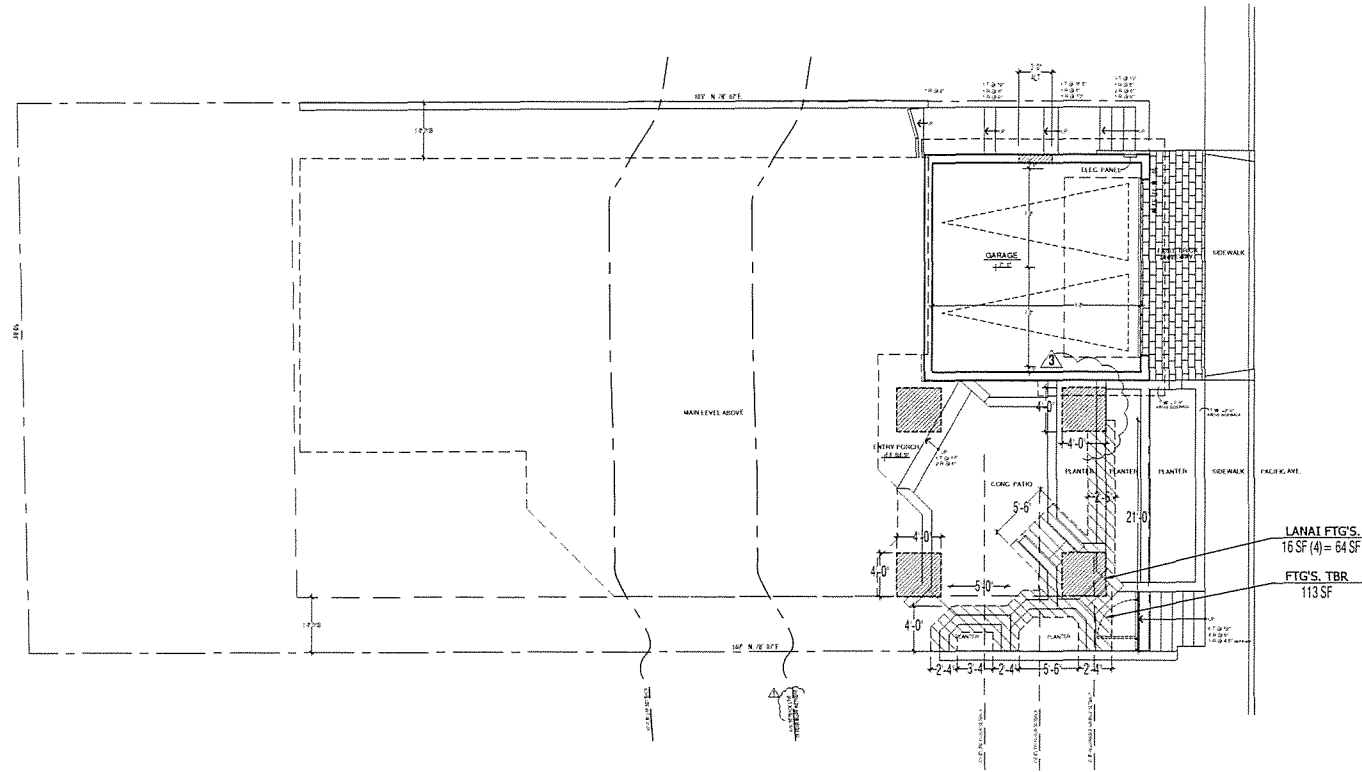
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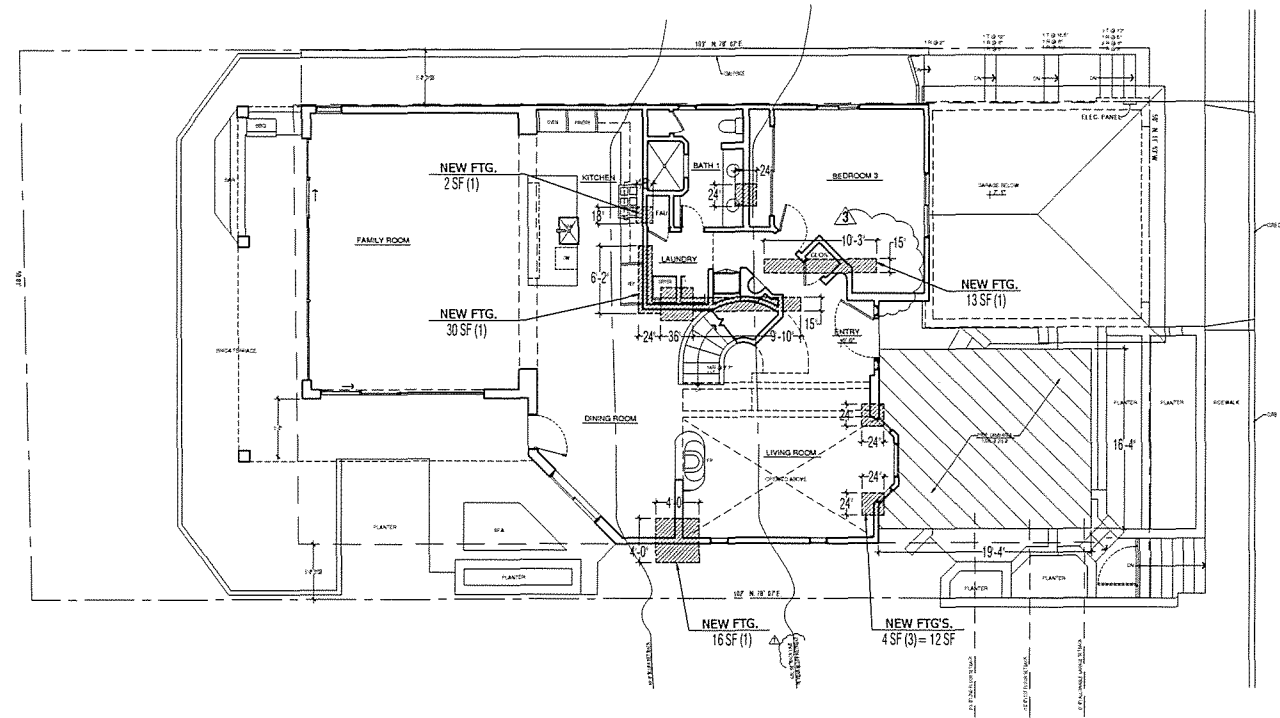


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GARAGE FLOOR PLAN

EXISTING GARAGE LEVEL	
EXISTING GARAGE LEVEL AREA	423 SF
ALTERED @ LANAI ADDN. (NEW FTG'S)	64 SF
ALTERED @ EX. GARDEN WALL FTG'S TO BE REMOVED	113 SF
EX. GARAGE WALL ALTERED	2.25 SF
TOTAL G.L. ALTERED AREA	179.25 SF
TOTAL % OF G.L. ALTERED	179.25 / 423 = 42%



MAIN FLOOR PLAN

EXISTING MAIN LEVEL	
EXISTING MAIN LEVEL AREA	1,884 SF
EX. ALTERED FOR NEW FTG'S	73 SF
TOTAL % M.L. ALTERED AREA	73 SF / 1,884 SF = 4%

LEGEND

	AREA OF NEW FOUNDATIONS
	AREA OF NEW DECK (LANAI) AREA

50 % RULE CALCULATIONS	
EXISTING FOUNDATION:	
(EX.) GARAGE:	423 SF
(EX.) MAIN:	1,884 SF
TOTAL EX. FOUNDATION:	2,307 SF
ALTERED EXIST. FOUNDATION:	
(ALT.) GARAGE:	179.25 SF
(ALT.) MAIN:	73 SF
TOTAL ALTERED FOUNDATION:	252.25 SF
252.25 SF / 2,307 SF = 11% TOTAL ALT. FOUNDATION	

FOUNDATION ALTERATIONS
50% RULE EXHIBITS

SCALE 1/8"=1FT



SHEET NO.

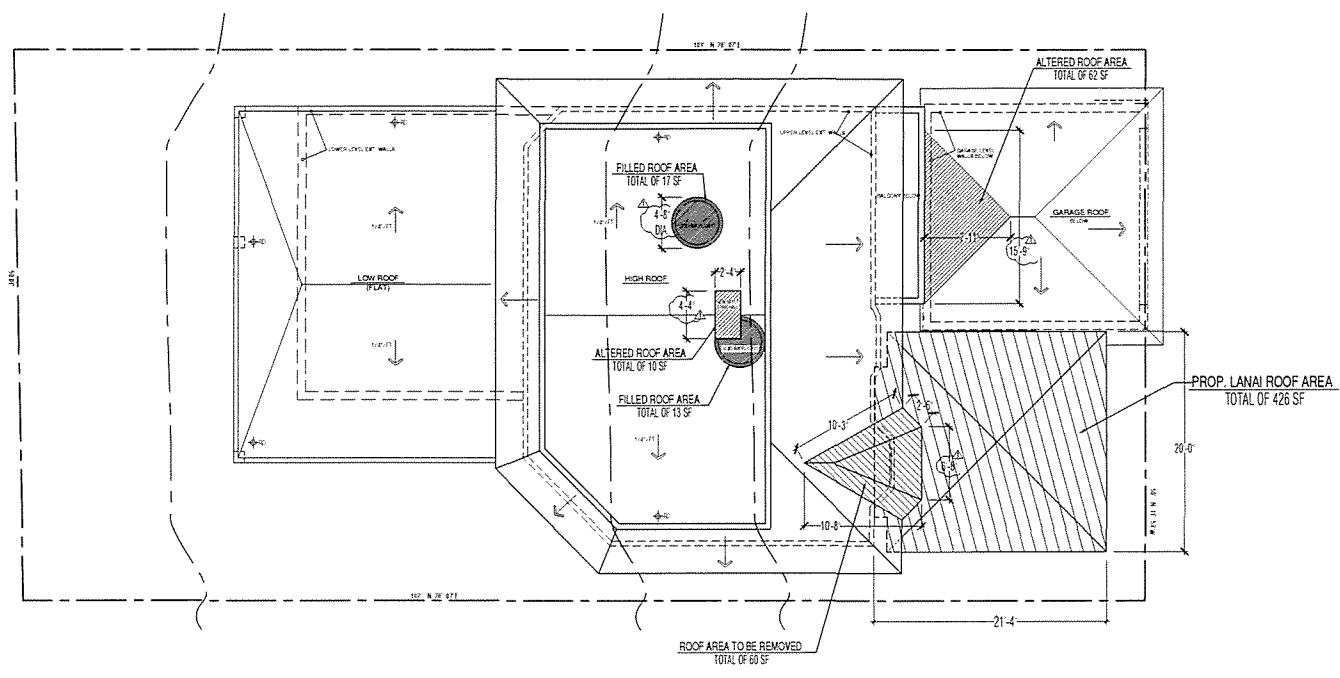
D7.2



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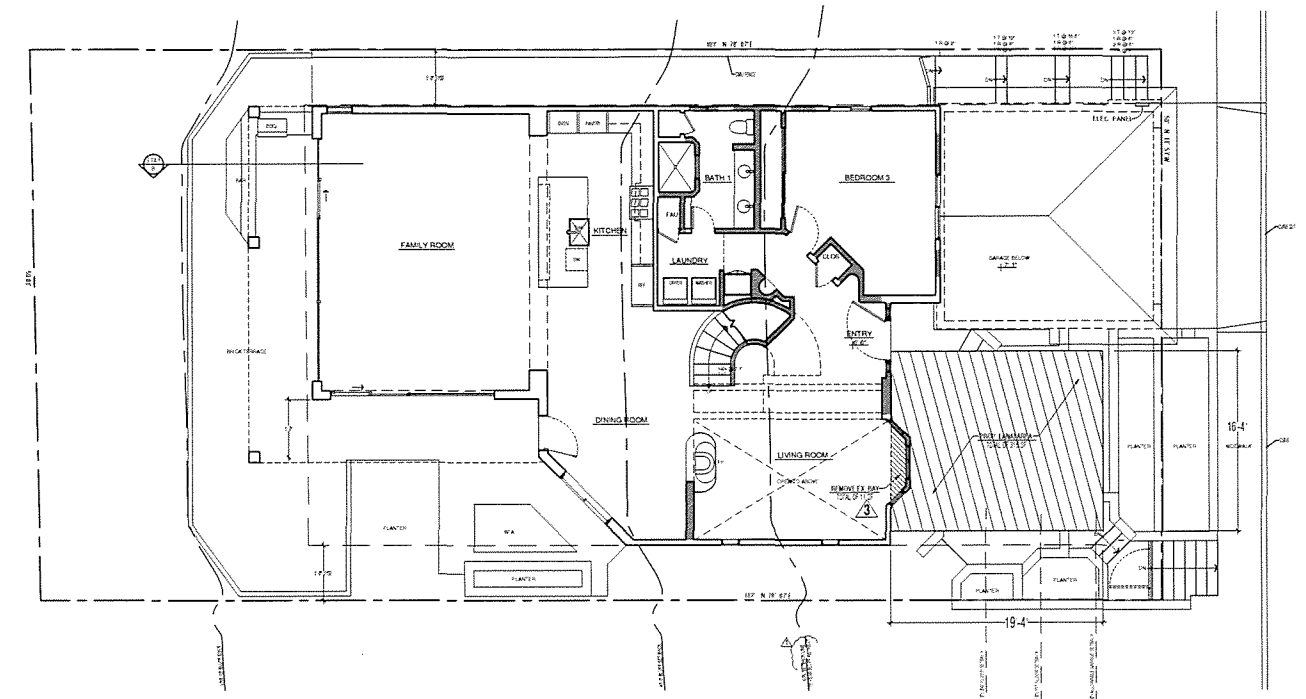


LEGEND

- AREA OF ROOF TO BE FILLED
- AREA OF ROOF TO BE REMOVED
- AREA OF ROOF TO BE ALTERED
- AREA OF NEW ROOF AREA @ NEW LANAI

ROOF PLAN FLOOR FRAMING ALTERATIONS

EXISTING ROOF AREA	2,934 SF
EXISTING ROOF TO BE FILLED	30 SF
EXISTING ROOF TO BE REMOVED	60 SF
EXISTING ROOF AREA ALTERED	72 SF
NEW ROOF AREA @ LANAI	426 SF
TOTAL ALT. & NEW ROOF AREA	588 SF
% OF ROOF FRAMING ALTERED	588 SF / 2,934 SF = 20%

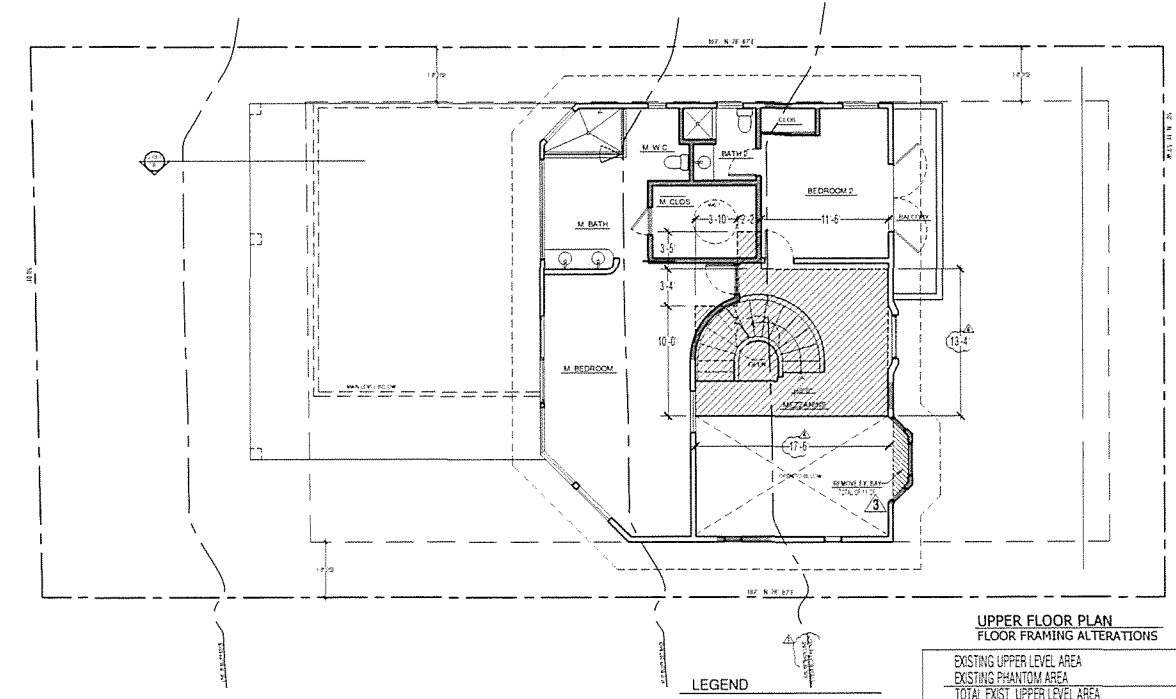


LEGEND

- ALTERED WALLS
- AREA OF NEW LANAI AREA
- AREA OF FLOOR TO BE REMOVED

MAIN FLOOR PLAN FLOOR FRAMING ALTERATIONS

EXISTING MAIN LEVEL AREA	1,884 SF
EX. MAIN LEVEL BAY TO BE REMOVED	-11 SF
LANAI ADDITION	+316 SF
TOTAL ML ALTERED AREA	327 SF
% OF FLOOR FRAMING ALTERED	327 SF / 1,884 SF = 17%



LEGEND

- ALTERED WALLS
- AREA OF NEW FLOOR AREA
- AREA OF FLOOR TO BE REMOVED

UPPER FLOOR PLAN FLOOR FRAMING ALTERATIONS

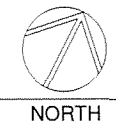
EXISTING UPPER LEVEL AREA	1,056 SF
EXISTING PHANTOM AREA	202 SF
TOTAL EXIST. UPPER LEVEL AREA	1,258 SF
EXISTING UPPER LEVEL ALTERED FLOOR AREA	228 SF
TOTAL UL ALTERED AREA	228 SF
% OF FLOOR FRAMING ALTERED	228 SF / 1,258 SF = 18%

50% RULE CALCULATIONS

EXISTING FLOOR FRAMING:	
(EX.) MAIN LEVEL:	1,884 SF
(EX.) UPPER LEVEL (incl. Phantom):	1,258 SF
TOTAL EX. FLOOR FRAMING:	3,142 SF
ALTERED FLOOR FRAMING:	
(ALT.) MAIN LEVEL:	327 SF
(ALT.) UPPER LEVEL:	228 SF
TOTAL ALT. FLOOR FRAMING:	555 SF
555 SF / 3,142 SF = 18% TOTAL ALT. FLOOR FRAMING	

EXISTING ROOF FRAMING:	
(EX.) ROOF AREA:	2,934 SF
ROOF AREA TO BE ALT.	570 SF
570 SF / 2,934 SF = 19% TOTAL ALT. ROOF FRAMING	

FLOOR & ROOF ALTERATIONS
50% RULE EXHIBITS SCALE 1/8"=1FT



10-10-22
11-7-22
12-5-22

SHEET NO.
D7.3

CALIFORNIA GREEN CODE REQUIREMENTS

- 15) BEFORE FINAL INSPECTION A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH. A SAMPLE OF THE MANUAL IS AVAILABLE ON THE HOUSING & COMMUNITY DEVELOPMENT (HCD) WEBSITE
- 16) THE MANUAL SHOULD INCLUDE IN ADDITION TO OTHER ASPECTS THE FOLLOWING:
 - A) DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE
 - B) OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - 1) EQUIPMENT & APPLIANCES, INCLUDING WATER SAVING DEVICES AND SYSTEMS HVAC SYSTEMS WATER HEATING SYSTEMS & OTHER MAJOR APPLIANCES & EQUIPMENT
 - 2) ROOF & YARD DRAINAGE INCLUDING GUTTERS AND DOWNSPOUTS
 - 3) SPACE CONDITIONING SYSTEMS INCLUDING CONDENSERS & AIR FILTERS
 - 4) LANDSCAPE IRRIGATION SYSTEMS
 - 5) WATER RE-USE SYSTEMS
 - C) INFORMATION FROM LOCAL UTILITY, WATER & WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION INCLUDING RECYCLE PROGRAMS & LOCATIONS
 - D) PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA
 - E) EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 % & WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS
 - F) INFORMATION ABOUT WATER CONSERVATION LANDSCAPE & IRRIGATION DESIGN & CONTROLLERS WHICH CONSERVE WATER
 - G) INSTRUCTIONS FOR MAINTAINING GUTTERS & DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FT AWAY FROM THE FOUNDATION
 - H) INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO CAULKING , PAINTING, GRADING AROUND BUILDING ETC.
 - J) INFORMATION ABOUT STATE SOLAR ENERGY & INCENTIVE PROGRAMS AVAILABLE
 - K) A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE
- 17) A COPY OF THE COMPLETE OPERATION & MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION
- 18) AN OWNER CERTIFICATE SHALL BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED / RECEIVED TO THE BUILDING OWNER. THE CERTIFICATION FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT
- 19) THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE CHECKED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION AND RESULTS ISSUED BY THE FRAMER, SUBCONTRACTOR OR GENERAL CONTRACTOR MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CGBC 4.505.3)
- 20) A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR OR BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT

CALIFORNIA TITLE 24 ENERGY COMPLIANCE

- 1) AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE (CF-6R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION @ THE BUILDING SITE. A REGISTERED CF-6R WILL HAVE A UNIQUE 21 DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE CF-1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF-6R IS REVIEWED AND APPROVED.
- 2) AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-4R) SHALL BE POSTED AT THE BUILDING SIGNED & REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION & DIAGNOSTIC TESTING (CF-4R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF-4R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF-6R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF-4R IS REVIEWED & APPROVED.

CALIFORNIA TITLE 24 LIGHTING REQUIREMENTS

- 1) KITCHEN : ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHEN SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
- 2) LIGHTING IN GARAGE, LAUNDRY ROOMS AND UTILITY ROOMS : ALL LUMINAIRES SHALL BE HIGH EFFICACY AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY.
- 3) OTHER ROOMS : ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON /OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
- 4) OUTDOOR LIGHTING : ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH, AND CONTROLLED BY ONE OF THESE AUTOMATIC CONTROL TYPES: PHOTOCONTROL AND A MOTION SENSOR, OR ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

OVER THE AIR SILENCE CODE REQUIREMENTS

- 1) A VAPOR BARRIER & CAPILLARY BREAK ARE REQUIRED AT SLAB ON GRADE FOUNDATIONS. A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE & A CONCRETE MIX DESIGN WHICH ADDRESSES BLEEDING, SHRINKING & CURING SHALL BE USED. SEE ACI 302.2R-02 ALTERNATIVELY PROVIDE A SLAB DESIGN BY A LICENSED PROFESSIONAL
- 2) AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED & SHALL COMPLY WITH THE FOLLOWING: (CGBC 4.304.1)
 - (a) CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE
 - (b) WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATIONS SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES W/ THE CONTROLLERS. SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT
- 3) JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY (CGBC 4.406.1)
- 4) A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS TO BE DIVERTED TO RECYCLE OR SALVAGE PER CGBC SECTION 4.408.1 & CITY ORDINANCE
- 5) BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT AND OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF THE MAINTENANCE MANUAL (CGBC 4.410.1)
- 6) DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION (CGBC 4.504.1)
- 7) ADHESIVES SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CGBC 4.504.2.1)
- 8) PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS SET IN SECTION 4.504.2.2 & TABLE 4.504.3 OF CALGREEN
- 9) AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC & OTHER TOXIC COMPOUNDS (CGBC 4.504.2.3)
- 10) A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR OR BUILDING OWNER IS REQUIRED CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC. COMPLY W/ THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE

- 11) CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT W/ VOC LIMITS. A LETTER FROM THE CONTRACTOR &/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CGBC 4.504.3)

- 12) 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH
 - A) VOC LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE
 - B) PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN AND SCHOOL PROGRAM
 - C) CERTIFICATION UNDER THE RESILIENT FLOOR COVERINGS INSTITUTE (RCFI) FLOOR SCORE PROGRAM
 - D) MEET THE CALIFORNIA DEPT. OF PUBLIC HEALTH " STANDARD METHOD FOR TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)

- 13) PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) & HARDWOOD PLYWOOD USED IN THE INTERIOR FINISH SYSTEMS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.504.5 AND TABLE 4.504.5 OF CALGREEN

- 14) BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER PROBE TYPE OR CONTACT TYPE MOISTURE METER .

MECHANICAL & PLUMBING NOTES

- 10) A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. COPIES OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.

MECHANICAL & PLUMBING NOTES

- 1) PERMANENT VACUUM BREAKERS SHALL BE INSTALLED ALL HOSE BIBBS
- 2) H.V.A.C.EQUIPMENT, WATER HEATERS SHOWERHEADS, AND FAUCETS SHALL ALL BR CERTIFIED BY THE CALIFORNIA ENERGY COMISSION
- 3) ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH 2019 CGBC SECTION 4.303.1
- 4) THE EFFECTIVE FLUSH VOLUME OF ALL W.C'S SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK TYPE W.C'S SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK TYPE TOILETS
- 5) MAXIMUM LAVATORY FAUCET FLOW 1.2 GALLONS PER MINUTE @ 60 psi & A MINIMUM FLOW RATE OF NOT LESS THAN 0.8 GPM @20 psi
- 6) MAXIMUM KITCHEN FAUCET FLOW 1.8 GALLONS PER MINUTE @ 60 psi KITCHEN FAUCETS MAY TEMPORARILY INCREASE A FLOW RATE TO A MAXIMUM OF 2.2 GALLONS @ 60 psi BUT MUST DEFAULT BACK TO THE 1.8 GALLONE PER MINUTE
- 7) MAXIMUM SHOWER HEAD FLOW, 1.8 GALLONS PER MINUTE @ 80 psi
- 8) MULTIPLE SHOWERHEADS SERVING ONE SHOWER: WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE @ 80 PSI OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT ONE TIME
- 9) PER 2019 CGBC SECTION 4.303.2 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND TABLE 1401.1 OF THE CPC
- 10) A PLUMBING FIXTURE CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. COPIES OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- 11) MAXIMUM HORIZONTAL AND VERTICAL LENGTH FOR CLOTHES DRYER VENT 14 FT WITH 2 OFFSETS. REDUCE BY 2" FOR EACH ADDITIONAL BEND. ACTUAL LENGTH 5 FT MAX LENGTH 12 FT (SEE SHT A2.1)
- 12) EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPERS
- 13) BATHROOM EXHAUST FAN TO BE CONNECTED DIRECTLY TO EXTERIOR AND PROVIDE MIN OF 5 AIR CHANGES PER HOUR W/ MAX NOISE RATINGS OF 3 SONE (INTERMITTENT)
- 14) MECH. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING SHALL BE PROVIDED IN EVERY BATHROOM THAT CONTAINS A TUB OR A SHOWER. MECH. EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CAL GREEN CODE SECTION 4.508.1 AS FOLLOWS:
 - a) FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
 - b) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATING SYSTEM , FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80%
 - c) ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3' FEET FROM A PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING.
- 15) HVAC DUCTS AND PLENUMS TO BE INSTALLED AND INSULATED PER CMC SECTIONS 601 THRU 605. INSTALLED LEVEL OF INSULATION R4.2 IF IN UNCONDITIONED SPACE
- 16) WATER HEATER : NEW TANKLESS WATER HEATER - NAVIEN NPE-240S 200,000 BTU / HR - 0.97-UEF
- 17) HVAC 2 NEW HVAC SYSTEMS, 1 NEW HEAT PUMP @ LIBRARY
- 18) PROVIDE MINIMUM CLEARANCES AROUND HVAC UNITS FOR MAINTENANCE PER MANUFACTURERS REQUIREMENTS
- 19) PROVIDE ATTIC ACCESS PANEL MIN OPENING SIZE 30"x22" MAXIMUM TRAVEL DISTANCE FROM ACCESS PANEL TO EQUIPMENT 20FT
- 20) PROVIDE UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT ACCESS PASSAGE FLOOR TO BE MIN 24" WIDTH
- 21) ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE "X" GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED
- 22) POLYVINYL CHLORIDE: STATE HEALTH AND SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING
- 23) SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. [CRC R307.2]
- 24) THE CONTROL VALVES IN SHOWERS, TUB SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408,409,410.

STAIR PROTECTION

- 1) ACCESSIBLE SPACE BELOW STAIR SHALL HAVE WALLS & SOFFITS PROTECTED ON ENCLOSED SIDE BY MIN 5/8" TYPE "X" GYPSUM BOARD

FIREBLOCKING

- 1) PROVIDE APPROVED FIREBLOCKING AT STUD WALL FRAMING @ FOLLOWING LOCATIONS:
 - a) AT FLOOR AND CEILING LEVELS
 - b) HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT
 - c) AT ALL INTERCONNECTIONS BETWEEN CONCEALED HORIZONTAL AND VERTICAL SPACES
 - d) AT ALL CHIMNEYS AND FIREPLACES SEE SHEET A7.2
- 2) PROVIDE APPROVED FIRESTOPPING MATERIAL AT ALL OPENINGS AROUND PIPES, VENTS, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVELS

SAFETY GLAZING

- 1) TEMPERED OR SAFETY GLAZING SHALL BE INSTALLED WHERE GLAZING IS USED IN A HAZARDOUS LOCATION AS DEFINED IN SECTION R308.4 OF THE CBC SCHEDULE. SEE WINDOW AND DOOR
- 2) GLASS SHALL BE INSCRIBED WITH MANUFACTURERS DESIGNATION PER SECTION R308.1 OF THE CBC
- 3) SOME HAZARDOUS LOCATIONS APPLICABLE:
 - GLAZED DOORS AND GLAZED PANELS WITHIN 2FT OF DOOR AND LESS THAN 5FT ABOVE FLOOR
 - GLAZING IN ENCLOSURES FOR BATHTUBS AND SHOWERS AND LESS THAN 5FT ABOVE FLOOR
 - GLAZING THAT MEETS FOLLOWING CONDITIONS:
 - a) AREA OF INDIVIDUAL PANE MORE THAN 9SF
 - b) BOTTOM EDGE OF GLAZING LESS THAN 18" ABOVE FLOOR
 - c) TOP EDGE IS MORE THAN 36" ABOVE FLOOR
 - d) WITHIN 36" OF WALKING SURFACE
- 4) PROVIDE TEMPERED GLASS @ SKYLIGHTS OR APPROVED EQUAL PER CBC R308.6.2

SMOKE DETECTORS:

- 1) PROVIDE SMOKE DETECTORS IN ALL SLEEPING ROOMS & HALL WAYS OR AREAS LEADING TO EACH SLEEPING ROOM. LOCATION SHOWN AS **(SD)**
- 2) THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC R314.3.4
- 3) SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SHALL BE LISTED IN ACCORDANCE WITH UL 217.
- 4) COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
- 5) SMOKE ALARM SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE MARSHALL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TILE 19, DIV. 1 FOR THE PURPOSE OF WHICH THEY ARE INSTALLED.

CARBON MONOXIDE ALARMS

- 1) PROVIDE CARBON MONOXIDE ALARMS INTERCONNECTED & HARD WIRED W/ BATTERY BACK-UP AT FOLLOWING LOCATIONS: OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENT SEE ELECTRICAL PLANS FOR LOCATIONS

INSULATION:

- 1) ATTIC INSULATION BATTS @ NEW CONSTRUCTION R-30 TYPICAL
- 2) WALL INSULATION R-19 AT NEW EXTERIOR WALLS
- 3) RECIRCULATING SECTIONS OF HOT WATER PIPES SHALL BE INSULATED PER CEC STANDARDS
- 4) INSULATION FOR CHILLED WATER OR REFRIGERANT PIPING SHALL INCLUDE A VAPOR RETARDANT IF NOT LOCATED IN CONDITIONED SPACE

CAULKING

ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED. SEE ALSO CALIFORNIA GREEN CODE REQUIREMENTS

EGRESS WINDOW

- 1) PROVIDE AT LEAST ONE OPERABLE WINDOW THAT MEETS FOLLOWING REQUIREMENTS:
 - a) MIN OPENING AREA 5.7 S.F.
 - b) MIN OPENING HEIGHT 24"
 - c) MIN OPENING WIDTH 20"
 - d) SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FLOOR BELOW

DOORS AND WINDOWS

- 1) WINDOWS SHALL HAVE LABEL LISTING CERTIFIED U FACTOR, SHGC AND INFILTRATION STANDARDS THAT MEET CEC REQUIREMENTS
- 2) EXTERIOR DOORS AND WINDOWS SHALL BE WEATHERSTRIPPED
- 3) ALL JOINTS AND PENETRATIONS SHALL BE CAULKED AND SEALED

SKYLIGHTS

SKYLIGHT GLAZING TEMPERED INSULATING TYPICAL SKYLIGHTS BY VELUX AMERICA INC. TYPE FOM UNITS IAPMO ER-0199 SKYLIGHTS SHALL BE TESTED BY APPROVED INDEPENDENT LABORATORY AND BEAR LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING AND INSPECTION AGENCY TO SHOW COMPLIANCE W/ AAMA/WDMA/CSA 1011.1.S.2/A440

GARAGE

- 1) DOOR FROM GARAGE TO RESIDENCE SHALL BE MIN 1-3/8" THICK SOLID WOOD OR HAVE 20 MIN FIRE RATING DOOR SHALL BE SELF CLOSING AND SELF LATCHING OPENINGS IN FIRE SPRINKLED RESIDENCE NEED ONLY BE SELF CLOSING AND SELF LATCHING
- 2) PROVIDE MIN 5/8 "TYPE "X" GYPSUM BOARD APPLIED TO GARAGE SIDE AT ALL WALLS AND CEILINGS SEPARATING GARAGE FROM HABITABLE SPACE
- 3) DUCTS PENETRATING WALLS OR CEILING SEPARATING GARAGE FROM DWELLING SHALL BE MIN NO.26 GA SHEET METAL OR OTHER APPROVED MATERIAL & SHALL HAVE NO OPENINGS INTO GARAGE

GUARDRAILS

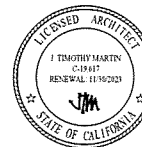
- 1) TOP OF GUARDRAIL SHALL BE MIN. 42" HEIGHT
- 2) OPEN GUARDRAILS SHALL HAVE RAILS SUCH THAT A SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH

FIREPLACES

- 1) TOP OF GUARDRAIL SHALL BE MIN. 42" HEIGHT
- 2) OPEN GUARDRAILS SHALL HAVE RAILS SUCH THAT A SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH



SCHRAGER RESIDENCE
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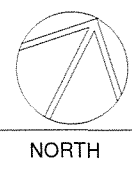
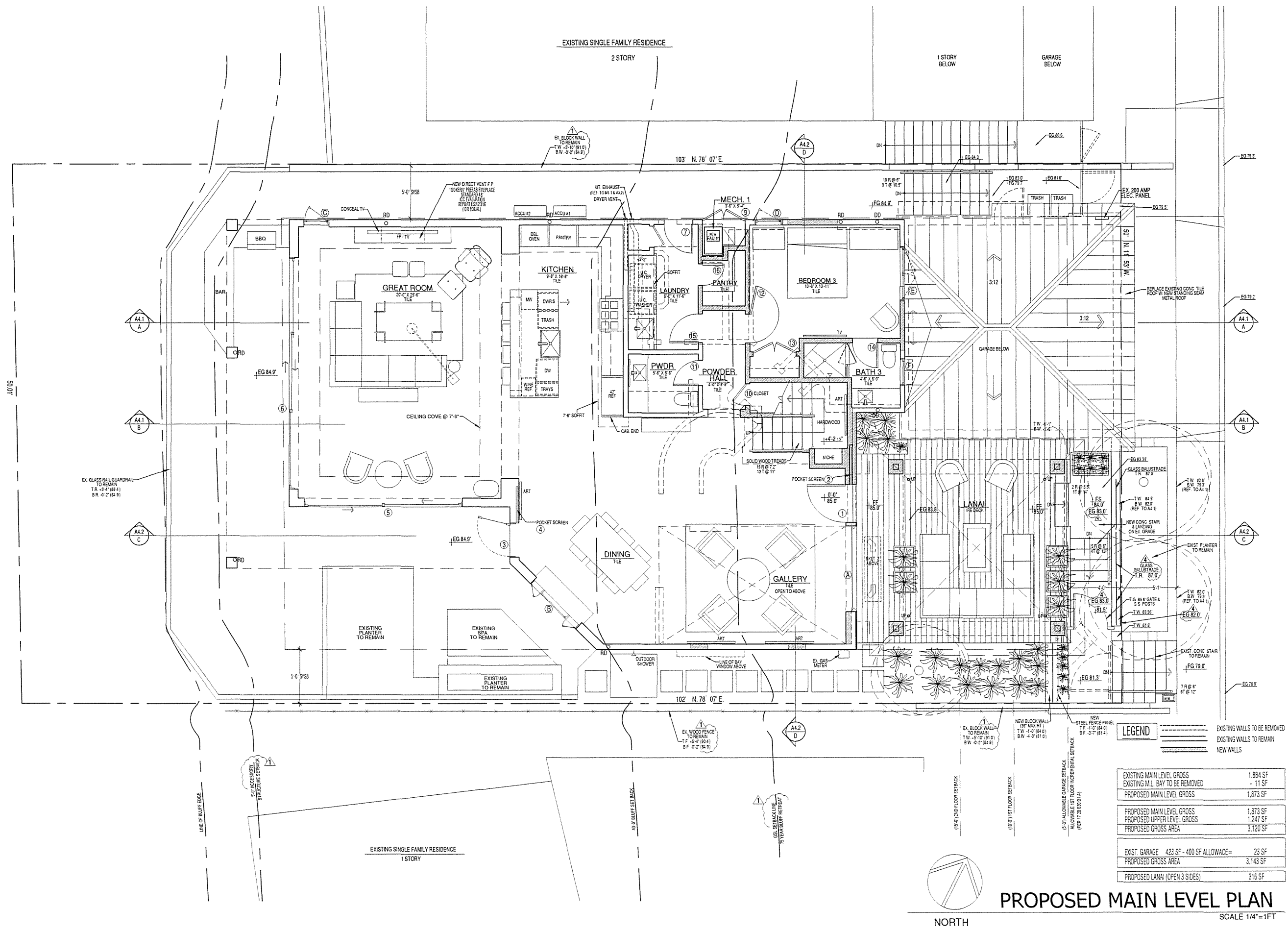
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11-21-21
5-18-22
8-15-22
10-3-22
12-5-22

SHEET NO.
A 1.1



PROPOSED MAIN LEVEL PLAN
SCALE 1/4"=1'-0"



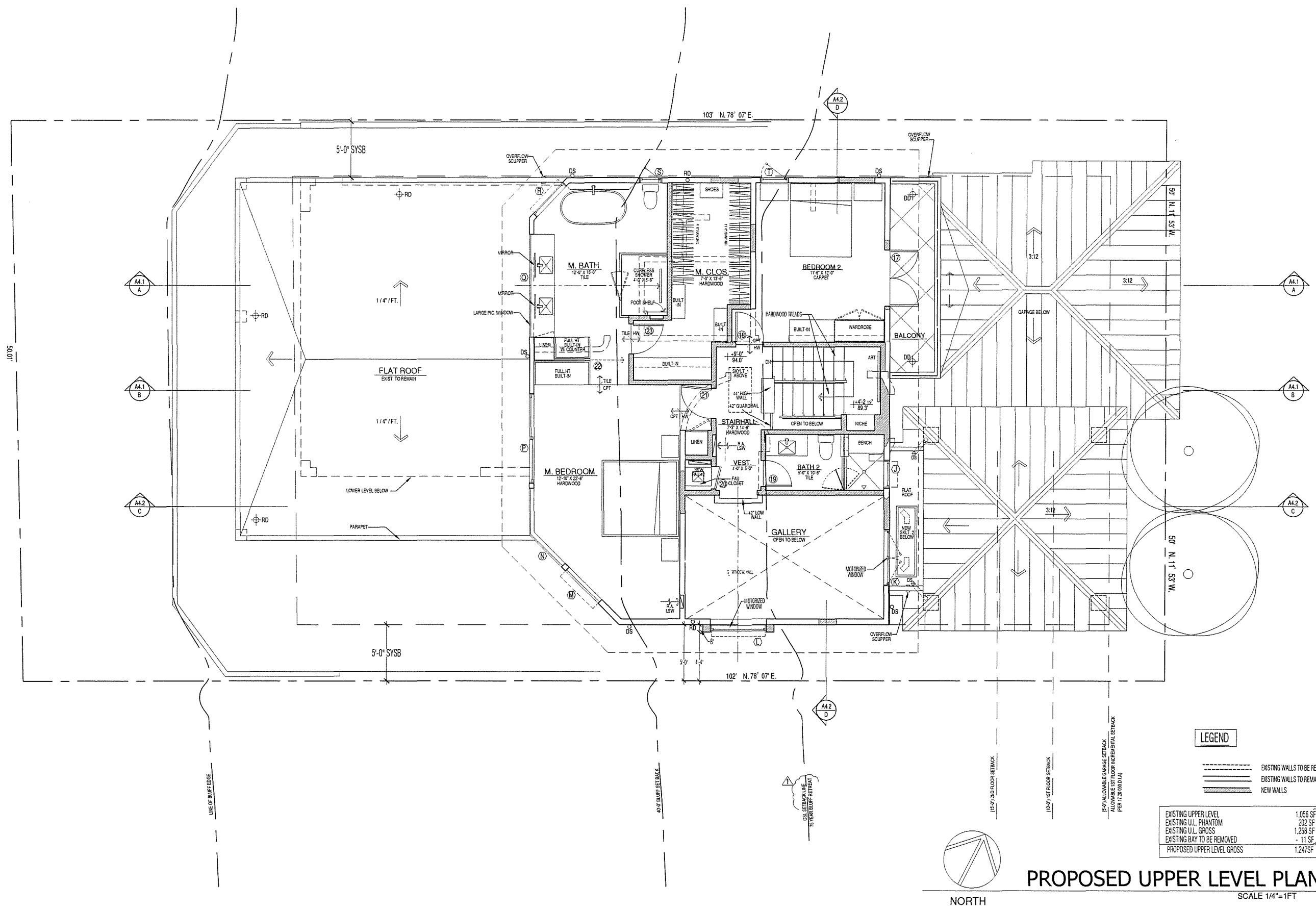
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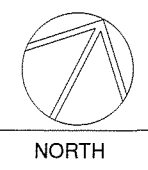
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A 1.2



LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW WALLS

EXISTING UPPER LEVEL	1,056 SF
EXISTING U.L. PHANTOM	202 SF
EXISTING U.L. GROSS	1,258 SF
EXISTING BAY TO BE REMOVED	- 11 SF
PROPOSED UPPER LEVEL GROSS	1,247 SF



PROPOSED UPPER LEVEL PLAN
SCALE 1/4"=1FT



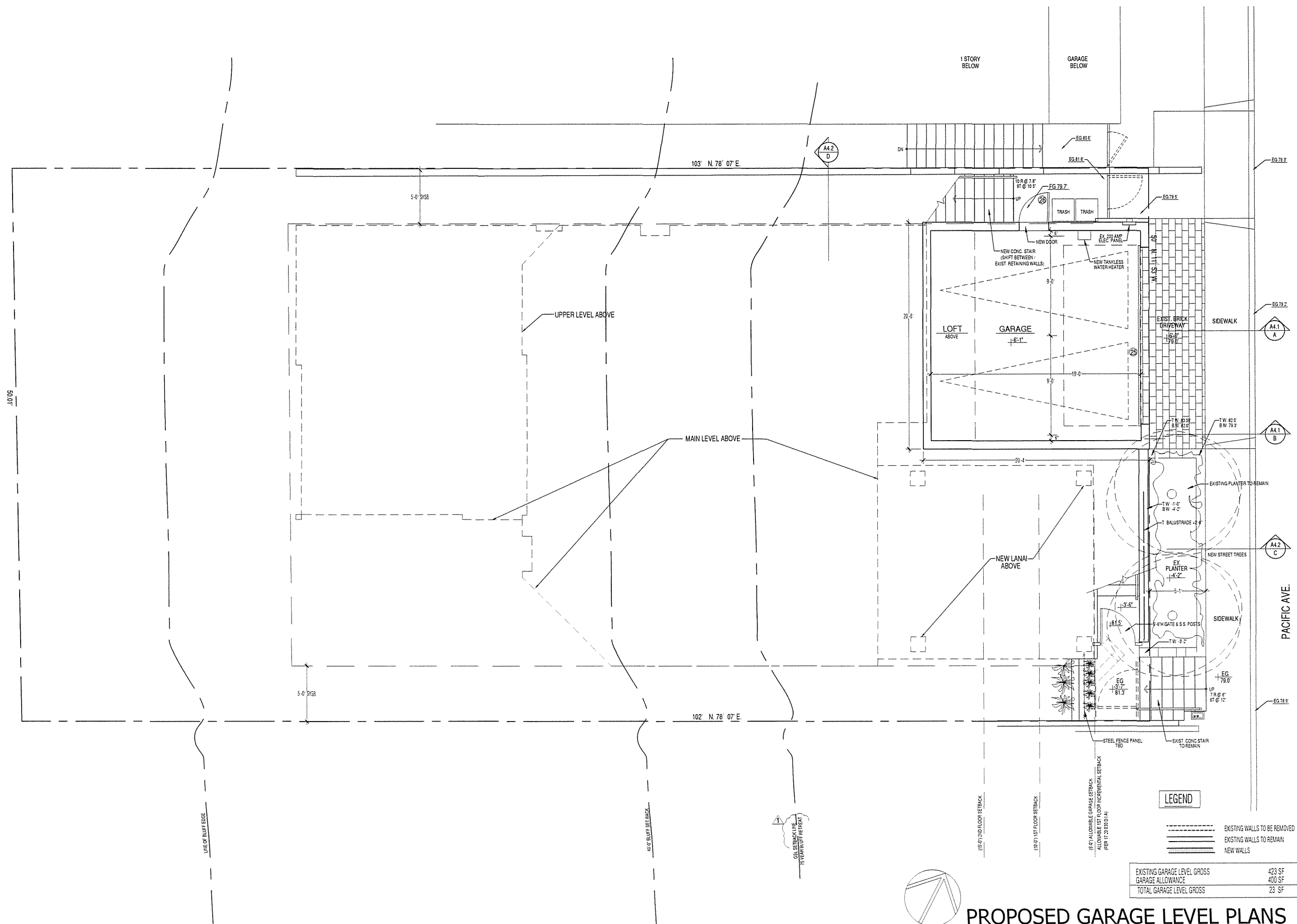
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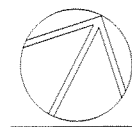
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A1.3



LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW WALLS

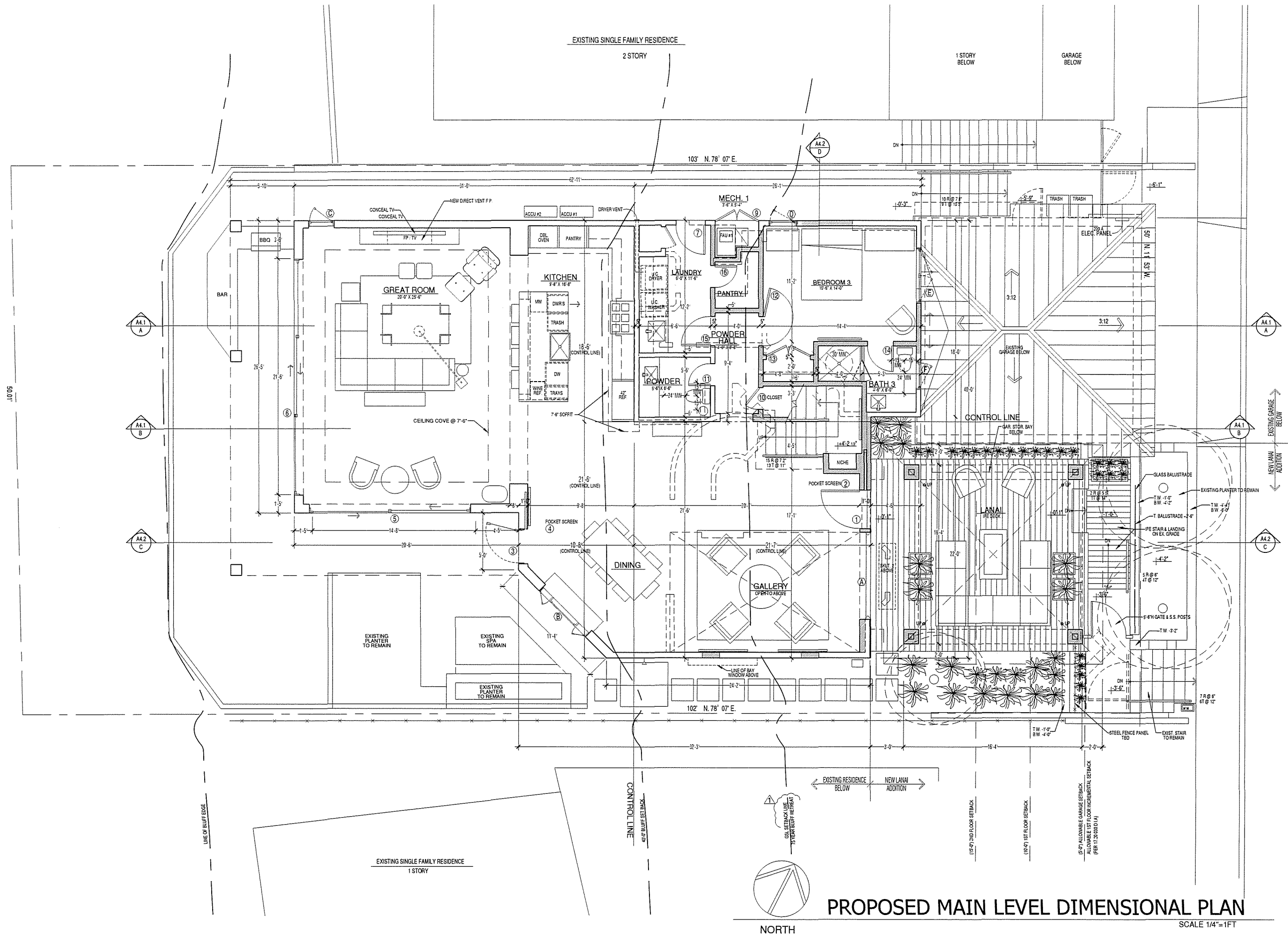
EXISTING GARAGE LEVEL GROSS	423 SF
GARAGE ALLOWANCE	400 SF
TOTAL GARAGE LEVEL GROSS	23 SF



PROPOSED GARAGE LEVEL PLANS

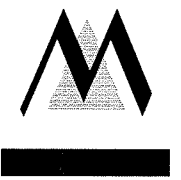
NORTH

SCALE 1/4"=1FT



PROPOSED MAIN LEVEL DIMENSIONAL PLAN

SCALE 1/4"=1'-0"



SCHRAGER RESIDENCE
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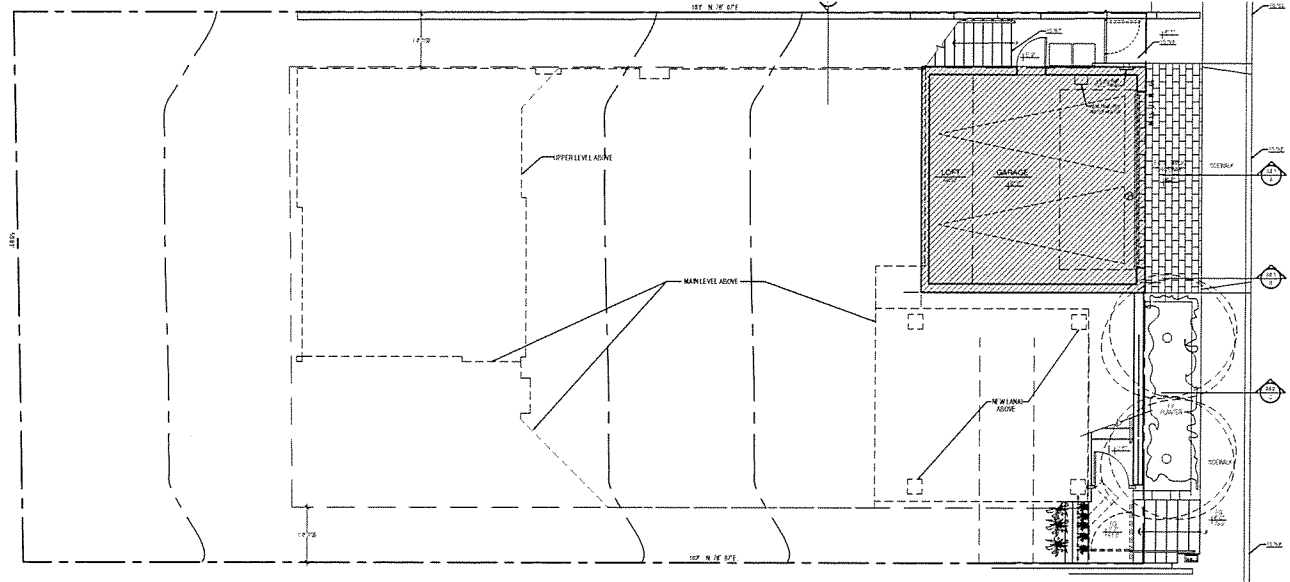
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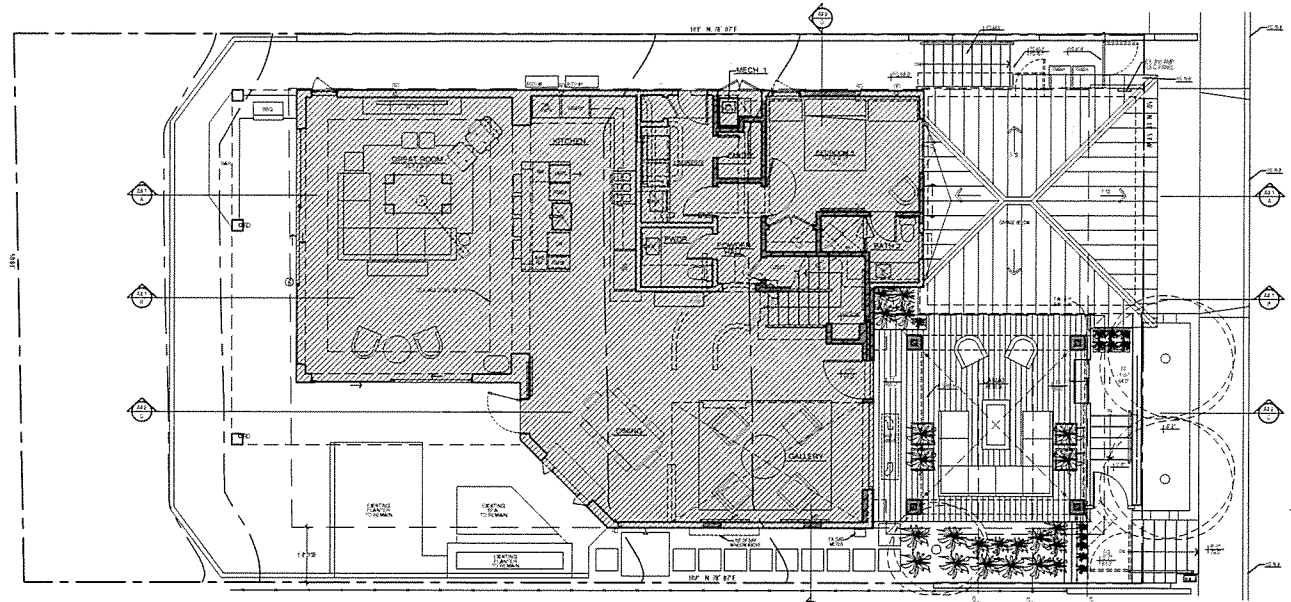
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A 2.1



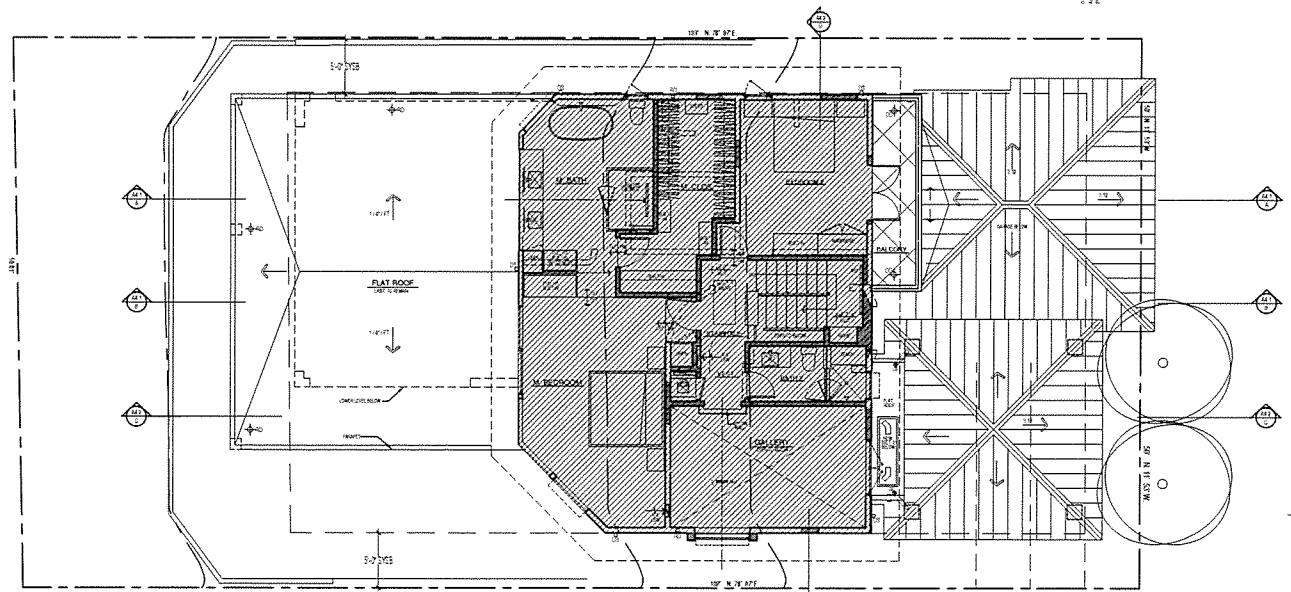
SCHRAGER RESIDENCE
241 PACIFIC AVENUE, SOLANA CA



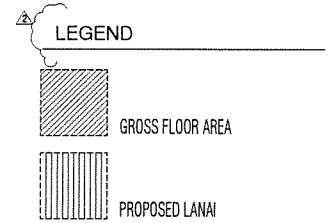
GARAGE LEVEL
423 SF



MAIN FLOOR
1,884 SF



UPPER FLOOR
1,258 SF



AREA SUMMARIES

GROSS FLOOR AREA SUMMARY	
LOT AREA	5,137 SF
NET LOT AREA	
MAX ALLOWABLE GFA	5,137 X .50 = 2,569 SF
GARAGE ALLOWANCE	400 SF
MAX ALLOWABLE	2,569 SF

PROPOSED FLOOR AREA / SQ BREAKDOWN	
EXISTING FIRST FLOOR LIVING AREA	1,884 SF
FIRST FLOOR LIVING AREA TBR	-11 SF
EXISTING SECOND FLOOR LIVING AREA	1,258 SF
SECOND FLOOR LIVING AREA TBR	-11 SF
EXISTING GARAGE	423 SF
GARAGE ADDITION	0 SF
COVERED & ENCLOSED PATIO	0 SF
ACCESSORY DWELLING UNIT (ADU)	0 SF
SUBTOTAL OF FLOOR AREA	3,543 SF
OFF-STREET PARKING EXEMPTION (2 SPACES)	-400 SF
TOTAL PROPOSED FLOOR AREA	3,143 SF
PROPOSED LANAI (OPEN 3 SIDES)	316 SF (NEW)
TOTAL PROPOSED GROSS	3,459 SF
TOTAL EXISTING GROSS	3,336 SF (.65)
TOTAL PROPOSED GROSS	3,459 SF (.70)

TOTAL LOT AREA HAS A REDUCTION OF 200 SF AS A RESULT OF THE EROSION LOSS OVER TIME PER GEOTECH REPORT
 5,137 SF - 200 SF = 4,937 LOT AREA
 PROPOSED FAR 3,459 SF / 4,937 SF = .70

PROPOSED LANAI	316 SF
----------------	--------

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FAR FLOOR PLAN
SCALE 1/8"=1FT

11-21-21
 10-10-22
 11-7-22

SHEET NO.

A2.3



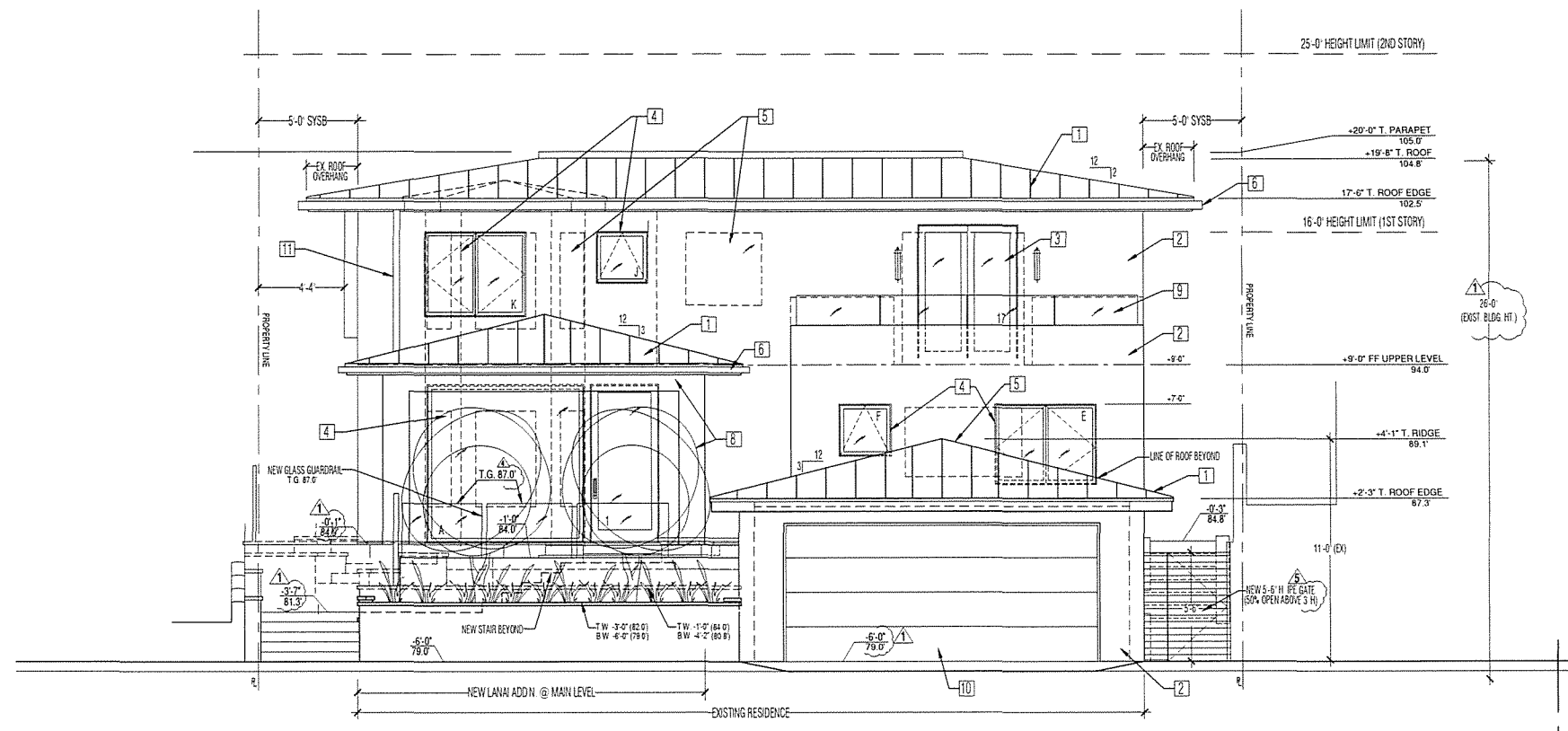
SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA



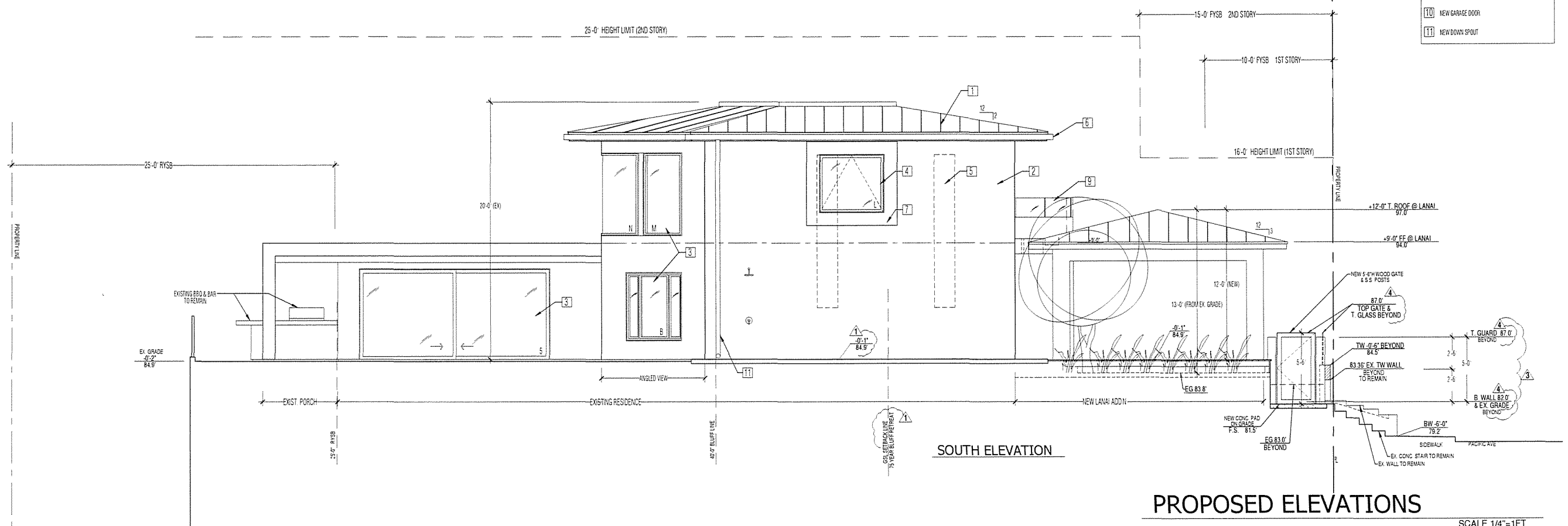
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11-21-21
5-18-22
8-15-22
11-7-22
12-5-22
3-10-23

SHEET NO.
A 3.1



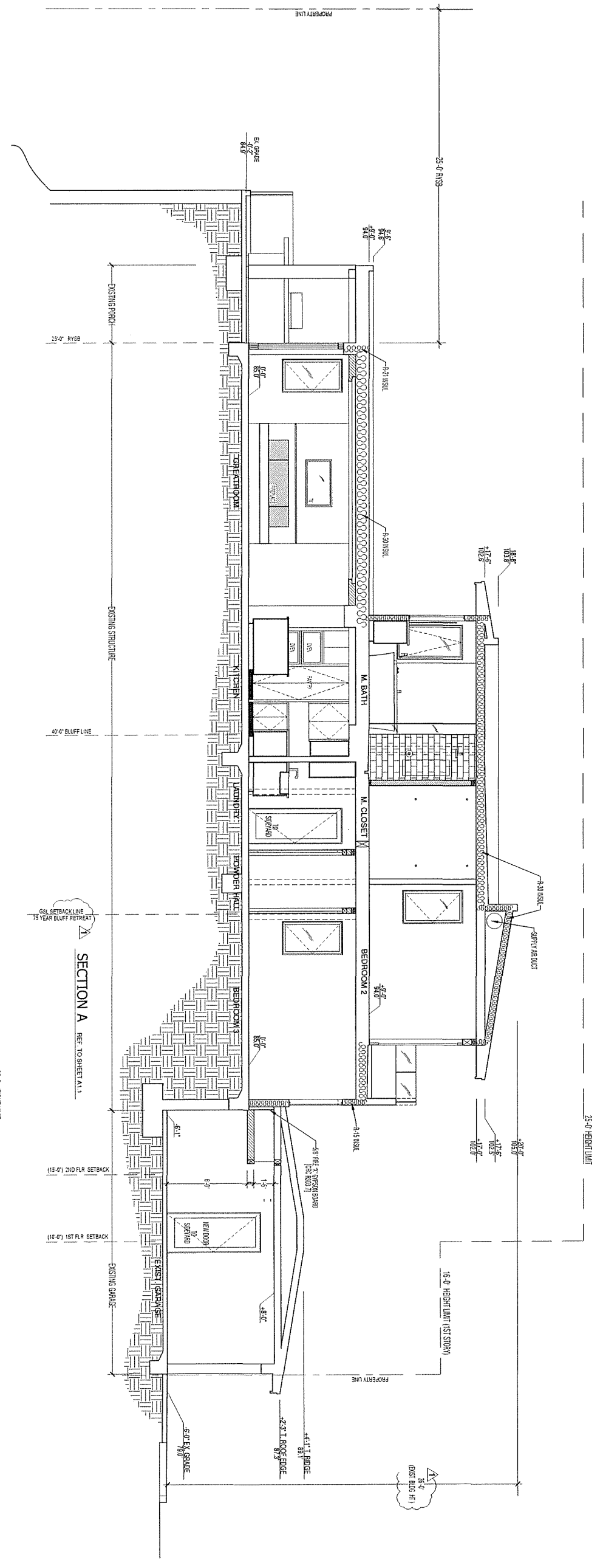
EAST ELEVATION



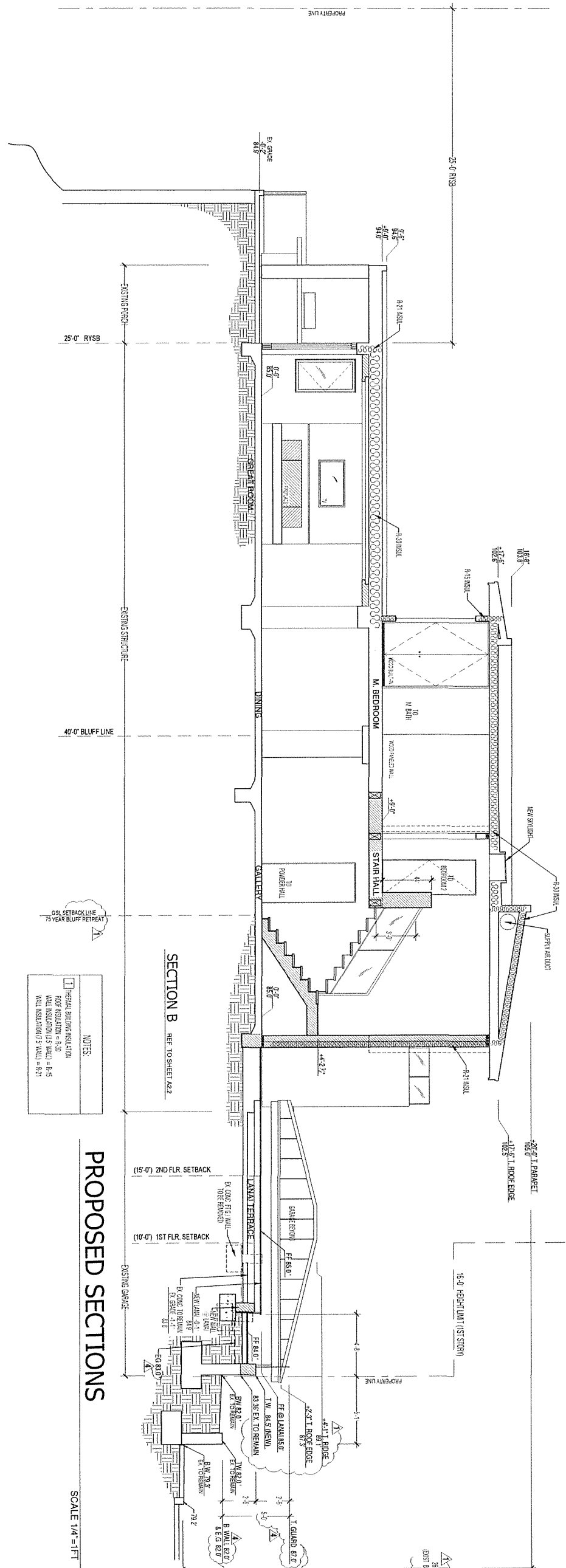
SOUTH ELEVATION

PROPOSED ELEVATIONS

SCALE 1/4"=1'-0"



SECTION A
REF TO SHEET A.1

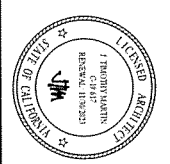


SECTION B
REF TO SHEET A.2

NOTES:
 1. TYPICAL BUILDING INSULATION
 ROOF INSULATION = R-30
 WALL INSULATION 5' WALL = R-15
 WALL INSULATION 7' WALL = R-21

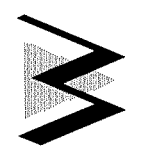
PROPOSED SECTIONS

SCALE 1/4" = 1'-0"



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SCHRAGER RESIDENCE
 241 PACIFIC AVENUE., SOLANA BEACH CA



11-21-21
 5-18-22
 8-15-22
 10-3-22
 11-7-22
 12-5-22

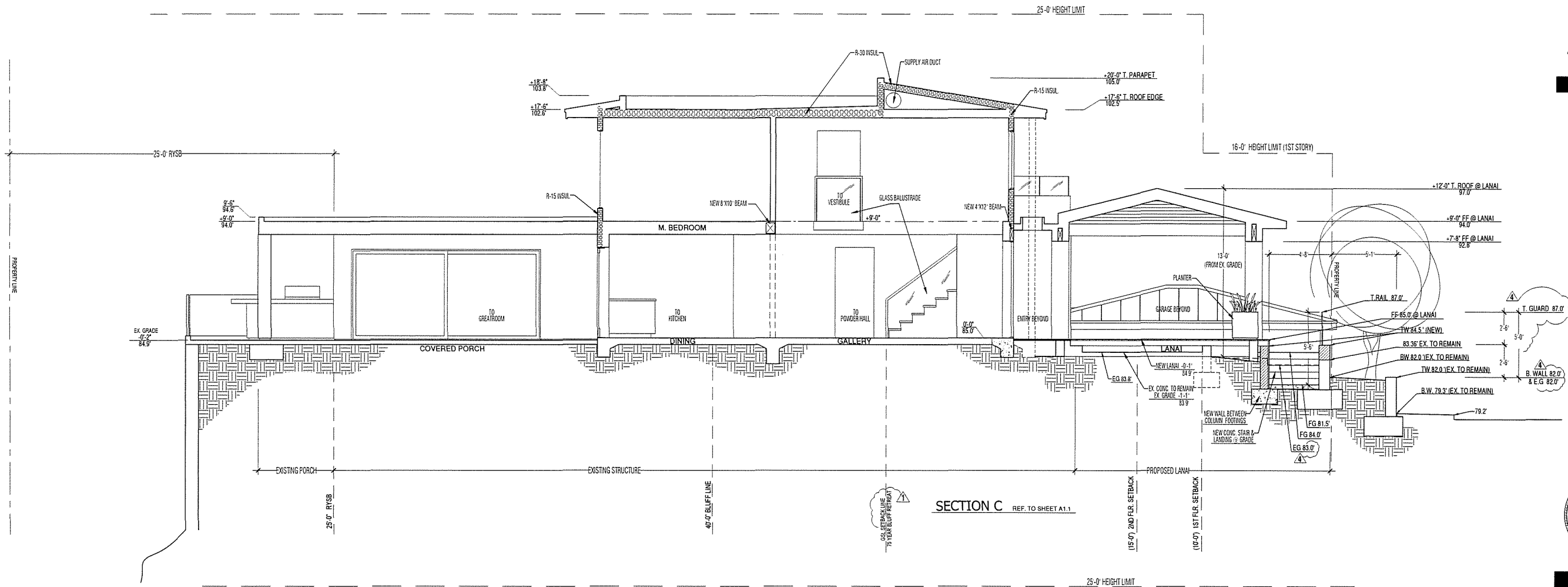
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A4.1



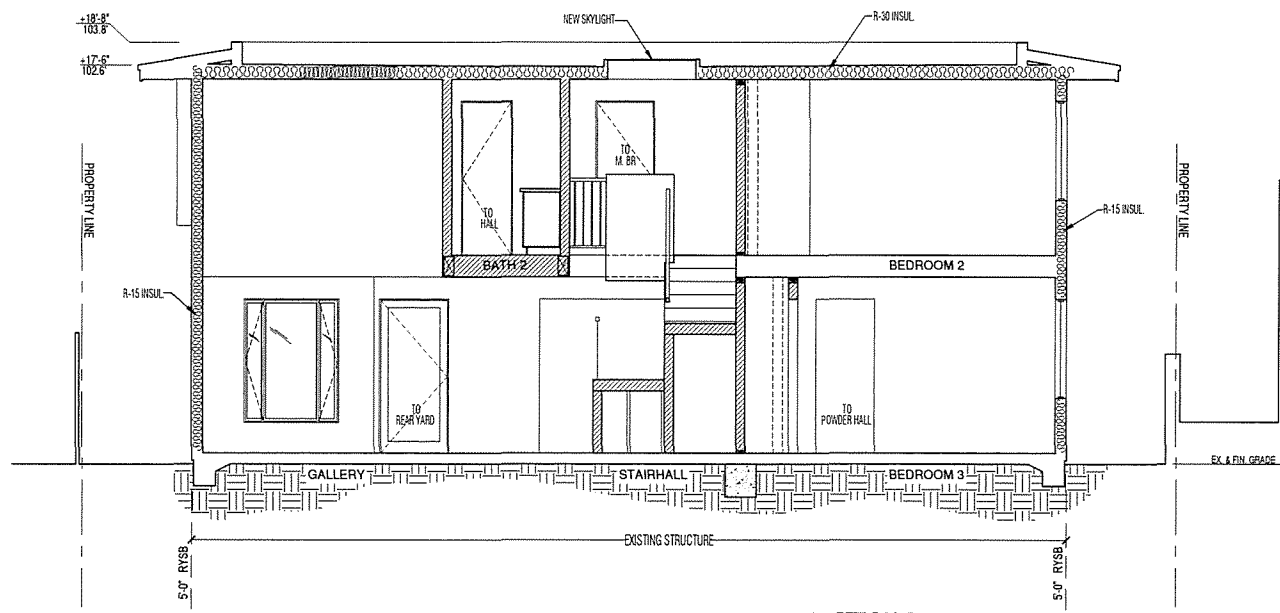
SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA



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SECTION C REF. TO SHEET A1.1



SECTION D REF. TO SHEET A2.2

NOTES:	
1	THERMAL BUILDING INSULATION
	ROOF INSULATION = R-30
	WALL INSULATION (3.5" WALL) = R-15
	WALL INSULATION (7.5" WALL) = R-21

PROPOSED SECTIONS

SCALE 1/4"=1FT

- 11-21-21
- 5-18-22
- 8-15-22
- 10-3-22
- 11-7-22
- 12-5-22

SHEET NO.
A4.2



SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA



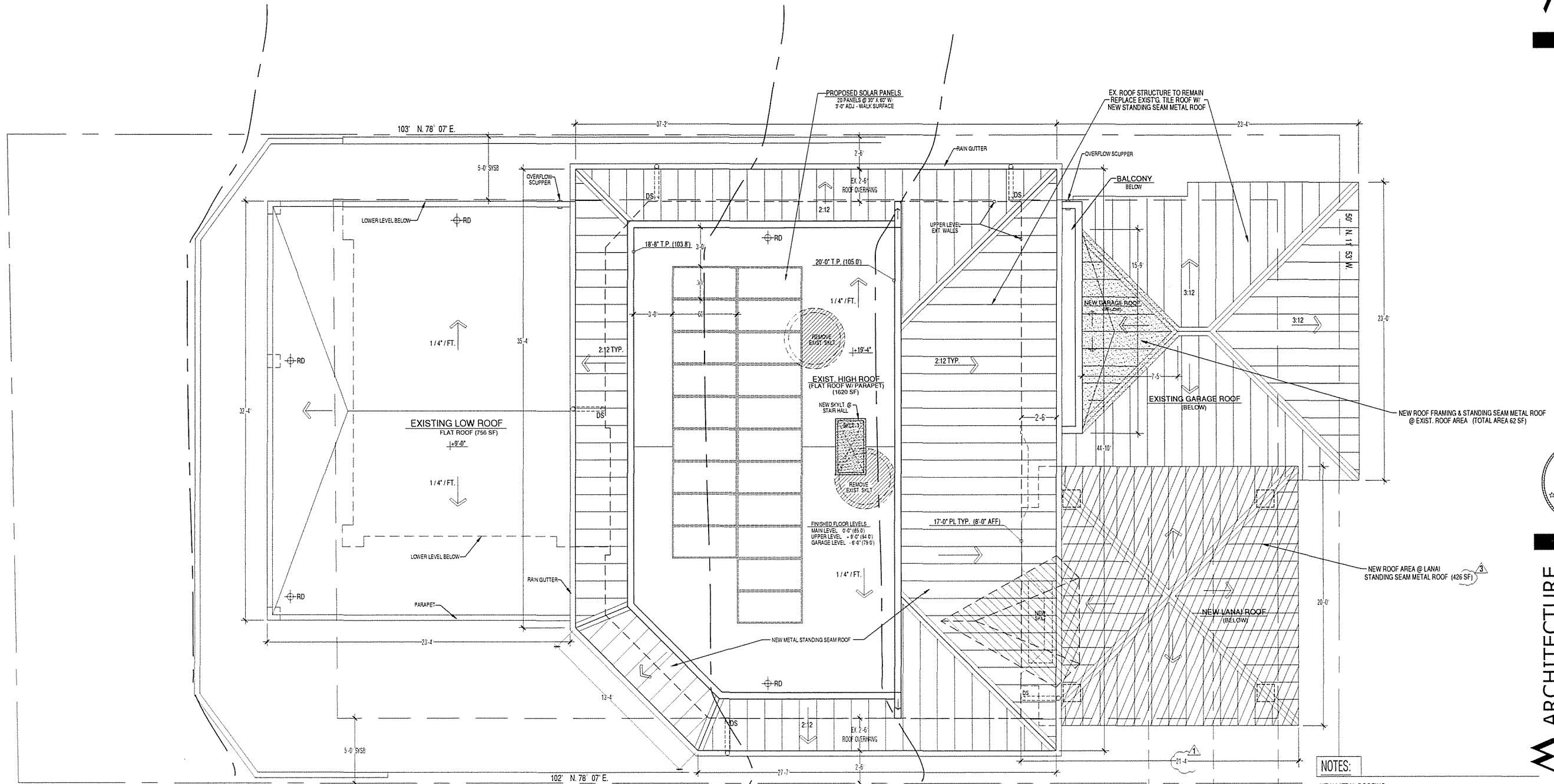
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MARTIN ARCHITECTURE

11-21-21
5-18-22
8-15-22
11-7-22
12-5-22

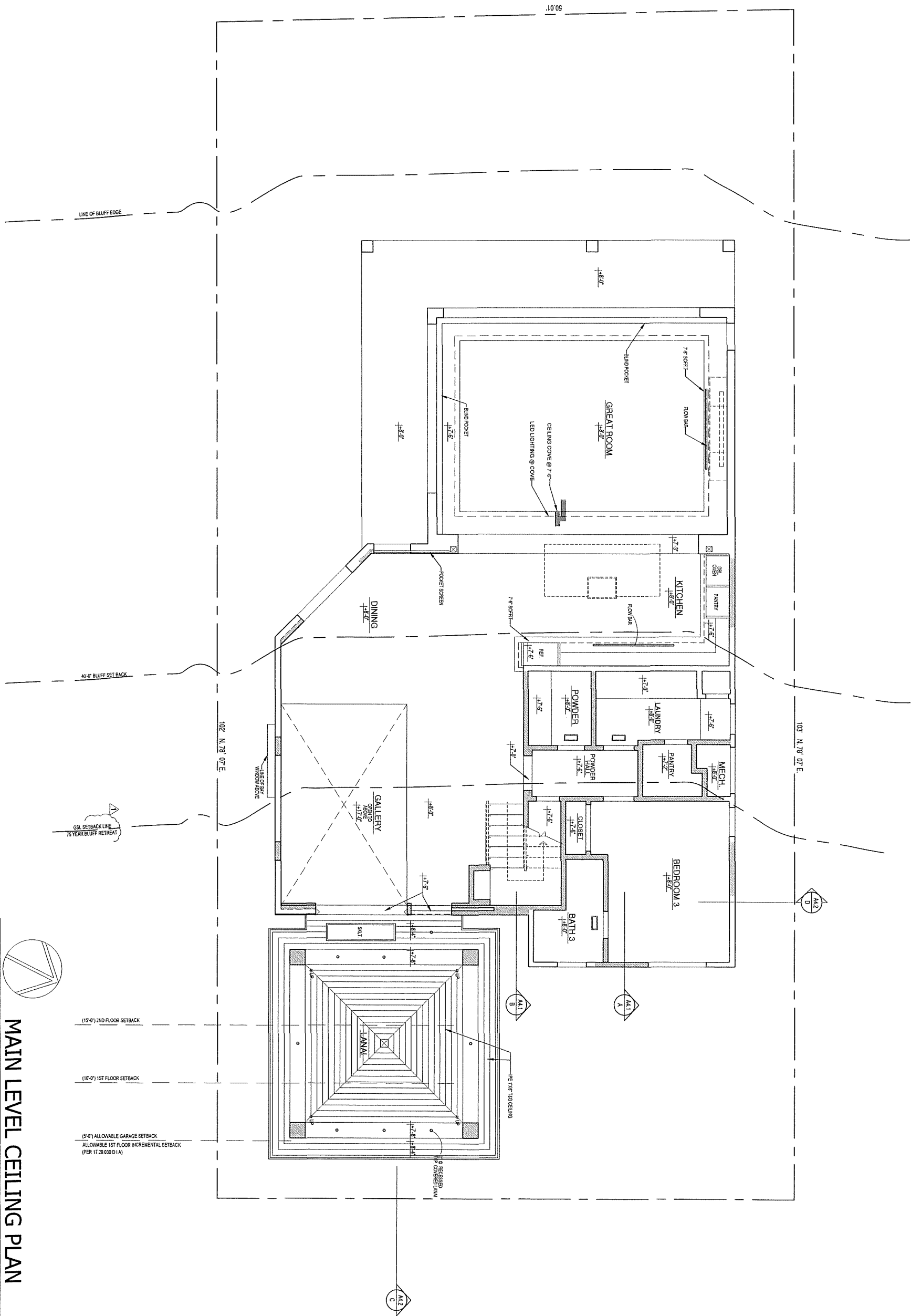
SHEET NO.
A 5.1



PROPOSED ROOF PLAN

NORTH

SCALE 1/4"=1FT



MAIN LEVEL CEILING PLAN

NORTH

SCALE 1/4" = 1'-0"

SHEET NO.
A 6.1

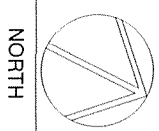
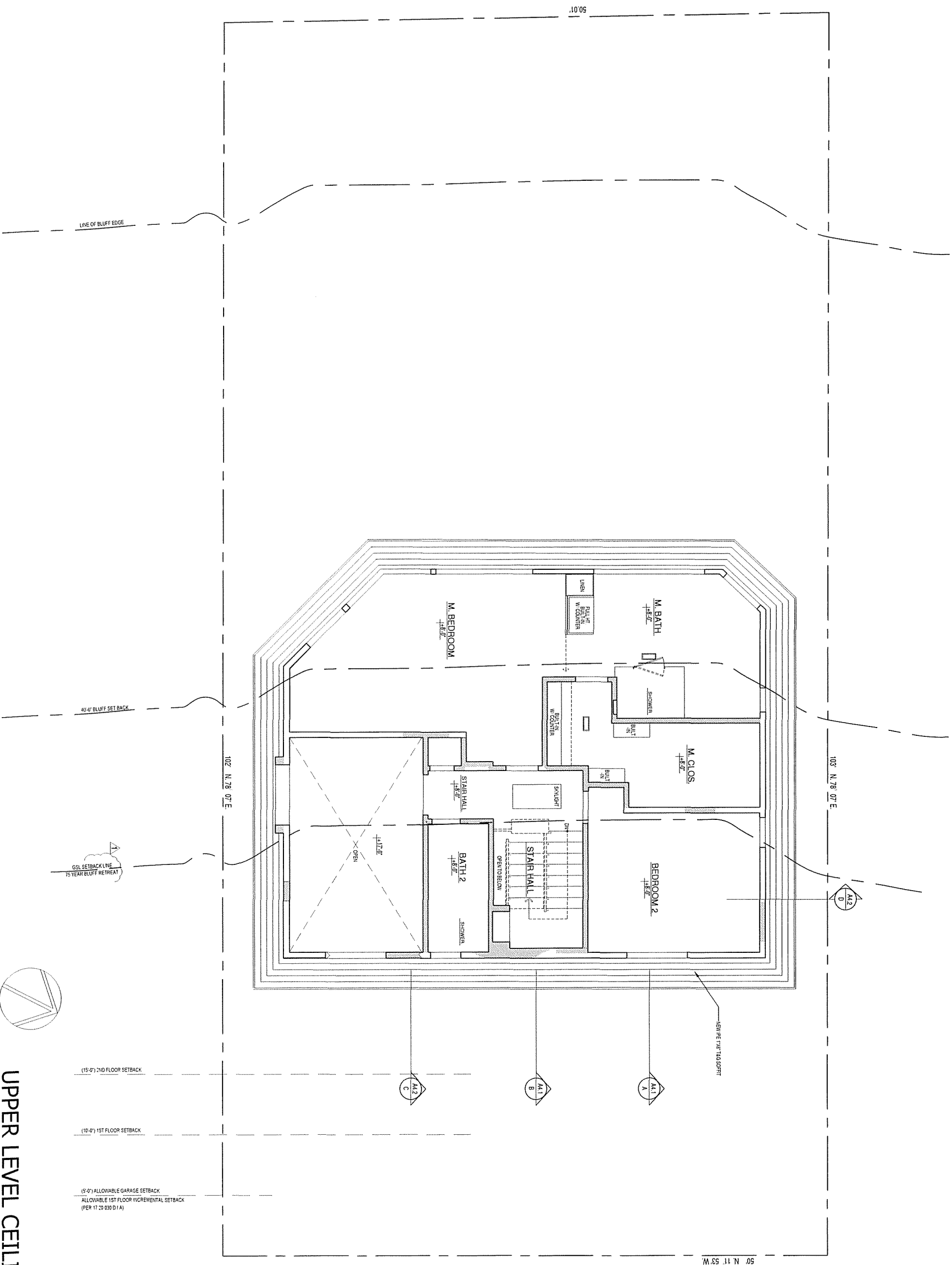
11-21-21
A-8-15-22

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SCHRAGER RESIDENCE
241 PACIFIC AVENUE., SOLANA BEACH CA





NORTH

UPPER LEVEL CEILING PLAN

SCALE 1/4" = 1'-0"

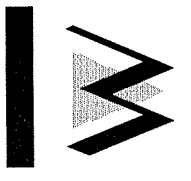
SHEET NO.
A 6.2

11-21-21
A 8-15-22

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SCHRAGER RESIDENCE
 241 PACIFIC AVENUE., SOLANA BEACH CA





Geotechnical • Geologic • Coastal • Environmental

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February 18, 2022
Revised July 19, 2022

W.O. 8278-A-SC

Mr. Rick Schrager
241 Pacific Avenue
Solana Beach, California 92075

Subject: Limited Geotechnical Evaluation for Proposed Improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00

Dear Mr. Schrager:

In accordance with your request and authorization, GeoSoils, Inc. (GSI), is providing this summary of our limited geotechnical evaluation of the impact of the proposed improvements to the single-family residence on the existing bluff, at the subject site. The purpose of this study was to provide a general, qualitative site evaluation for the proposed improvement, as it relates to the stability of the nearby coastal bluff. The scope of our services for this study included: 1) a review of in-house regional geologic maps and available literature (see the Appendix); 2) brief site reconnaissance and observations of the surficial site conditions; 3) review of the architectural plans ; and 4) the preparation of this summary letter and accompaniments.

SITE CONDITIONS

The subject property is located at 241 Pacific Avenue in Solana Beach, San Diego County, California. The site is situated upon a developed, steeply westerly sloping coastal terrace, adjacent to an approximately 75-foot high coastal bluff, along the Pacific Ocean shoreline. The coastal bluff consists of a steep, west-facing, somewhat anthropogenically modified slope. According to a geotechnical report by Soil Engineering Construction Inc. (SEC, 2019), the natural bluff was inclined greater than 45 degrees from the horizontal and friable sand was exposed at elevations 25 to 35 feet (NAV88) which was contributing to the destabilization of the bluff. The upper coastal bluff slope is sparsely vegetated due to rilling and sloughing of the bluff face and a recent slope failure and erosion. As a result of that failure, a 35-foot high seawall has been constructed, as recommended in SEC (2019).

From Google Earth Imagery (2020), the beach sand elevation, near the toe of the bluff, is approximately 10 feet above the approximate mean low tide elevation. In general, the top of slope is 85 feet (NAV88), the bottom is at about 10 ft. (NAV88), and the beach extends toward the ocean about 75 feet to the mean high tide line elevation of 4.41 (NAV88).

PROPOSED DEVELOPMENT

GSI understands that the proposed remodel consists of mostly interior improvements and some exterior improvements to the existing residence, as depicted in the architectural plans by Martin Architecture (MA, 2021). The improvements include removal of the existing interior winding staircase and replacing it with a conventional switchback staircase, remodeling the master bedroom area and closet, reducing the size of Bedroom 3 on the main level, adding a powder room and pantry, removal of a small portion of the roof, and construction of a new lanai adjacent the existing garage. Other than the lanai, no additional square footage is proposed. New foundations are proposed for the lanai, an exposed accessory structure near the street (Pacific Avenue) and east of the Geologic Setback Line (GSL). Retrofitting of the existing foundation is planned at several locations east of the 40-foot setback line. This will consist of six footings for new posts to facilitate floor framing adjustments and two footings for shear walls for seismic upgrades. The retrofitting will replace the existing footings and not add any new loads. The lanai is outboard (east) of the GSL, and has no effect on bluff stability.

GEOLOGIC CONDITIONS

Regional Geology

The subject property lies within the coastal plains physiographic section of San Diego County. This section consists of dissected, mesa-like terraces that transition inland to rolling hills. San Diego County occurs within the Peninsular Ranges Geomorphic Province of southern California. This province is characterized as elongated mountain ranges and valleys that trend northwesterly (Norris and Webb, 1990). The Peninsular Ranges extend from the base of the east-west aligned Santa Monica - San Gabriel Mountains, and continue south into Baja California. The mountain ranges within this province are underlain by basement rocks consisting of pre-Cretaceous metasedimentary rocks, Jurassic metavolcanic rocks, and Cretaceous plutonic (granitic) rocks.

In the Southern California region, deposition occurred during the Cretaceous Period and Cenozoic Era in the continental margin of a forearc basin. Sediments, derived from Cretaceous-age plutonic rocks and Jurassic-age volcanic rocks, were deposited during the Tertiary Period (Eocene-age) into the narrow, steep, coastal plain and continental margin of the basin. These rocks have been uplifted, eroded, and deeply incised. During early Pleistocene time, a broad coastal plain was developed from the deposition of marine terrace deposits (now termed "old paralic deposits"). During mid- to late-Pleistocene time, this plain was uplifted, eroded and incised. Alluvial deposits have since filled the lower valleys, and young marine sediments are currently being deposited/eroded within coastal and beach areas.

Site Geology

Regional geologic mapping by Kennedy and Tan (2007) indicates the site is mantled by Quaternary-age old paralic deposits. These deposits are shown as being unconformably underlain by sedimentary bedrock belonging to the Tertiary Torrey Sandstone. According to SEC, (2019) the Torrey Sandstone lies nearly flat at the site. Beach deposits consisting variably of unconsolidated sand to cobble exist from the toe of the bluff to the coastline.

GEOLOGIC SETBACK LINE DETERMINATION

The City's relevant policy regarding the Geologic Setback Line (GSL), is as follows:

Policy 4.25: All new bluff property development shall be set back from the bluff edge a sufficient distance to ensure that it will not be in danger from erosion and that it will ensure stability for its projected 75-economic life. To determine the GSL, applications for bluff property development must include a geotechnical report, from a licensed Geotechnical Engineer or a certified Engineering Geologist, that establishes the Geologic Setback Line (GSL) for the proposed development. This setback line shall establish the location on the bluff top where stability can be reasonably assured for the economic life of the development. Such assurance will take the form of a quantitative slope analysis demonstrating a minimum factor of safety against sliding of 1.5 (static) or 1.2 (pseudostatic, $k=0.15$ or determined through analysis by the geotechnical engineer), using shear strength parameters derived from relatively undeformed samples collected at the site. In no case shall the setback be less than 40 feet from the bluff edge, and only if it can be demonstrated that the structure will remain stable, as defined above, at such a location for its 75-year economic life and has been sited safely without reliance on existing or future bluff retention devices, other than a caisson foundation.

Recently, GSI has performed quantitative slope stability analyses for nearby bluff projects, including 216 Neptune Ave., and 529 Pacific Ave. (see Appendix A), in the Encinitas-Solana Beach area, for the purpose of determining the GSL, as outlined above. Quantitative analyses of the bluffs were performed, and subsequently approved by the geotechnical reviewer for the City. For these projects, the approved GSL, which includes the future 75-year bluff erosion rate (increased for Sea Level Rise), was 51 feet from the bluff top. For this current project, a distance of 55 feet from the bluff top has been evaluated for 241 Pacific Avenue as satisfying the criteria of having a static factor of safety of 1.5 (this does not include the future erosion rate, which is additive to this distance). This will aid in calculating the GSL, once the future erosion rates have been determined (see below).

COASTAL BLUFF GEOMORPHOLOGY

Emery and Kuhn (1982) developed a global system of classification of coastal bluff profiles, and applied that system to the San Diego County coastline from San Onofre State Park to

the southern tip of Point Loma. Emery and Kuhn (1982) designated the Solana Beach coastline as “active” and “Type C-c.” The letter “C” designates coastal bluffs having a resistant geologic formation along the base of the bluff and more erodible earth materials in the upper portions of the bluff. The relative effectiveness of marine erosion compared to subaerial erosion of the bluff produces a characteristic profile. The letter “-c” indicates that the long-term rate of marine erosion is approximately equal to that of subaerial erosion. This aids in determining the historic bluff retreat rate (see below).

HISTORIC COASTAL-BLUFF RETREAT

Most of San Diego County’s coastline has experienced a measurable amount of erosion in the last 75 years, with more rapid erosion occurring during periods of heavy storm surf (Kuhn and Shepard, 1984). The entire base of the seacliff portion of coastal bluffs is based upon the available information, the use of a 6.4-foot rise in sea level over the design life of the proposed improvements to the property is fairly conservative (0.5% probability that SLR exceeds this amount [CCC, 2018]). Due to the relatively high elevation of the existing and proposed development (approximately ± 76 to ± 86 feet NAVD88), it is considered reasonably safe from coastal hazards including shoreline erosion, wave attack, wave overtopping and coastal flooding, even with a conservative sea level rise of 6.4 feet over the 75-year life of the development (0.5% probability that SLR exceeds this amount, per CCC [2018]), from 2019 to 2094 (year 2094 extrapolated from 2090 to 2100 data). The existing seawall below the subject site would provide additional protection from coastal hazards. exposed to direct wave attack along most of the coast. The waves erode the seacliff by impact on small joints/fractures and fissures in the otherwise essentially massive bedrock units, and by water-hammer effects. The upper bluffs, which often support little or no vegetation, are subject to wave spray and splash, sometimes causing saturation of the outer layer and subsequent sloughing of over-steepened slopes. Wind, rain, irrigation, and uncontrolled surface runoff contribute to the subaerial erosion of the upper coastal bluff, especially on the more exposed over-steepened portions of the friable sands. Where these processes are active, unraveling of cohesionless sands has occurred along portions of the upper bluffs. Finally, improvements sited near the bluff edge can concentrate surface runoff onto the bluff slope, and can contribute to subaerial erosion and bluff instability.

Numerous studies have been undertaken to analyze coastal bluff retreat along the Encinitas and Solana Beach shoreline. However, the most in-depth study to date, consists of a 1999 assessment by Benumof and Griggs (1999). This study presents erosion rates for coastal bluffs in different sections of the San Diego County coastline. The erosion rates published by these workers were obtained by analyzing a combination of factors including overall rock mass strengths obtained through Schimdt Hammer testing; visual assessments of joint spacing and width; earth material weathering and fatigue; groundwater seepage; and wave impact at the seacliff.

For the Solana Beach coast section, which includes the subject site, Benumof and Griggs (1999) arrived at a mean recession rate of 8.23 cm/yr (3.24 in/yr), or approximately 0.27 ft/yr, with a standard deviation of 2.37 cm/yr (0.93 in/yr or 0.077 ft/yr). Benumof and Griggs (1999) also provided alongshore plots quantifying the amount of coastal erosion within their Solana Beach study area. Their findings indicated a site specific approximate retreat rate of 6 cm/yr (2.36 inches/yr) or approximately 0.1966 ft/yr for the subject site, in an unprotected state (i.e., no bluff retention device).

GSI also reviewed 500-scale aerial photos (Appendix B) provided by EDR (2022), from 2016, 2012, 2009, 2005, 2002, 1997, 1994, 1990, 1985, 1979, 1970, 1966, 1964, 1953, 1949, 1946, 1939, and 1928 (typing “ctrl + shift + 8” should delete outline of site), as well as oblique aerial photos for the years 1972, 1979, 1987, 1989, 1993, 2004, 2006, 2008, 2010, and 2013 (from www.californiacoastline.org) . Our review is summarized below:

TABLE 1 - HISTORIC AERIAL PHOTOGRAPH REVIEW SUMMARY		
DATE	SUMMARY	SCALE
1928	Pacific Ave. is present as a dirt road east of the site, and there are a few dirt roads in the vicinity. The site itself appears natural, and the bluff is sparsely vegetated, with a moderate growth of vegetation (grasses/weeds?) elsewhere. There are about 5 homes on the bluff in the immediate vicinity.	1"=500'
1939	There is a round house (?), on the lot north of the site, and vegetation appears to have been trimmed, a small tree is present, otherwise the site and area are similar to the 1929 photo.	1"=500'
1946	There are now 8 houses on the bluff in the vicinity. Site vegetation appears to be managed, and a tree is present, otherwise, the subject site appears similar to the 1939 photograph. A gunite apron may be present on the bluff, to the south, and/or that area is denuded/eroded. Pacific Ave. may be paved. Increased regional urbanization.	1"=500'
1949	Increased urbanization in the region, the bluff appears sparsely vegetated, otherwise, the subject site appears similar to the 1946 photograph. Pacific Ave. appears paved.	1"=500'
1953	The subject site appears similar to the 1949 photograph, with increased single-family residential development in the region noted. A residence has been constructed on the lot. Otherwise, the bluff and site are similar to the 1949 photograph.	1"=500'
1964	The subject site appears similar to the 1953 photograph; however, there is a residence built on the lot to the south. The bluff appears sparsely vegetated. Increased regional urbanization.	1"=500'
1966	The subject property appears very similar to the 1964 photograph.	1"=500'
1970	A small gunite/denuded area is present on the bluff on the lot to the south. Otherwise, the bluff and site appear similar to the 1966 photograph. Increased urbanization in the region.	1"=500'
1972	Similar to the 1970 photo, with the gunite apron noted on the lot to the south of the site. A small “avalanche chute” is present below the gunite on the offsite lot to the south. Otherwise, the bluff appears to exhibit no signs of increased erosion.	Oblique

TABLE 1 - HISTORIC AERIAL PHOTOGRAPH REVIEW SUMMARY		
DATE	SUMMARY	SCALE
1979	The subject site appears similar to the 1972 photograph. Increased residential density in the region.	1"=500'
1979	There appears to be a fairly continuous, localized (continuous to ± 6 lots to the north and 1 to 2 lots to the south), denuded area, about 5 to 10 feet high, at the top of the bluff. Otherwise, the bluff appears to exhibit no signs of increased erosion. This is most likely due to the steep inclination of the upper bluff.	Oblique
1985	Similar to the 1979 photograph. Otherwise, the bluff appears to exhibit no signs of increased erosion.	1"=500'
1987	Similar to the 1985 photograph. Otherwise, the bluff appears to exhibit no signs of increased erosion.	Oblique
1989	Similar to the 1987 photograph. Otherwise, the bluff appears to exhibit no signs of increased erosion.	Oblique
1990	The site and surrounding properties appear similar to the 1985 photograph, with increased regional residential density. The bluff appears to exhibit no signs of increased erosion.	1"=500'
1993	The site and surrounding properties appear similar to the 1989 photograph, with increased regional residential density. The bluff appears to exhibit no signs of increased erosion.	Oblique
1994	The site and surrounding properties appear similar to the 1990 photograph, with increased regional residential density. The bluff appears to exhibit no signs of increased erosion.	1"=500'
1997	Small avalanche chutes appear present on the bluff, with a small discontinuous one below the subject property. The area south of the offsite gunite on the lot next door (south) has a larger denuded area on the bluff. Otherwise, the site and surrounding properties appear similar to the 1994 photograph.	1"=500'
2002	The site and surrounding properties appear similar to the 1997 photograph, and vegetation appears to have subdued the small avalanche chutes present on the bluffs, including the subject site.	1"=500'
2004	A gunite ditch/down drain or jute mesh about 3 to 5 feet wide, appears present on the bluff face, emanating from the common property line of the site and lot to the north. A small bluff failure on the lot to the north was noted, and it appears to have been repaired with a pipe and board/sand bag (difficult to discern) system. The failure appears to have extended onto the subject lot, as a small scarp and debris train are present. The scarp appears to extend under the porch on the bluff. There appears to have been a surficial bluff failure below the southerly margin of the subject lot, with small scarp and debris train present. Two lots to the south, there appears to have been a wall constructed on the bluff face, at the top, and the lower-middle bluff appears to have been planted. The slope appears reconstructed to some degree on the 2 nd and 3 rd lots to the south. A sea cave two lots to the south may have been infilled. The toe of the gunite apron on the lot to the south is failing. A seawall is present at the toe of the bluff, two lots to the north, extending to the north.	Oblique
2005	The subject site and surrounding areas appear similar to the 2002 photograph. Bluff appears largely the same.	1"=500'

TABLE 1 - HISTORIC AERIAL PHOTOGRAPH REVIEW SUMMARY		
DATE	SUMMARY	SCALE
2006	Hay bales appear to have been placed in the avalanche chute near the northern margin of the subject lot. The aforementioned surficial bluff failure on the southern margin of the site has enlarged, and has been infilled with sand bags. The sea cave south of the site has definitely been infilled. Jute mesh covers the bluffs in several offsite areas. Otherwise, similar to the 2004 photograph.	Oblique
2008	The surficial failure on the southern margin of the site has enlarged, and the offsite gunite apron also appears to be moving, as evidenced by blocks of concrete. There appears to be a scarp on each end of the porch on the bluff at the subject site. Otherwise, similar to the 2006 photograph.	Oblique
2009	The site and other surrounding properties were similar to the 2005 photograph; however, the bluff appears denuded to some degree, or possibly reconstructed? Otherwise, similar to the 2005 photograph.	1"=500'
2010	The aforementioned porch has been removed, at least partially, and the bluff below the site is denuded, with partially exposed vertical circular forms (caissons?) exposed in the bluff face, below the zone 5-10 foot denuded zone (discussed in the 1979 photo). Otherwise, similar to the 2008 photograph.	Oblique
2012	The subject site and adjacent properties appear similar to the 2009 photograph.	1"=500'
2013	A seawall, extending to the south, has been constructed two lots south of the site. Otherwise, similar to the 2010 photograph.	Oblique
2016	The subject site and adjacent properties appear similar to the 2012 photograph.	1"=500'

There was no discernible marine or aerial erosion noted prior to 1997. GSI was unable to discern any surface area (plan view) lost to erosion since the lot was legally recorded (1923 [Martin Architecture, 2021]), until after about 2005. Subsequently, GSI estimates that about 3 to 5 linear feet of the bluff may have failed along the top of the bluff, equivalent to approximately 150 to 250 square feet of lost lot area.

This corresponds to bluff retreat of about 3 to 5 feet during the period 1928 to 2005 (77 years), or about 0.039 to 0.065 feet/yr. For conservatism, we will use the previously deduced historical rate of ± 0.1966 ft/yr for the subject site, in an unprotected state (i.e., no bluff retention device).

Existing Bluff Retention

On March 7, 2019, the California Coastal Commission (CCC) granted a Coastal Development Permit (CDP) to the coastal zone containing 241 and 245 Pacific Avenue, primarily owing to threats to the 241 Pacific Avenue and 249 Pacific Avenue properties originating from the unprotected and failing coastal bluff section below 245 Pacific Avenue (SEC, 2019). This consisted of constructing a 100-foot long, 35-foot high, 28-inch thick seawall, with a superjacent geogrid structure on the bluff face.

On June 16, 2021, the CCC granted another CDP to the coastal zone containing 235, 241, 245, and 249 Pacific Avenue, for reconstruction of failed sections of the coastal bluff associated with the first CDP. This was just recently completed. Having been recently completed, the wall is in good shape. With regard to Policy # 4.17 which states (in part): *“...On lots with a legally established bluff retention device, the required geologic analysis shall describe the condition of the existing seawall; identify any impacts it may be having on public access and recreation, scenic views, sand supply and other coastal resources; and evaluate options to mitigate any previously unmitigated impacts of the structure or modify, replace or remove the existing protective device in a manner that would eliminate or reduce those impacts. In addition, any significant alteration or improvement to the existing structure shall trigger such review (i.e., the analysis of the seawall) and any unavoidable impacts shall be mitigated.*

As indicated above, the wall is in good shape. Further, as part of the approval process, the applicant previously would have had to address potential impacts of the wall, including public access and recreation, scenic views, sand supply and other coastal resources, as well as evaluate the impacts of the structure that might modify, replace or remove the seawall, in order to gain approval for the CDPs. In that regard, nothing has changed significantly since the issuance of the CDPs. Regardless of the above, historic erosion rates are for an unprotected bluff face.

FUTURE BLUFF RETREAT SUMMARY

The calculated long-term rate of future bluff retreat using the simplified numerical model equation is presented below, based on the aforementioned three curvilinear sections and:

1. Unprotected historical rate based on this site specific review is 0.1966 feet/year = R_1
2. Avg SLR rate over 91 years (1924 to 2015), based on NOAA (Scripps Pier, La Jolla¹) is 2.13 mm/yr = 0.084 inch/yr x 1 ft/12 in = 0.007 ft/yr = S_1
3. Future SLR rate (2097), under *medium-high risk aversion scenario*² = 6.68 ft/75 yrs = 0.089 ft/yr = S_2
4. $m = \frac{1}{3}$

Similar to 216 Neptune and 529 Pacific Ave., GSI's assignment of the value for the exponent “m” is reasonable based on the response of the onsite coastal bluff to increased rates of SLR would lie somewhere between the instant response ($m = 1$) and no feedback ($m=0$) systems discussed in Ashton, et al. (2011), and is likely closer to zero.

¹NOAA, 2022 (La Jolla gauge no. 9410230)

²CCC, 2018 (Projected SLR [in feet]: La Jolla [extrapolated from 2090 to 2100, for 2097])

GSI has reasonably assumed SLR will mimic the historical bluff retreat rate for the next 37 years (through 2059). We have used 0.1966 ft/yr for this time interval. The erosion rate should marginally increase for the following 25 years (2059-2084), and we have reasonably added 1/3 of the change in erosion rate in 2097, to the initial erosion rate (Δ , see below). During the more asymptotic Sea Level Rise (SLR) end of the 75-year design life (2084-2097), the bluff retreat rate should be closer to the site specific upper bound bluff retreat rate for this time interval. The site specific historic bluff erosion rate (assuming the existing seawall is not there), is indicated in the calculations below:

Site Specific Rate

At year 2097, under *medium-high risk aversion scenario (0.5% Probability)*,

$$R_2 = R_1 (S_2/S_1)^m$$

$$R_2 = (0.1966 \text{ ft/yr}) (0.089 \text{ ft/yr} / [0.007 \text{ ft/yr}])^{1/3}$$

$$R_2 = (0.1966) (12.71)^{1/3}$$

$$R_2 = (0.1966) (2.33) = 0.458 \text{ ft/yr in the year 2097.}$$

Based on the above, the unprotected retreat rate will change from 0.1966 to 0.458ft/yr, and the difference between the 75-year commencement and end of the design life, $\Delta = 0.261$ ft/yr, from 2022 to 2097.

FUTURE UNPROTECTED BLUFF RETREAT BASED ON SLR CURVE INCREMENTS			
APPLICABLE DATES	BLUFF RETREAT RATE (FT/YR)	DURATION (YEARS)	BLUFF RETREAT (FEET)
2022-2058 (0.1966) current SLR rate	0.1966	37	7.27
2059-2083 (0.1966 + 1/3 Δ] = (0.1966 + 1/3[0.261]= 0.283) increase in SLR rate	0.283	25	7.08
2084-2097 (Calculated SLR rate in 2097 = 0.458)	0.458	13	5.95
	Subtotal	75	20.30

SETBACK FROM BLUFF EDGE (GSL)	
Erosion over 75 years	20.30
Factor of Safety (FOS) = 1.5 distance from bluff edge	55.00
TOTAL OVERALL SETBACK FROM BLUFF EDGE (GSL)	75.30

As shown above, the unprotected onsite coastal bluff may experience approximately 20 feet of retreat over the 75-year design life of the proposed residential structure, with a future SLR of 6.68 feet (assuming the existing seawall is not there). Plate 1 shows a typical Factor of Safety (FOS) setback distance, where FOS= 1.5, amounting to 55 feet, based on the approximately 20 feet of bluff retreat over 75 years, with an assumed SLR of approximately 6.68 feet over that design life interval.

FINDINGS

Based upon our understanding of the proposed development, our site observations, review of the available regional geologic information, and knowledge of the bluff conditions in the site vicinity, we provide the following findings:

- With one exception, the proposed exterior improvements do not include the construction of new foundations, however, new foundations are proposed for the lanai, in the area that is both east of the 40-foot prescriptive bluff edge setback, and the cumulative FOS = 1.5 distance plus the 75 year erosion rate distance setback, (GSL), near Pacific Avenue. However, we note that the lanai is considered an exposed accessory structure, which typically does not have a design life, and should generally not be subjected to such criteria.
- The proposed improvements would not subject the coastal bluff to significant additional building loads beyond the existing building loads, present onsite, prior to the remodel. Based on personal communication with the structural engineer at Patterson Engineering, Curtis Patterson, the estimated weight of exterior and interior materials replacing the old building materials or new construction is similar to or less than the pre-remodel material weight.

CONCLUSIONS

Based upon our findings and our understanding of the proposed development under purview of this study, GSI concludes that the coastal bluff below the subject property is susceptible to erosion from both marine and sub-aerial processes. Given that the replacement building materials are of near to equal weight than the original building materials being replaced, it is our professional opinion that this remodel/development improvements will not further exacerbate bluff erosion or instability. As such, GSI will certify³ the following:

- The proposed remodel/development will neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.
- The proposed remodel/development does not restrict or reduce public access or beach use.
- The proposed remodel/development places no significant additional weight on the coastal bluff and has no adverse effect on the stability of the bluff.

³ The term "certify" is used herein as defined in Division 3, Chapter 7, Article 3, § 6735.5. of the California Business and Professions Code (2021).

- The proposed remodel/development does not endanger life or property.
- The lower section of the bluff was recently improved with a seawall approximately 35 feet high and therefore, the lower bluff stability was increased substantially from pre-wall construction slope conditions.

PLAN REVIEW

The architectural plans by MA (2021) were reviewed and found to be general compliance with the standards of practice for construction within the City of Solana Beach, and are satisfactory from a geotechnical viewpoint.


LIMITATIONS

Inasmuch as this report is based upon our visual inspection and reviews of regional geologic information, the conclusions and recommendations are considered professional opinions. These opinions have been derived in accordance with current standards of practice, and no warranty, either express or implied, is given. Standards of practice are subject to change with time. GSI assumes no responsibility or liability for work or testing performed by others, or their inaction; or work performed when GSI is not requested to be onsite. Use of this report constitutes an agreement and consent by the user to all the limitations outlined above, notwithstanding any other agreements that may be in place.

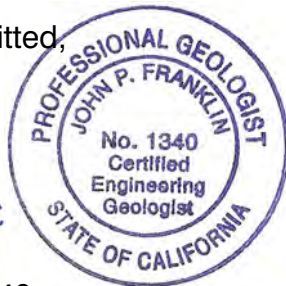
The opportunity to be of service is sincerely appreciated. If you should have any questions, please do not hesitate to contact our office.

Respectfully submitted,

GeoSoils, Inc.,



John P. Franklin
President, CEG 1340




Stephen J. Coover
Geotechnical Engineer, GE 2057



JPF/SJC/TMP/sh

Enclosure: Appendix - References
Plate 1 - Bluff Retreat Map

Distribution: (1) Addressee (via email)

APPENDIX

REFERENCES

- Adelman, Kenneth & Gabrielle, 2019, California Coastal Records Project, photos 10-23-2004, 10-19-2006, 9-19-2008, and 9-29-2013.
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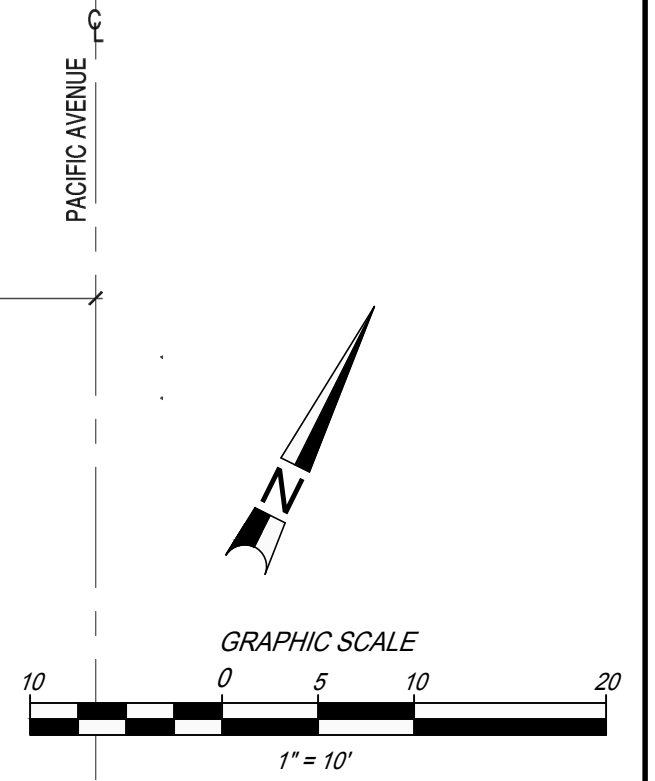
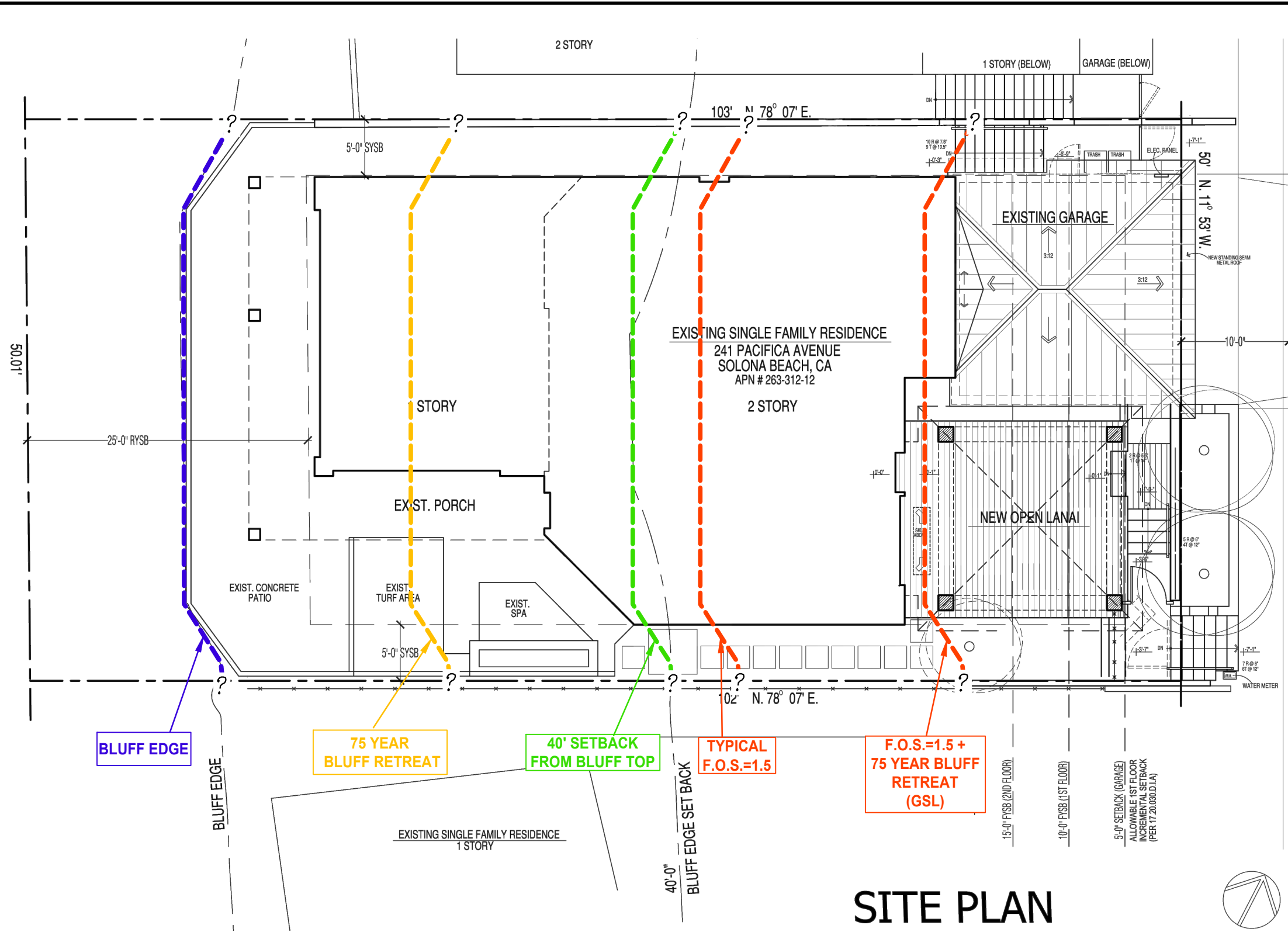
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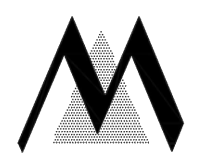
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SITE PLAN

ALL LOCATIONS ARE APPROXIMATE
 This document or file is not a part of the Construction Documents and should not be relied upon as being an accurate depiction of design.

BASE MAP FROM:



SCHRAGER RESIDENCE
 241 PACIFIC AVENUE, SOLANA CA

GeoSoils, Inc.

BLUFF RETREAT MAP

Revised Plate 1

W.O. 8278-A-SC	DATE: 05/22	SCALE: 1" = 10'
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Geotechnical • Geologic • Coastal • Environmental

5741 Palmer Way • Carlsbad, California 92010 • (760) 438-3155 • FAX (760) 931-0915 • www.geosoilsinc.com

August 15, 2022

W.O. 8278-A2-SC

Mr. Rick Schrager

241 Pacific Avenue
Solana Beach, California 92075

Subject: Geotechnical Addendum and Response to Coastal Commission Review Comments (August 3, 2022), Proposed Improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00, Coastal Development Review Application #6-22-0551/Schrager

Dear Mr. Schrager:

In accordance with your request and authorization, GeoSoils, Inc. (GSI), is providing this geotechnical addendum to our limited geotechnical evaluation of the subject property (GSI, 2022). The purpose of this addendum is to address the California Coastal Commission (CCC) Review comment no. 5, included in CCC (2022), which requires the delineation of the Geologic Setback for the proposed development, with factors of safety (static and seismic) and the locations of the 1.5 (static) and 1.1 (seismic) factor of safety surfaces. Please note that our previous report (GSI, 2022a), provided a Geologic Setback Line (GSL), based on a Factor of Safety (FOS) line, where $FOS \geq 1.5$, which was derived from reasonable regional setbacks for similar sites worked on by GSI. In contrast, the current GSL presented herein, is based on quantitative, site-specific data, used to calculate a $FOS \geq 1.5$ line. Unless specifically superceded herein, the conclusions and recommendations contained in GSI (2022a) are still considered valid and applicable, and should be appropriately implemented during the balance of project planning, design, and construction.

SCOPE OF SERVICES

The scope of our services included reviews of site-specific and nearby geotechnical studies (Appendices A and B); 2) quantitative slope stability analyses (Appendix C); and 3) the preparation of this summary report and accompaniments.

Quantitative Slope Stability Analyses

GSI performed quantitative slope stability analyses along Cross Section X-X' (see Plate 1), which used the topographic map provided in Soil Engineering Construction, Inc. ([SEC] 2019), as a base. The slope stability analysis depicts Cross Section X-X', does not

include bluff/shore protection structures, and Cross Section X-X' is shown on Plates C-1 and C-2. This traverse was selected for the analyses as it represents the highest and steepest portion of the coastal bluff in closest proximity to the existing residential structure. The analyses were conducted using the two-dimensional limit-equilibrium slope stability software program "GEOSTASE" version 4.30.31, developed by Gregory Geotechnical (2019). A general summary of the "GEOSTASE" program is included in Appendix C.

The geologic conditions within the property were added to Cross Section X-X' to assist with theoretical bluff failure modeling (see Appendix C). From the top to the bottom of the coastal bluff profile, the geologic units considered in the analyses included an iron-oxide cemented pedogenic horizon (residual soil) developed upon the Quaternary old paralic deposits (Qop4), weakly cemented sand (Qop3), and a weak soil horizon (paleosol) developed upon relic dune deposits (Qop3) that overlie horizontally-bedded clean sand beach deposits (Qop1). Eocene-age sedimentary bedrock, belonging to the Torrey Sandstone, comprises the near-vertical seacliff along the bluff toe.

Shear strength properties applied to the geologic units, considered in the analyses, were based on our review of the 2021 geotechnical update study Soil Engineering Construction, Inc. (SEC) performed at the subject property and 235, 245, and 249 Pacific Avenue (SEC, 2021), and a 2004 geotechnical investigation of nearby 341, 347, and 355 Pacific Avenue, conducted by Shepardson Engineering Associates, Inc. ([SEA], 2004). We assigned anisotropic soil strength properties to the old paralic deposits. The earth material shear strengths and the anisotropic angular ranges are summarized in Appendix C.

We applied a groundwater surface at North American Vertical Datum of 1988 (NAVD88) to represent the estimated regional groundwater table (i.e., sea level). Owing to the modeled bluff failure mechanics, this groundwater surface is considered irrelevant with respect to the analyses.

Building loads imparted by the onsite residential structure and garage were modeled by applying a distributed load of 1,000 pounds per square foot (psf). For the pseudo-static (seismic) slope stability analyses, earthquake loading was replicated using a peak ground acceleration, adjusted for site effects (PGA_M), of 0.669 g (www.seismicmaps.org), and a horizontal seismic coefficient of 0.15*i*.

Based on our review of oblique aerial photographs available on the "California Coastal Records Project" website (<https://www.californiacoastline.org>), and our past work experience along the Solana Beach coastline, the typical bluff failure mechanics that results in bluff edge retreat consists of rotational failures (slumps) occurring within the weakly cemented sand part of the old paralic deposits (Qop3). The slip surfaces of these failures commonly daylight the bluff face along the contact between the aforementioned sand and the underlying weak paleosol (Qop2). Block topple and wedge failures of the Torrey Sandstone (Tt) in the seacliff from marine erosion and the raveling of the overlying clean beach sands (Qop1) exacerbate the magnitude and frequency of these failures. Following the failure of the weakly cemented sand part of the old paralic deposits, the

overlying iron-oxide cemented sand part along the crest of the coastal bluff (Qop4) lacks support and succumbs to block topple. Owing to the heterogeneity of the old paralic deposits, the failure geometry is considered non-circular.

Given the observed failure mechanics, we searched for non-circular theoretical failure surfaces initiating along the geologic contact between Qop2 and Qop3 and terminating at the ground surface within the developed portion of the property. The analyses showed that the theoretical failure surface with a static factor-of-safety (FOS) of 1.5 would daylight the ground surface along Cross Section X-X' at approximately 32³/₄ feet landward of the coastal bluff edge. The analyses also demonstrated that the theoretical failure surface with a seismic factor-of-safety (FOS) of 1.3 would daylight the ground surface along Cross Section X-X' at approximately 19¹/₂ feet landward of the coastal bluff edge.

Linear interpolation was used to estimate the location along Cross Section X-X' where the theoretical failure surface having a seismic FOS equal to 1.1 would daylight the ground surface. The linear interpolation exercise assumed the seismic FOS would be 1.0 at the bluff edge location. Linear interpolation indicated that the theoretical failure surface having a seismic FOS of 1.1 would daylight the ground surface approximately 7 feet landward of the coastal bluff edge along Cross Section X-X'

GEOLOGIC SETBACK LINE

The City's policy regarding the Geologic Setback Line (GSL), is as follows:

Policy 4.25: All new bluff property development shall be set back from the bluff edge a sufficient distance to ensure that it will not be in danger from erosion and that it will ensure stability for its projected 75-economic life. To determine the GSL, applications for bluff property development must include a geotechnical report, from a licensed Geotechnical Engineer or a certified Engineering Geologist, that establishes the Geologic Setback Line (GSL) for the proposed development. This setback line shall establish the location on the bluff top where stability can be reasonably assured for the economic life of the development. Such assurance will take the form of a quantitative slope analysis demonstrating a minimum factor of safety against sliding of 1.5 (static) or 1.2 (pseudostatic, $k=0.15$ or determined through analysis by the geotechnical engineer), using shear strength parameters derived from relatively undeformed samples collected at the site. In no case shall the setback be less than 40 feet from the bluff edge, and only if it can be demonstrated that the structure will remain stable, as defined above, at such a location for its 75-year economic life and has been sited safely without reliance on existing or future bluff retention devices, other than a caisson foundation.

However, CCC (2022) had an additional criteria of a seismic (pseudostatic) FOS ≥ 1.1 . As indicated above, linear interpolation was used to estimate the location along Cross Section

X-X' where the theoretical failure surface having a seismic FOS ≥ 1.1 would daylight the ground surface.

Based on the results of our quantitative slope stability analyses and our site-specific evaluation of coastal bluff retreat over the 75-year design life of the currently proposed remodel to the existing residential structure and the open lanai, previously provided in GSI (2022), it is the opinion of GSI that a Geologic Setback of 53 feet from the coastal bluff edge would provide sufficient mitigation against coastal bluff failure and retreat over the aforementioned design life without the need for shoreline protection measures. The recommended GSL is shown on Plate 1 (Revised Bluff Retreat Map), which is adopted from the architectural site plan prepared by Martin Architecture (2021).

LIMITATIONS

Inasmuch as this report is based upon our visual inspection and reviews of regional geologic information, the conclusions and recommendations are considered professional opinions. These opinions have been derived in accordance with current standards of practice, and no warranty, either express or implied, is given. Standards of practice are subject to change with time. GSI assumes no responsibility or liability for work or testing performed by others, or their inaction; or work performed when GSI is not requested to be onsite. Use of this report constitutes an agreement and consent by the user to all the limitations outlined above, notwithstanding any other agreements that may be in place.

The opportunity to be of service is sincerely appreciated. If you should have any questions, please do not hesitate to contact our office.

Respectfully submitted,

GeoSoils, Inc.,



John P. Franklin
Engineering Geologist, CEG 1340



Stephen J. Coover
Geotechnical Engineer, GE 2057



RBB/JPF/SJC/sh

Enclosure: Appendix A - References
Appendix B - SEA (2004) Direct Shear Test Results
Appendix C - Slope Stability Analyses
Revised Plate 1 - Revised Bluff Retreat Map

Distribution: (1) Addressee (via email)

APPENDIX A

REFERENCES

APPENDIX A

REFERENCES

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City of Solana Beach, 2022, Re: DRP22-014 a development review permit (DRP) for a remodel and the addition of a covered patio at an existing two-story, single-family residence at 241 Pacific Avenue, Solana Beach, dated July 1.

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_____, 2019, Preliminary Geotechnical Evaluation, Proposed Residential Development, 216 Neptune Avenue, Encinitas, San Diego County, California 92024, Assessor's Parcel Number (APN) 256-352-18-00, W.O. 7557-A-SC, dated August 16.

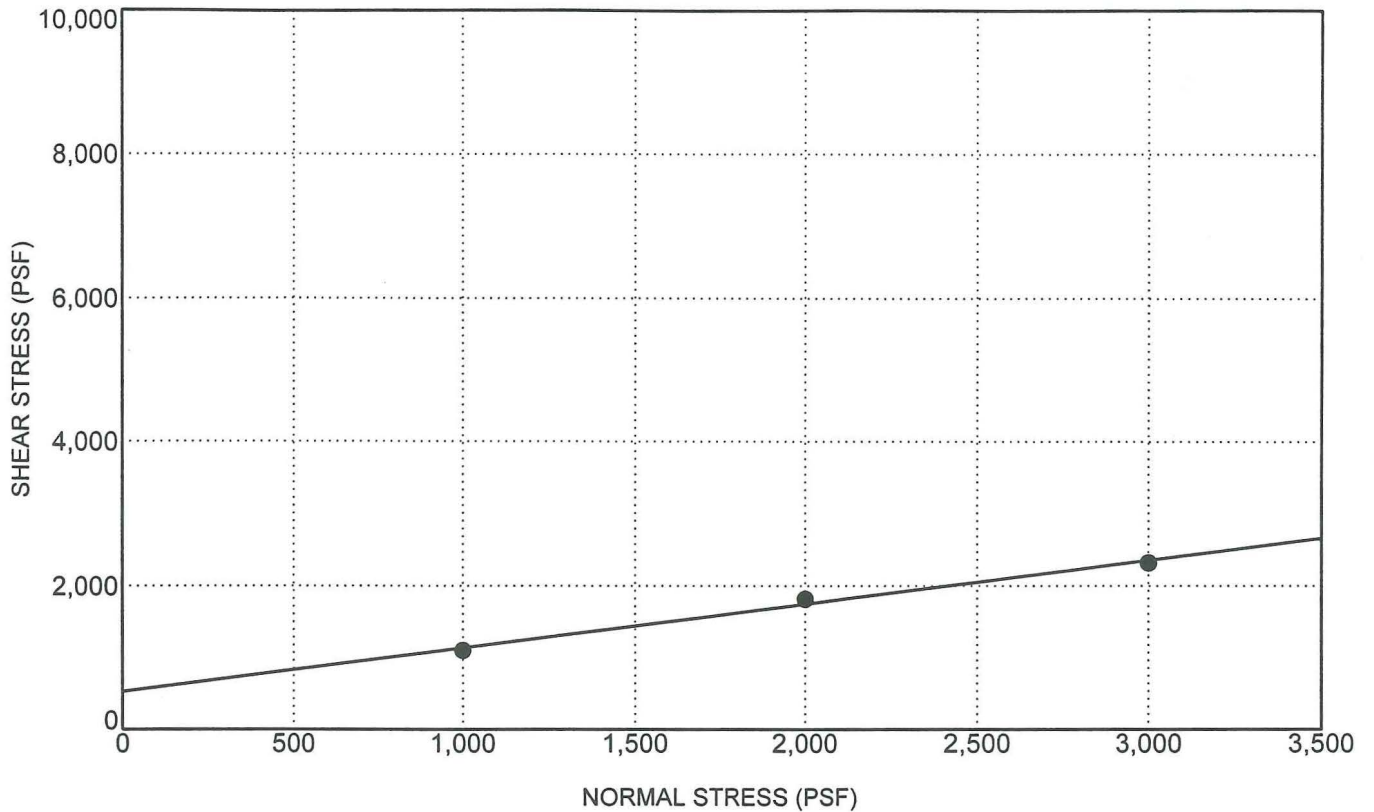
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Soil Engineering Construction Inc., 2019, Updated geotechnical evaluation of coastal bluff, proposed seawall extensions 235, 241, 245, and 249 Pacific Avenue, Solana Beach, CA, dated October 7.

APPENDIX B

SEA (2004) DIRECT SHEAR TEST RESULTS



Sample Location and Depth (feet): S- 1 @ 12.0
 Soil Type and Visual Description: Yellow Brown Fine Sand
 Sample Type/Sampling Method*: Insitu / C
 USCS Group Symbol and Name: SP POORLY GRADED SAND

Test Data

MOISTURE CONTENT (%)**	DRY DENSITY (pcf)**
Initial Test: 1.1	Initial Test: 101
Final Test: 18.0	
TEST CONDITIONS:	(C,D,S)
NORMAL LOADS (psf):	1000,2000,3000
STRAIN RATE (in/min):	0.0010

Results

INTERNAL FRICTION ANGLE (degrees)	APPARENT COHESION (psf)
Peak: 31	Peak: 531
Ultimate: 32	Ultimate: 612

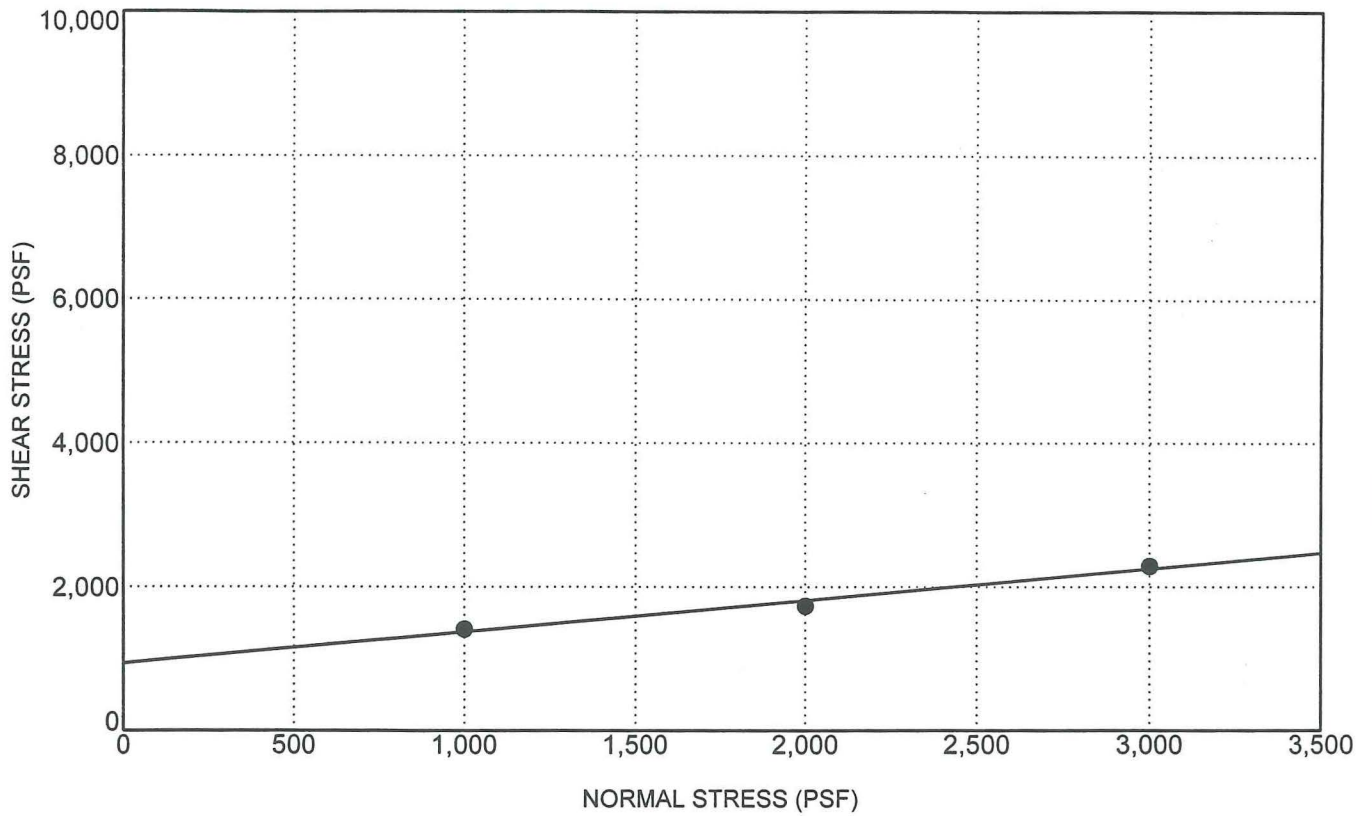
* See Explanation of Logs for sampler symbol definitions. ** Average of three test points.



Date: February, 2004 Project No.: 203197-01

Direct Shear Test
 Pacific Ave.- Mc Culley

Plate
B5



Sample Location and Depth (feet): S- 2 @ 30.0
 Soil Type and Visual Description: Yellow Brown Fine Sand
 Sample Type/Sampling Method*: Insitu / C
 USCS Group Symbol and Name: SP POORLY GRADED SAND

Test Data

MOISTURE CONTENT (%)**	DRY DENSITY (pcf)**
Initial Test: 0.6	Initial Test: 104
Final Test: 17.0	
TEST CONDITIONS:	(C,D,S)
NORMAL LOADS (psf):	1000,2000,3000
STRAIN RATE (in/min):	0.0010

Results

INTERNAL FRICTION ANGLE (degrees)	APPARENT COHESION (psf)
Peak: 24	Peak: 936
Ultimate: 27	Ultimate: 466

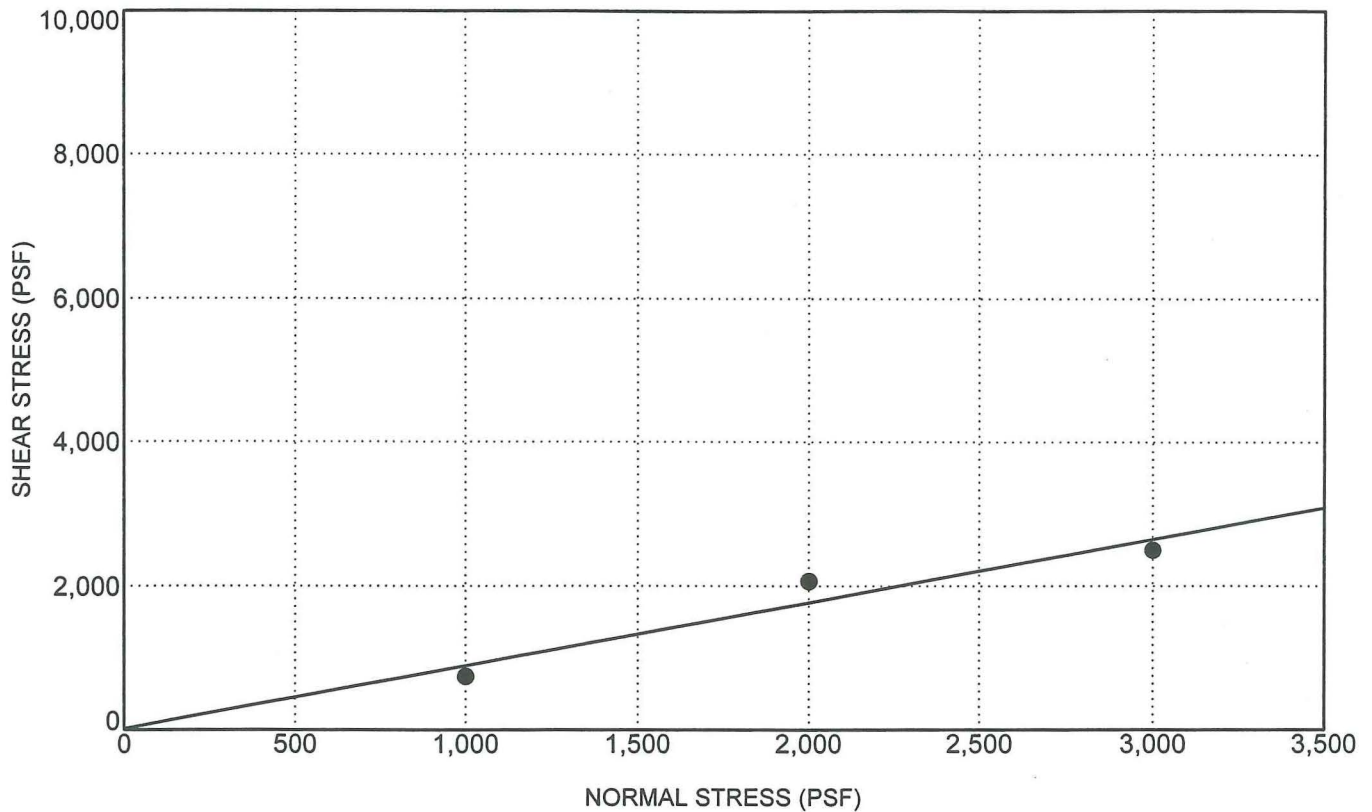
* See Explanation of Logs for sampler symbol definitions. ** Average of three test points.



Date: February, 2004 Project No.: 203197-01

Direct Shear Test
 Pacific Ave.- Mc Culley

Plate
B6



Sample Location and Depth (feet): S- 3 @ 40.0
 Soil Type and Visual Description: Yellow Brown Fine Sand
 Sample Type/Sampling Method*: Insitu / C
 USCS Group Symbol and Name: SP POORLY GRADED SAND

Test Data

MOISTURE CONTENT (%)**	DRY DENSITY (pcf)**
Initial Test: 0.7	Initial Test: 102
Final Test: 17.4	
TEST CONDITIONS:	(C,D,S)
NORMAL LOADS (psf):	1000,2000,3000
STRAIN RATE (in/min):	0.0010

Results

INTERNAL FRICTION ANGLE (degrees)	APPARENT COHESION (psf)
Peak: 41	Peak: 19
Ultimate: 34	Ultimate: 118

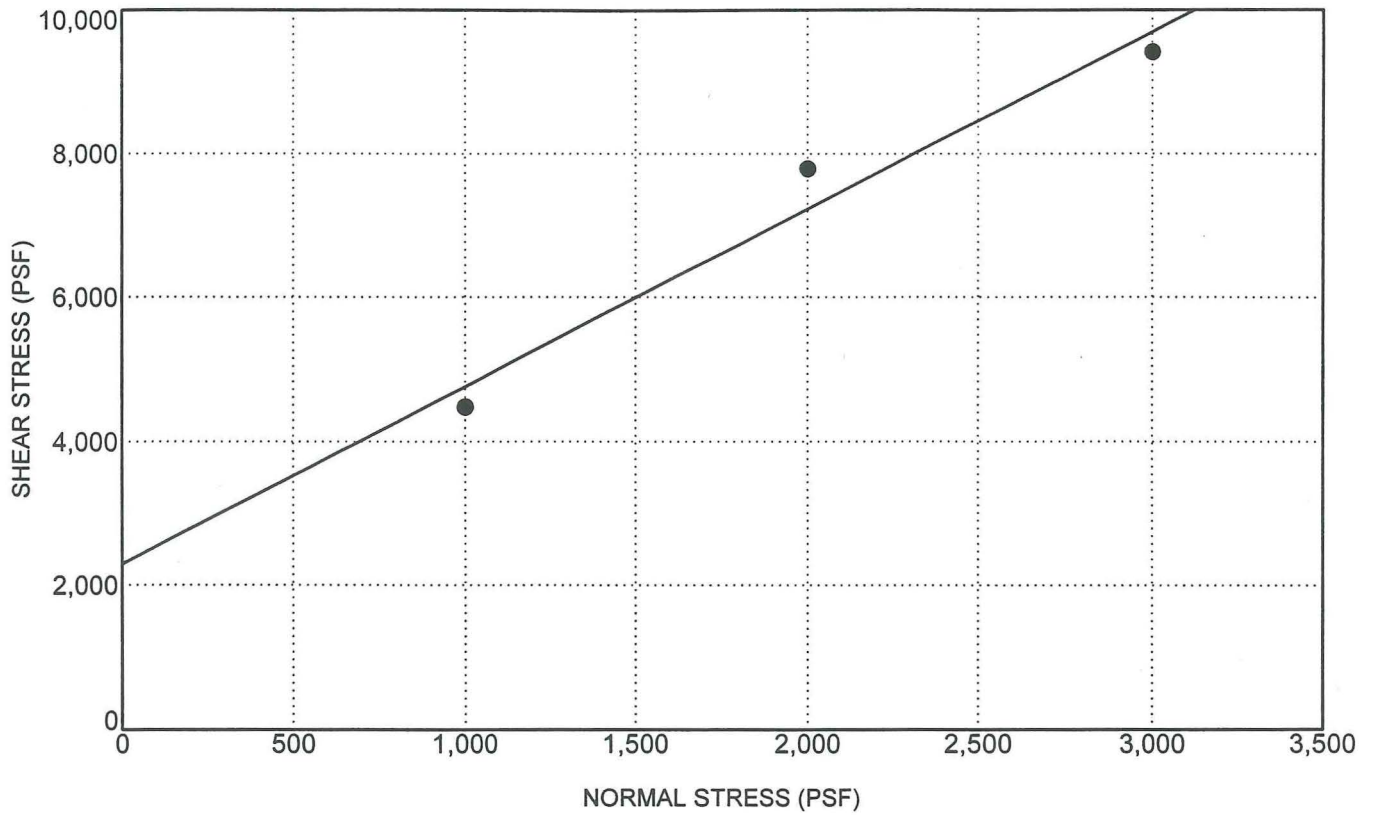
* See Explanation of Logs for sampler symbol definitions. ** Average of three test points.



Date: February, 2004 Project No.: 203197-01

Direct Shear Test
Pacific Ave. - Mc Culley

Plate
B7



Sample Location and Depth (feet): S- 4 @ 70.0
 Soil Type and Visual Description: Yellow Brown Silty Sand
 Sample Type/Sampling Method*: Insitu / C
 USCS Group Symbol and Name: SP POORLY GRADED SAND

Test Data

MOISTURE CONTENT (%)**	DRY DENSITY (pcf)**
Initial Test: 10.9	Initial Test: 113
Final Test: 13.8	
TEST CONDITIONS:	(C,D,S)
NORMAL LOADS (psf):	1000,2000,3000
STRAIN RATE (in/min):	0.0010

Results

INTERNAL FRICTION ANGLE (degrees)	APPARENT COHESION (psf)
Peak: 68	Peak: 2295
Ultimate: 44	Ultimate: 368

* See Explanation of Logs for sampler symbol definitions. ** Average of three test points.



Date: February, 2004

Project No.: 203197-01

Direct Shear Test
Pacific Ave. - Mc Culley

Plate
B8

APPENDIX C

SLOPE STABILITY ANALYSIS

APPENDIX C

SLOPE STABILITY ANALYSES

INTRODUCTION OF GEOSTASE v.4.30.31 COMPUTER PROGRAM

Introduction

GEOSTASE v.4.30.31 is a fully integrated two-dimensional limit equilibrium slope stability analysis program developed by Dr. Garry H. Gregory, Ph.D., P.E., D.GE, Principal Consultant with Gregory Geotechnical. The name GEOSTASE is an acronym for **G**eneral **E**quilibrium **O**ptions for **S**tability **A**nalysis of **S**lopes and **E**mbankments. It permits the user to develop the slope geometry interactively and perform slope analysis from within a single program.

GEOSTASE v.4.30.31 is capable of performing popular limit equilibrium analysis methods, such as the Simplified Bishop Method, Simplified Janbu Method, Spencer Method, Morgenstern-Price Method, Simplified Janbu Corrected Method, United States Army Corps of Engineers (USACE) Modified Swedish Method, and the Lowe and Karafiath Method. Standard search options include circular, random, wedge, block, and composite surface options. The software also includes a non-circular refined search option, referred to as ZRSAUTO. "ZRS" is an acronym for **Z**one, **R**eduction, and **S**hifting. The program can be used to search for the most critical surface and the FOS may be determined for specific surfaces. GEOSTASE v.4.30.31 is programmed to handle:

1. Heterogenous soil systems
2. Mohr-Columb and anisotropic soil strength properties
3. Reinforcing and restraining elements (i.e., piers, tiebacks [anchors], soil nails, and applied forces)
4. Nonlinear Mohr-Coulomb strength envelope
5. Pore water pressures for effective stress analysis using:
 - a. Phreatic and piezometric surfaces
 - b. Pore-pressure ratios
 - c. Artesian pressure
 - d. Constant pore water pressure
6. Pseudo-static (seismic) earthquake loading
7. Distributed and line loads
8. Automatic generation and analysis of an unlimited number of circular, noncircular and block-shaped failure modes
9. Analysis of right- and left-facing slopes
10. Both SI and Imperial units

General Information

If the reviewer wishes to obtain more information concerning slope stability analysis, the following literature may be consulted initially:

1. The Stability of Slopes, by E.N. Bromhead, Surrey University Press, Chapman and Hall, N.Y., 411 pages, ISBN 412 01061 5, 1992.
2. Soil Strength and Slope Stability, by J.M. Duncan, S.G. Wright, and T.L. Brandon, John Wiley and Sons, Inc., Second Edition, 317 pages, ISBN 978-1-118-65165-0, 2014.
3. Rock Slope Engineering, by E. Hoek and J.W. Bray, Inst. of Mining and Metallurgy, London, England, Third Edition, 358 pages, ISBN 0 900488 573, 1981.
4. Landslides: Analysis and Control, by R.L. Schuster and R.J. Krizek (editors), Special Report 176, Transportation Research Board, National Academy of Sciences, 234 pages, ISBN 0 309 02804 3, 1978.
5. Landslides: Investigation and Mitigation, by A.K. Turner and R.J. Krizek (editors), Special Report 247, Transportation Research Board, National Research Board, 675 pages, ISBN 0 309 06208-X, 1996.

GEOSTASE v.4.30.31 Features

GEOSTASE v.4.30.31 contains the following features:

1. Allows user to calculate FOS for static stability and seismic stability evaluations.
2. Allows user to analyze stability situations with different failure modes.
3. Allows user to edit input for slope geometry and calculate corresponding FOS.
4. Allows user to readily review on-screen the input slope geometry.
5. Allows user to automatically generate and analyze defined numbers of circular, non-circular and block-shaped failure surfaces (i.e., bedding plane, slide plane, etc.).

Input Data

Input data includes the following items:

1. Unit weight, cohesion, and friction angle of earth materials and bedding/discontinuity planes.

2. Slope geometry and distributed (building) loads.
3. The apparent dip of bedding and discontinuities can be modeled in an anisotropic angular range (i.e., from 0 to 90 degrees in into-slope and out-of-slope directions). For the analyses, anisotropic strength properties were assigned to the old paralic deposits (Qop1 through Qop4) between an angular range of 5 degrees from the horizontal plane, oriented in both into-slope and out-of-slope directions. direction.
4. For the pseudo-static (seismic) analyses, earthquake loading was modeled using a seismic coefficient of 0.15 i and a peak horizontal ground acceleration adjusted for site effects (PGA_M) of 0.669 g (www.seismicmaps.org).
5. Soil parameters used in the slope stability analyses are provided Table C-1:

TABLE C-1 - SOIL STRENGTH PARAMETERS

SOIL MATERIALS	SOIL UNIT WEIGHT (pcf)		STATIC SHEAR STRENGTH PARAMETERS			
	Moist	Saturated	C (psf)		Φ (degrees)	
			Bedding			
			Cross	Parallel	Cross	Parallel
Quaternary Old Paralic Deposits - Iron-Oxide Cemented Pedogenic Horizon (Qop4)	120	N/A	600	500	34	32
Quaternary Old Paralic Deposits - Weakly Cemented Sand (Qop3)	120	N/A	370	275	34	32
Quaternary Old Paralic Deposits - Weakly Developed Paleosol (Qop2)	120	N/A	450	350	25	24
Quaternary Old Paralic Deposits - Clean Beach Sand (Qop1)	120	N/A	0	0	34	32
Torrey Sandstone (Tt)	125	135	3500		35	
N/A - Not applied						

Output Information

Output information includes:

1. All input data.
2. FOS for the 10 most critical surfaces.
3. High quality plots can be generated. The plots include the slope geometry, the critical surfaces and the FOS.
4. The analyses were configured to search for 1,000 trial surfaces.

Results of Slope Stability Calculations

Table C-2 provides a summary of the results of our stability analyses along Cross Section X-X'. Computer printouts from the GEOSTASE program are also included as Plates C-1 and C-2.

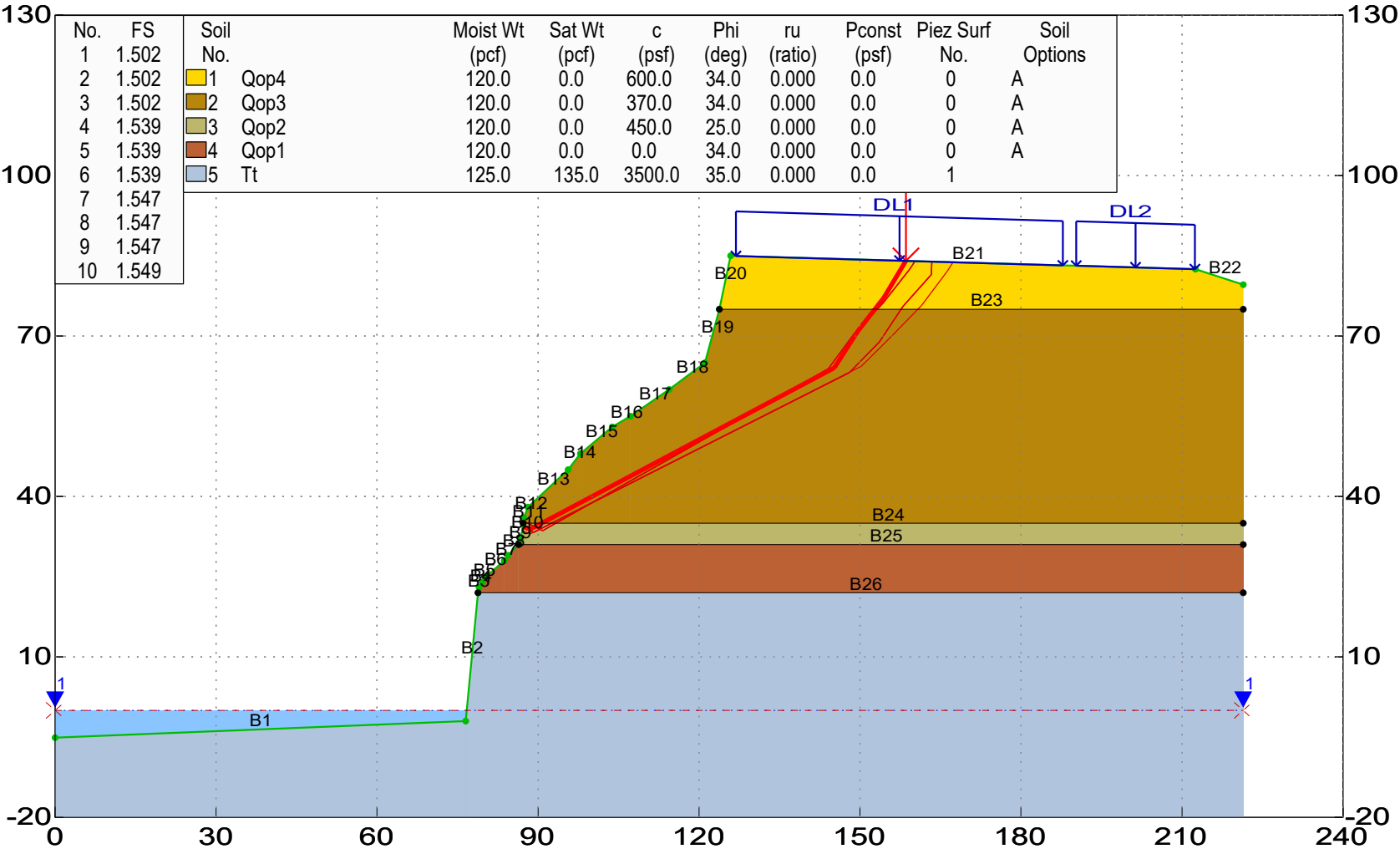
TABLE C-2 - SUMMARY OF SLOPE STABILITY ANALYSES

CROSS SECTION	FACTOR-OF-SAFETY (FOS)		ANALYSIS METHOD	COMMENTS
	STATIC	SEISMIC		
X-X'	1.5 (See Plate E-1)	1.3 (See Plate E-2)	Spencer	Code-compliant static FOS of 1.5 at approximately 32¾ feet landward of the coastal bluff edge. Seismic FOS of 1.3 at approximately 19½ feet landward of the coastal bluff edge. Based on linear interpolation, code-compliant seismic FOS of 1.1 occurs at approximately 7 feet landward of the coastal bluff edge.

SCHRAGER / 8278-A2-SC UPPER-BLUFF FAILURE - STATIC

GEOSOILS, INC.

\X-X' Upper Bluff - Static.gsd



GEOSTASE FS = 1.502

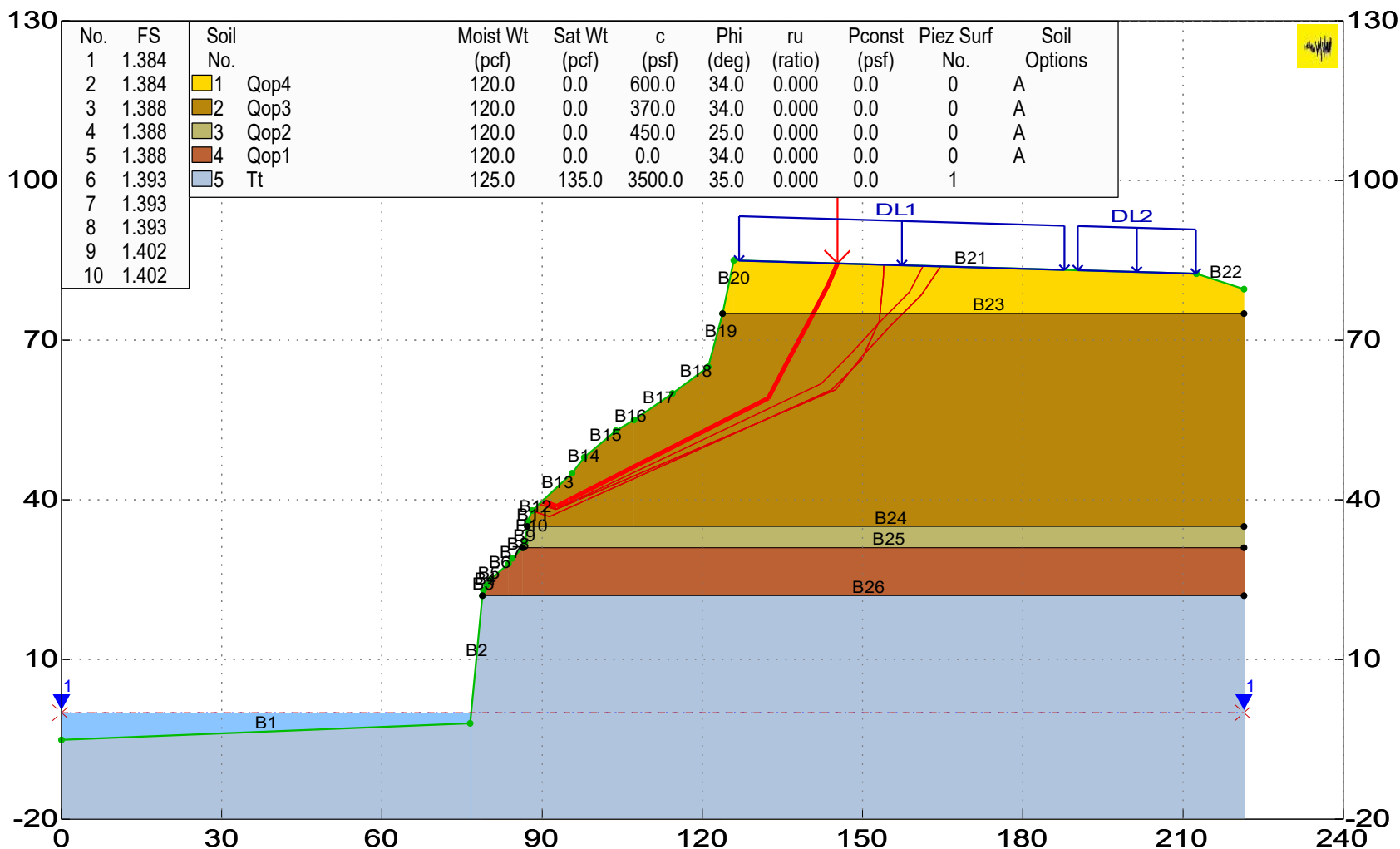
Spencer Method



SCHRAGER / 8278-A2-SC UPPER-BLUFF FAILURE - SEISMIC

GEOSOILS, INC.

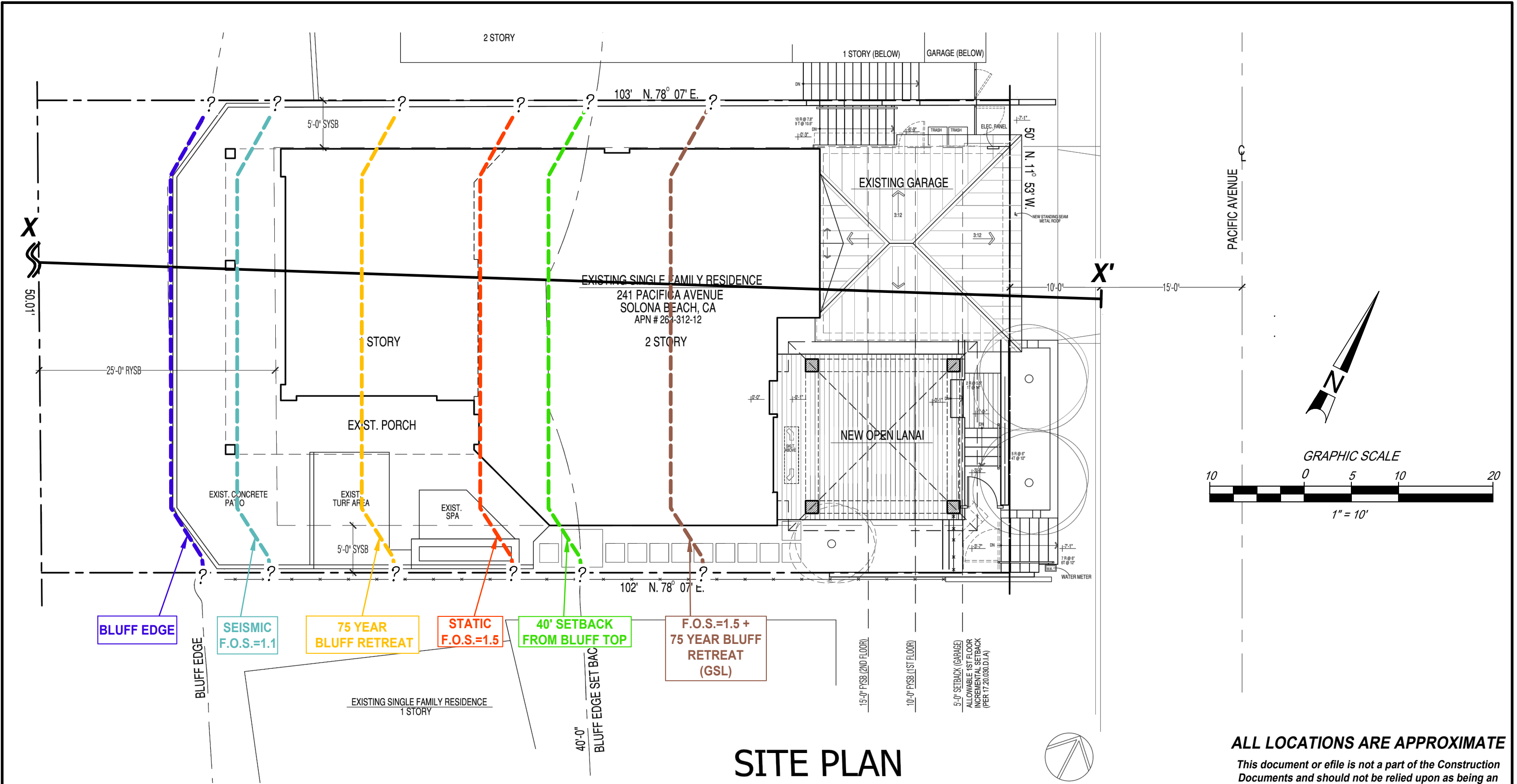
'X-X' Upper Bluff - Seismic.gsd



GEOSTASE FS = 1.384

Spencer Method

kh = 0.15000



SITE PLAN

BASE MAP FROM:



SCHRAGER RESIDENCE
241 PACIFIC AVENUE, SOLANA CA

ALL LOCATIONS ARE APPROXIMATE
This document or file is not a part of the Construction Documents and should not be relied upon as being an accurate depiction of design.



**REVISED
BLUFF RETREAT MAP**

Plate 1

W.O. 8278-A2-SC DATE: 08/22 SCALE: 1" = 10'



Geotechnical • Geologic • Coastal • Environmental

5741 Palmer Way • Carlsbad, California 92010 • (760) 438-3155 • FAX (760) 931-0915 • www.geosoilsinc.com

January 27, 2023

W.O. 8278-A4-SC

Mr. Rick Schrager
241 Pacific Avenue
Solana Beach, California 92075

Subject: Second Response to Geotechnical Review Comments (November 11, 2022),
Schrager Residence Remodel, 241 Pacific Avenue, Solana Beach, California
92075, APN 263-312-12-00

Dear Mr. Schrager:

In accordance with your request and authorization, GeoSoils, Inc. (GSI), is providing this second response to the geotechnical review (CTE, 2022A [see the Appendix]) of our previous reports for the site (GSI, 2022a, b, and c). The purpose of this response is to address the reviewer's comment. The scope of our services has included a review of the referenced documents (see Appendix A), excavation and logging of an exploratory boring on the site using a limited access drill rig (Appendix B), laboratory testing of representative samples for shear strength (Appendix C), analysis of data, and preparation of this review response. Unless specifically superseded herein, the conclusions and recommendations in our prior reports for the site remain pertinent and applicable.

REVIEW RESPONSE

For convenience, the reviewer's one (1) comment is repeated below, in *italics*, followed by GSI's response.

Review Comment

Based on CTE's review, the provided documentation generally supports CTE's opinion that the soil parameters used by the applicant's geotechnical consultant in performing slope stability analysis appear appropriate for the soil materials being modeled, and the applicant's consultant further reduced these values for their analysis. CTE notes that none of the direct shear test results supplied by the applicant were collected at the site, as stipulated by LCP Policy 4.25.

Response No. 1

The shear tests are summarized below, and the test data is provided in Appendix C. The location of the limited access boring is shown on Plate 1, following the text of this response.

LABORATORY TESTING

General

Laboratory tests were performed on representative samples of the onsite earth materials in order to evaluate their physical characteristics. The test procedures used and results obtained are summarized below.

Classification

Soils were classified visually according to the Unified Soils Classification System (Sowers and Sowers, 1979). The soil classifications are shown on the Boring Log in Appendix B.

Direct Shear Tests

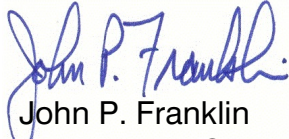
Shear testing was performed on undisturbed samples from the site, in general accordance with ASTM test method D-3080. Test results are summarized in the following table, and provided in Appendix C:

LOCATION	PEAK		RESIDUAL	
	COHESION (psf)	INTERNAL FRICTION (degrees)	COHESION (psf)	INTERNAL FRICTION (degrees)
B-1 @10' undisturbed	694	38	579	32
B-1 @20' undisturbed	627	37	550	33

The opportunity to be of service is sincerely appreciated. If you should have any questions, please do not hesitate to contact our office.

Respectfully submitted,

GeoSoils, Inc.,



John P. Franklin
Engineering Geologist, CEG 1340



Stephen J. Coover
Geotechnical Engineer, GE 2057



JPF/SJC/sh

Enclosure: Appendix A - Selected References
Appendix B - Boring Log
Appendix C - Laboratory Test Results
Plate 1 - Re-Revised Bluff Retreat Map

Distribution: (1) Addressee (PDF via email)

APPENDIX A

SELECTED REFERENCES

APPENDIX A

SELECTED REFERENCES

- California Coastal Commission, 2022, Re: Coastal Development Permit Application #6-22-0551/Schrager, dated August 3.
- City of Solana Beach, 2022, Re: DRP22-014 a development review permit (DRP) for a remodel and the addition of a covered patio at an existing two-story, single-family residence at 241 Pacific Avenue, Solana Beach, dated July 1.
- Construction Testing & Engineering, Inc., 2022a, Application submittal geotechnical review, 2nd review Schrager Residence remodel, 241 Pacific Avenue, Solana Beach, California APN: 263-312-12-00, CTE Job No. 4830.2200073.0000, dated November 11.
- _____, 2022b, Application submittal geotechnical review, Schrager Residence remodel, 241 Pacific Avenue, Solana Beach, California, APN: 263-312-12-00, CTE Job No. 4830.2200073.0000, dated September 20.
- GeoSoils, Inc., 2022a, Response to Geotechnical Review Comments (September 20, 2022), Schrager Residence Remodel, 241 Pacific Avenue, Solana Beach, California 92075, APN 263-312-12-00. W.O. 8278-A3-SC, dated September 30.
- _____, 2022b, Geotechnical addendum and response to Coastal Commission review comments (August 3, 2022), proposed improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00, Coastal Development Review Application #6-22-0551/Schrager," W.O. 8278-A2-SC, revised August 15.
- _____, 2022c, Limited geotechnical evaluation for proposed improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00, W.O. 8278-A-SC, dated July 19 (revised).
- Martin Architecture, 2021, Site plan, Schrager Residence, 241 Pacific Avenue, Solana [Beach], California, sheet C1.1, scale: 1/8-inch = 1 foot, dated November 21.

APPENDIX B
BORING LOG

UNIFIED SOIL CLASSIFICATION SYSTEM				CONSISTENCY OR RELATIVE DENSITY																					
Major Divisions			Group Symbols	Typical Names	CRITERIA																				
Coarse-Grained Soils More than 50% retained on No. 200 sieve	Gravels 50% or more of coarse fraction retained on No. 4 sieve	Clean Gravels	GW	Well-graded gravels and gravel-sand mixtures, little or no fines	<p align="center">Standard Penetration Test</p> <table border="1"> <thead> <tr> <th>Penetration Resistance N (blows/ft)</th> <th colspan="2">Relative Density</th> </tr> </thead> <tbody> <tr> <td>0 - 4</td> <td colspan="2">Very loose</td> </tr> <tr> <td>4 - 10</td> <td colspan="2">Loose</td> </tr> <tr> <td>10 - 30</td> <td colspan="2">Medium</td> </tr> <tr> <td>30 - 50</td> <td colspan="2">Dense</td> </tr> <tr> <td>> 50</td> <td colspan="2">Very dense</td> </tr> </tbody> </table>			Penetration Resistance N (blows/ft)	Relative Density		0 - 4	Very loose		4 - 10	Loose		10 - 30	Medium		30 - 50	Dense		> 50	Very dense	
			Penetration Resistance N (blows/ft)	Relative Density																					
		0 - 4	Very loose																						
		4 - 10	Loose																						
	10 - 30	Medium																							
	30 - 50	Dense																							
	> 50	Very dense																							
	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines																							
	Gravel with	GM	Silty gravels gravel-sand-silt mixtures																						
		GC	Clayey gravels, gravel-sand-clay mixtures																						
Sands more than 50% of coarse fraction passes No. 4 sieve	Clean Sands	SW	Well-graded sands and gravelly sands, little or no fines																						
		SP	Poorly graded sands and gravelly sands, little or no fines																						
	Sands with Fines	SM	Silty sands, sand-silt mixtures																						
		SC	Clayey sands, sand-clay mixtures																						

Unified Soil Classification	Cobbles	Gravel		Sand			Silt or Clay
		coarse	fine	coarse	medium	fine	
		3"	3/4"	#4	#10	#40	#200 U.S. Standard Sieve

<u>MOISTURE CONDITIONS</u>		<u>MATERIAL QUANTITY</u>		<u>OTHER SYMBOLS</u>	
Dry	Absence of moisture: dusty, dry to the touch	trace	0 - 5 %	C	Core Sample
Slightly Moist	Below optimum moisture content for compaction	few	5 - 10 %	S	SPT Sample
Moist	Near optimum moisture content	little	10 - 25 %	B	Bulk Sample
Very Moist	Above optimum moisture content	some	25 - 45 %	<u> </u>	Groundwater
Wet	Visible free water; below water table			Qp	Pocket Penetrometer

BASIC LOG FORMAT:
Group name, Group symbol, (grain size), color, moisture, consistency or relative density. Additional comments: odor, presence of roots, mica, gypsum, coarse grained particles, etc.

EXAMPLE:
Sand (SP), fine to medium grained, brown, moist, loose, trace silt, little fine gravel, few cobbles up to 4" in size, some hair roots and rootlets.

PROJECT: 241 PACIFIC AVENUE, SOLANA BEACH

W.O. 8278-A-SC BORING B-1 SHEET 1 OF 1
 DATE EXCAVATED 1-13-23 LOGGED BY: TMP APPROX. ELEV.: 80.5MSL
 SAMPLE METHOD: Cal Sampler 140 lb hammer @ 30-in drop tri-pod

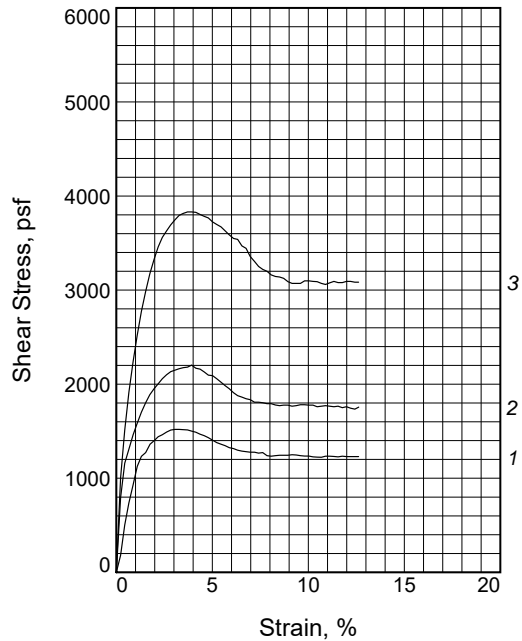
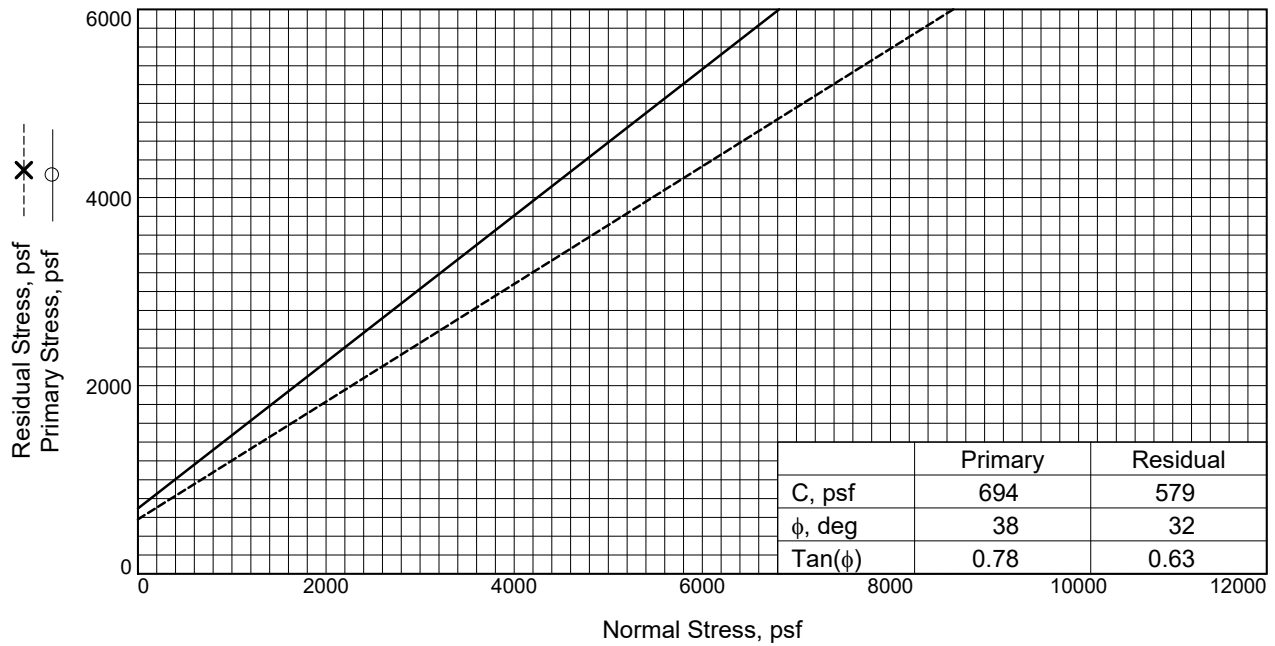
Depth (ft.)	Sample		Blows/Ft.	USCS Symbol	Dry Unit Wt. (pcf)	Moisture (%)	Saturation (%)	Material Description
	Bulk	Undisturbed						
0				SM				<p>LANDSCAPING TOPSOIL: @ 0', SILTY SAND, olive brown, damp, loose to medium dense.</p> <p>VERY OLD PARALIC DEPOSITS (Qvop10): @ 2.5', SANDSTONE, olive light brown, moist, dense; breaks down to silty sand. @ 5', As per 2.5'. @ 7.5', As per 2.5', olive brown/olive black, damp. @ 10', As per 2.5', olive brown/gray. @ 15', As per 2.5', olive gray to olive black, dry. @ 17', Caving. @ 20', As per 2.5', olive yellow/olive black, dry to damp. @ 20.5', Caving.</p> <p>Total Depth = 25' Refusal Owing to Caving. Caving Encountered at 17' and 20.5'. No Seepage Encountered. Backfilled 1-13-23.</p>
5			73		112.8	11.2	39.6	
			59		110.5	6.3	33.5	
10			55	SM	113.5	4.7	27.1	
15			64		115.4	3.2	19.3	
20			62		117.0	4.0	25.9	
25								
30								

▼ Standard Penetration Test
 I Undisturbed, Ring Sample

▼ Groundwater
 ○ Seepage

APPENDIX C

LABORATORY TEST RESULTS



Sample No.	1	2	3	
Initial	Water Content, %	4.7	4.7	4.7
	Dry Density, pcf	113.6	111.9	113.8
	Saturation, %	27.3	26.0	27.5
	Void Ratio	0.4564	0.4789	0.4533
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	1.00	1.00
At Test	Water Content, %	16.8	17.6	16.3
	Dry Density, pcf	114.0	112.5	115.3
	Saturation, %	98.9	99.5	99.3
	Void Ratio	0.4506	0.4700	0.4344
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	0.99	0.99
Normal Stress, psf	1000	2000	4000	
Primary Stress, psf	1519	2181	3831	
Strain, %	3.1	3.7	3.7	
Residual Stress, psf	1240	1777	3098	
Strain, %	7.8	8.7	9.8	
Strain rate, in./min.	0.005	0.005	0.005	

Sample Type: Natural
Description: Brownish Gray Sand

Specific Gravity= 2.65
Remarks:

Plate _____

Client: Schrager

Project: 241 Pacific Drive

Source of Sample: B-1 **Depth:** 10.0

Sample Number: B-1

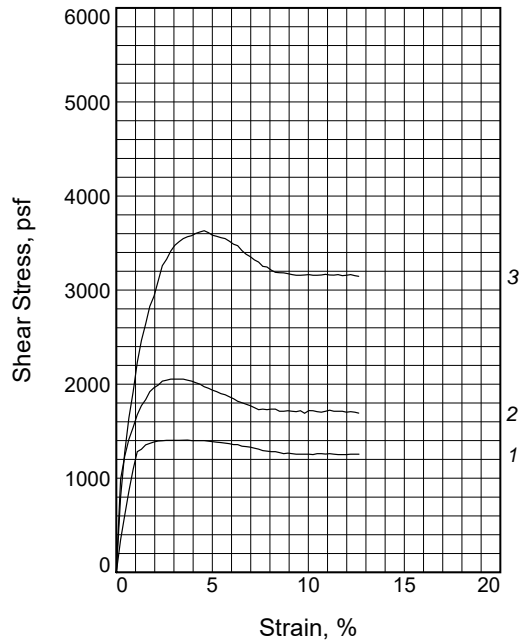
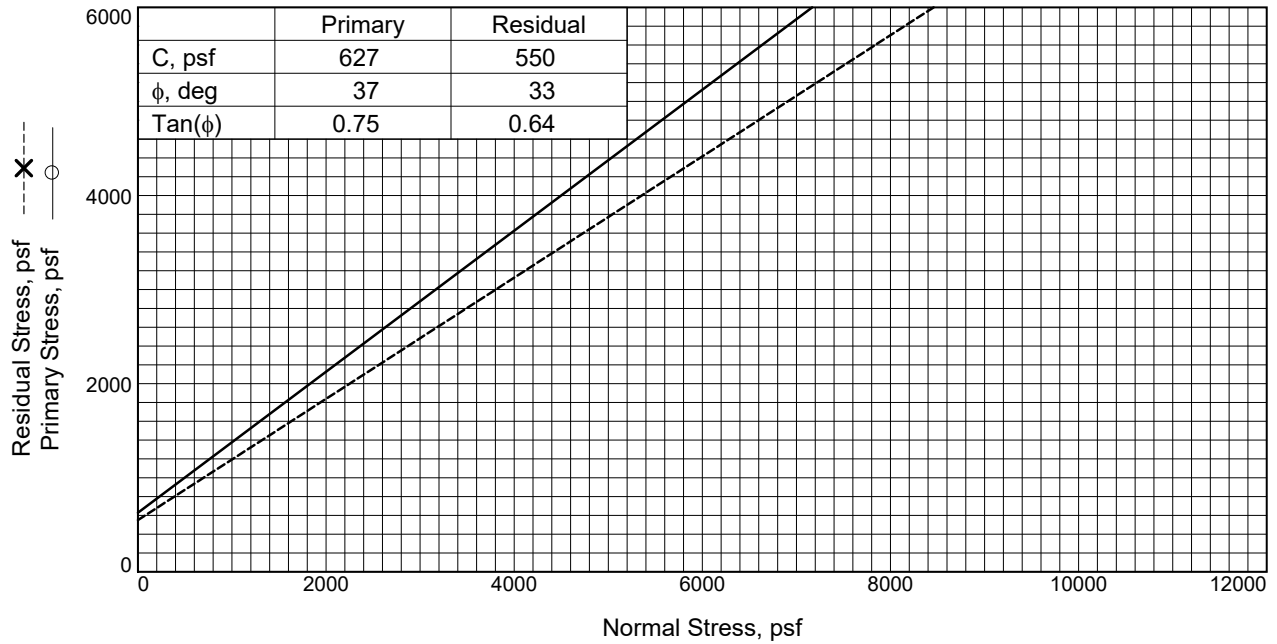
Proj. No.: 8278-A-SC

Date Sampled:



Tested By: TR _____ **Checked By:** TR _____

W.O. 8278-A4-SC
 Plate C-1



Sample No.	1	2	3	
Initial	Water Content, %	4.1	4.1	4.1
	Dry Density, pcf	116.4	117.3	118.0
	Saturation, %	25.8	26.5	27.0
	Void Ratio	0.4214	0.4104	0.4025
	Diameter, in.	2.38	2.38	2.38
	Height, in.	1.00	1.00	1.00
At Test	Water Content, %	15.5	15.0	14.3
	Dry Density, pcf	117.3	118.1	119.8
	Saturation, %	100.0	99.3	99.2
	Void Ratio	0.4100	0.4005	0.3814
	Diameter, in.	2.38	2.38	2.38
	Height, in.	0.99	0.99	0.98
Normal Stress, psf	1000	2000	4000	
Primary Stress, psf	1405	2053	3631	
Strain, %	3.5	3.1	4.6	
Residual Stress, psf	1256	1719	3161	
Strain, %	9.6	10.0	10.7	
Strain rate, in./min.	0.005	0.005	0.005	

Sample Type: Natural
Description: Brownish Gray Sand

Specific Gravity= 2.65
Remarks:

Plate _____

Client: Schragger

Project: 241 Pacific Drive

Source of Sample: B-1 **Depth:** 20.0

Sample Number: B-1

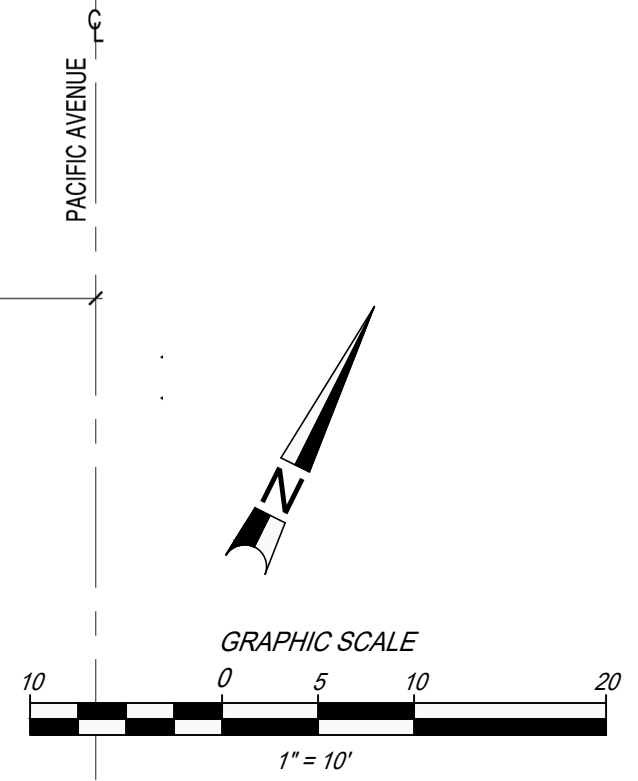
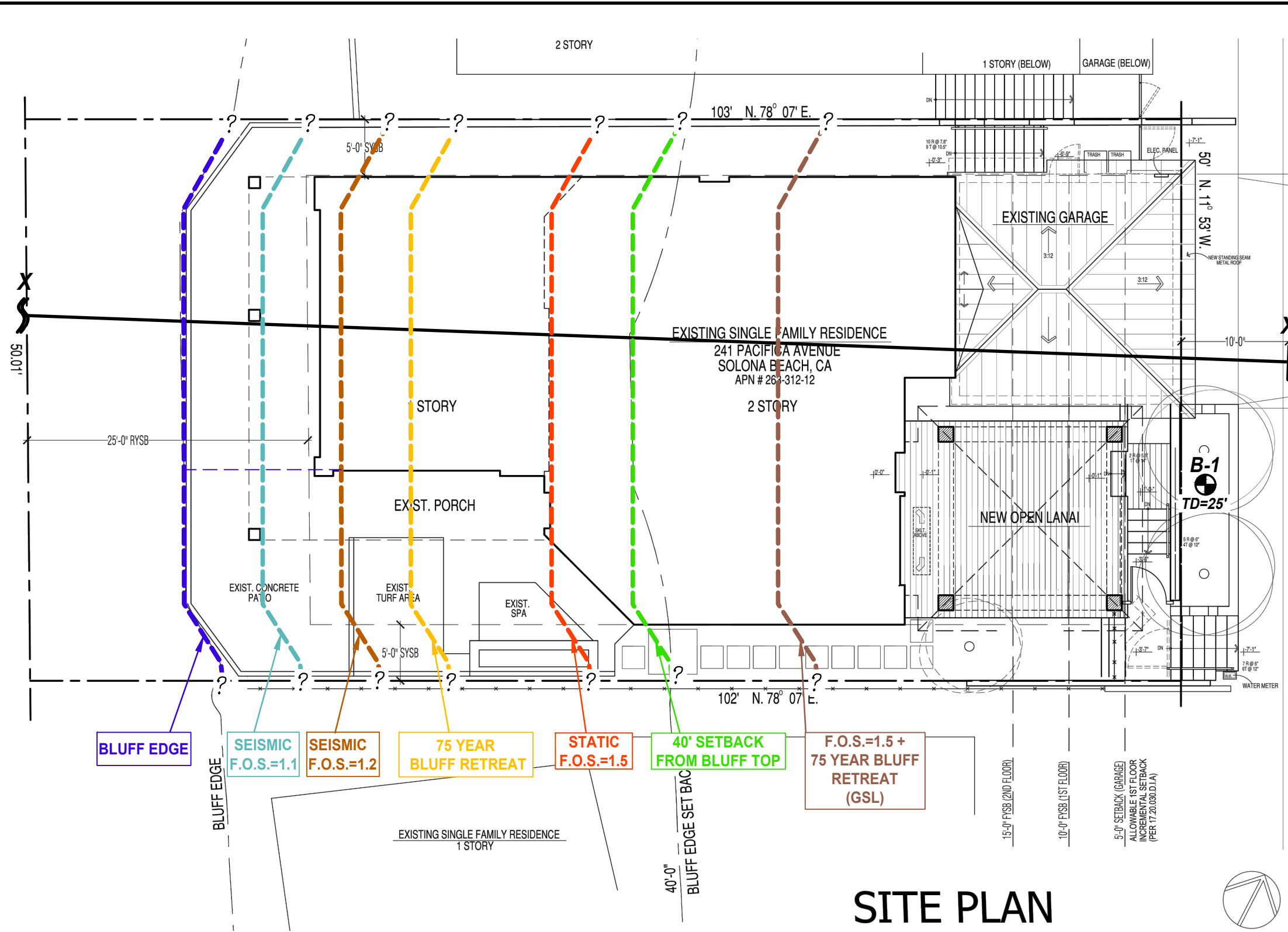
Proj. No.: 8278-A-SC

Date Sampled:





Tested By: TR _____ **Checked By:** TR _____

W.O. 8278-A4-SC
 Plate C-2



SITE PLAN

GSI LEGEND

-  — APPROXIMATE LOCATION OF EXPLORATORY BORING WITH TOTAL DEPTH IN FEET
-  — APPROXIMATE LOCATION OF GEOLOGIC CROSS SECTION

BASE MAP FROM:



SCHRAGER RESIDENCE
241 PACIFIC AVENUE, SOLANA CA

ALL LOCATIONS ARE APPROXIMATE

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**RE-REVISED
BLUFF RETREAT MAP**

Plate 1

W.O. 8278-A4-SC DATE: 01/23 SCALE: 1" = 10'



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February 20, 2023

W.O. 8278-A5-SC

Mr. Rick Schrager
241 Pacific Avenue
Solana Beach, California 92075

Subject: Third Response to Geotechnical Review Comments (February 3, 2023), and Solana Beach Comments (February 14, 2023), Schrager Residence Remodel, 241 Pacific Avenue, Solana Beach, California 92075, APN 263-312-12-00

Dear Mr. Schrager:

As discussed, GeoSoils, Inc. (GSI), is providing this third response to the geotechnical review (CTE, 2023 [see the Appendix]) of our previous reports for the site (GSI, 2023; 2022a, b, and c), and comments by the City (Solana Beach, 2023). The purpose of this response is to address the reviewer's comment and respond to the City. The scope of our services has included a review of the referenced documents (see Appendix A), slope stability analyses (see Appendix B), analysis of data, and preparation of this review response. Unless specifically superseded herein, the conclusions and recommendations in our prior reports for the site remain pertinent and applicable.

REVIEW RESPONSE

For convenience, the reviewer's one (1) comment is repeated below, followed by the City's comment, both in *italics*, which is in turn followed by GSI's response.

CTE Review Comment

CTE recommends that the slope stability analyses provided in "Geotechnical Addendum and Response to Coastal Commissions Review Comments (August 3, 2022)" (GSI, 2022) be performed again using the conservative parameters indicated by the provided direct shear test results (or more conservative) to confirm the minimum factors of safety reported in that document.

City Review Comment

According to LUP policy 4.25, the Applicant is required to accurately show on the property the location of the Geologic Setback Line (GSL). "This setback line shall establish the location on the bluff top where stability can be reasonably assured for the economic life of the development." This assurance is demonstrated by providing "a quantitative slope

analysis demonstrating a minimum factor of safety against sliding of 1.5 (static) or 1.2 (pseudostatic, $k=0.15$ or determined through analysis by the geotechnical engineer), using shear strength parameters derived from relatively undeformed samples collected at the site.”

The samples you provided have shown that the current GSL is not accurate. The line may actually be closer to the bluff edge. This will not change the proposed location of the addition, and therefore, I would assume showing the GSL line in the correction location closer to the bluff and further away from the proposed addition would actually increase the likelihood of approval from the CCC.

Unfortunately, if the slope stability analysis is not performed again using the new information, we will not be able to confirm that the project is in compliance with LUP Policy 4.25.

GSI Response

GSI performed the quantitative slope stability analyses along Cross Section X-X' (see Plates 1a and 1b), taken from GSI (2022b), as a base, using the required shear strength parameters derived from relatively undeformed samples collected at the site. The slope stability analysis depicts Cross Section X-X', does not include bluff/shore protection structures, and Cross Section X-X' is shown on Plates B-1 and B-2. The analyses were conducted using the two-dimensional limit-equilibrium slope stability software program “GEOSTASE” version 4.30.31, developed by Gregory Geotechnical (2019). A general summary of the “GEOSTASE” program, our analysis and assumptions are included in GSI (2022b), and are not repeated herein.

The required analyses showed that the theoretical failure surface with a static factor-of-safety (FOS) of 1.5 would daylight the ground surface along Cross Section X-X' at approximately 15 feet landward of the coastal bluff edge. Linear interpolation was used to estimate the location along Cross Section X-X' where the theoretical failure surface having a FOS equal to 1.5 would daylight the ground surface. The linear interpolation exercise assumed the static FOS would be 1.0 at the bluff edge location. Linear interpolation was also used to estimate the location along Cross Section X-X' where the theoretical failure surface having a seismic FOS equal to 1.1 and 1.2 would daylight the ground surface. The linear interpolation exercise assumed the seismic FOS would be 1.0 at the bluff edge location. Linear interpolation indicated that the theoretical failure surface having a seismic FOS of 1.1 and 1.2, would daylight the ground surface approximately 9.6 and 19.1 feet, respectively, landward of the coastal bluff edge along Cross Section X-X'. Plates 1a and 1b show the new Factors of Safety (FOS) distances from the bluff edge.

Utilizing the future retreat rates from GSI (2022c), the unprotected coastal bluff may experience approximately 20.3 feet of retreat over the 75-year design life of the proposed residential structure, with a future SLR of 6.68 feet (assuming the existing seawall is not there). Cumulatively, this amounts to the FOS 1.5 distance plus 75-years retreat = $(15 + 20.3) \sim 35$ feet from the bluff edge. Accordingly, the prescriptive City minimum 40 foot setback from the top of bluff/bluff edge should technically govern.

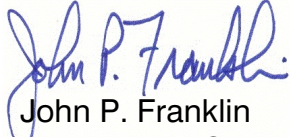
Please note that the required analyses was mandated using “shear strength parameters derived from relatively undeformed samples collected at the site.” Thus, the City-required analyses are devoid of professional judgement, are not precautionary nor reasonable, are not the best available science, and are not recommended to be used. Furthermore, the California Coastal Commission (CCC) is on the record as recommending “a total setback from the bluff edge of at least 50 feet” be used on a nearby project on a similarly tall bluff with similar geologic conditions. It is intuitively obvious that CCC would not approve a 40-foot setback on this project, as that would set a precedent for future bluff studies, and may actually open the door for retroactive appeals and litigation.

In contrast, our previous slope stability analyses (GSI, 2022b), used professional judgement, the best available science, were precautionary and reasonably conservative, and satisfied the above discussed CCC 50-foot criteria. We point out that regarding GSI (2022b), the City reviewer (CTE, 2022a) stated that “the soil parameters used by the applicant’s geotechnical consultant in performing slope stability analysis appear appropriate for the soil materials being modeled, and the applicant’s consultant further reduced these values for their analysis”; and thus are precautionary and reasonable. A contrast of the old and new GSL is provided as Plate 1a. The previous analyses and setbacks, utilizing professional judgement, are still recommended, and are shown on Plate 1b.

The opportunity to be of service is sincerely appreciated. If you should have any questions, please do not hesitate to contact our office.

Respectfully submitted,

GeoSoils, Inc.,



John P. Franklin
Engineering Geologist, CEG 1340



Stephen J. Coover
Geotechnical Engineer, GE 2057



JPF/SJC/sh

Enclosure: Appendix A - Selected References
Appendix B - Slope Stability Analyses
Plates 1a and 1b - Re-Revised Bluff Retreat Maps

Distribution: (1) Addressee (PDF via email)

APPENDIX A

SELECTED REFERENCES

APPENDIX A

SELECTED REFERENCES

California Coastal Commission, 2022, Re: Coastal Development Permit Application #6-22-0551/Schrager, dated August 3.

City of Solana Beach, 2023, email entitled "1.27.23 (DRP22-014) Response to 11.11.22 CTE's Comments: (4.25 LUP Policy)," authored by Ms. Corey Andrews, dated February 14.

_____, 2022, Re: DRP22-014 a development review permit (DRP) for a remodel and the addition of a covered patio at an existing two-story, single-family residence at 241 Pacific Avenue, Solana Beach, dated July 1.

Construction Testing & Engineering, Inc., 2023, Application submittal geotechnical review, 3rd review, Schrager Residence remodel, 241 Pacific Avenue, Solana Beach, California APN: 263-312-12-00, CTE Job No. 4830.2200073.0000, dated February 3.

_____, 2022a, Application submittal geotechnical review, 2nd review Schrager Residence remodel, 241 Pacific Avenue, Solana Beach, California APN: 263-312-12-00, CTE Job No. 4830.2200073.0000, dated November 11.

_____, 2022b, Application submittal geotechnical review, Schrager Residence remodel, 241 Pacific Avenue, Solana Beach, California, APN: 263-312-12-00, CTE Job No. 4830.2200073.0000, dated September 20.

GeoSoils, Inc., 2023, Second Response to Geotechnical Review Comments (November 11, 2022), Schrager Residence Remodel, 241 Pacific Avenue, Solana Beach, California 92075, APN 263-312-12-00, W.O. 8278-A4-SC, dated January 27.

_____, 2022a, Response to Geotechnical Review Comments (September 20, 2022), Schrager Residence Remodel, 241 Pacific Avenue, Solana Beach, California 92075, APN 263-312-12-00. W.O. 8278-A3-SC, dated September 30.

_____, 2022b, Geotechnical addendum and response to Coastal Commission review comments (August 3, 2022), proposed improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00, Coastal Development Review Application #6-22-0551/Schrager," W.O. 8278-A2-SC, revised August 15.

_____, 2022c, Limited geotechnical evaluation for proposed improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00, W.O. 8278-A-SC, dated July 19 (revised).

Martin Architecture, 2021, Site plan, Schrager Residence, 241 Pacific Avenue, Solana [Beach], California, sheet C1.1, scale: 1/8-inch = 1 foot, dated November 21.

APPENDIX B

SLOPE STABILITY ANALYSES

APPENDIX B

SLOPE STABILITY ANALYSES

INTRODUCTION OF GEOSTASE v.4.30.31 COMPUTER PROGRAM

Introduction

GEOSTASE v.4.30.31 is a fully integrated two-dimensional limit equilibrium slope stability analysis program developed by Dr. Garry H. Gregory, Ph.D., P.E., D.GE, Principal Consultant with Gregory Geotechnical. The name GEOSTASE is an acronym for **G**eneral **E**quilibrium **O**ptions for **S**tability **A**nalysis of **S**lopes and **E**mbankments. It permits the user to develop the slope geometry interactively and perform slope analysis from within a single program.

GEOSTASE v.4.30.31 is capable of performing popular limit equilibrium analysis methods, such as the Simplified Bishop Method, Simplified Janbu Method, Spencer Method, Morgenstern-Price Method, Simplified Janbu Corrected Method, United States Army Corps of Engineers (USACE) Modified Swedish Method, and the Lowe and Karafiath Method. Standard search options include circular, random, wedge, block, and composite surface options. The software also includes a non-circular refined search option, referred to as ZRSAUTO. "ZRS" is an acronym for **Z**one, **R**eduction, and **S**hifting. The program can be used to search for the most critical surface and the FOS may be determined for specific surfaces. GEOSTASE v.4.30.31 is programmed to handle:

1. Heterogenous soil systems
2. Mohr-Columb and anisotropic soil strength properties
3. Reinforcing and restraining elements (i.e., piers, tiebacks [anchors], soil nails, and applied forces)
4. Nonlinear Mohr-Coulomb strength envelope
5. Pore water pressures for effective stress analysis using:
 - a. Phreatic and piezometric surfaces
 - b. Pore-pressure ratios
 - c. Artesian pressure
 - d. Constant pore water pressure
6. Pseudo-static (seismic) earthquake loading
7. Distributed and line loads
8. Automatic generation and analysis of an unlimited number of circular, noncircular and block-shaped failure modes
9. Analysis of right- and left-facing slopes
10. Both SI and Imperial units

General Information

If the reviewer wishes to obtain more information concerning slope stability analysis, the following literature may be consulted initially:

1. The Stability of Slopes, by E.N. Bromhead, Surrey University Press, Chapman and Hall, N.Y., 411 pages, ISBN 412 01061 5, 1992.
2. Soil Strength and Slope Stability, by J.M. Duncan, S.G. Wright, and T.L. Brandon, John Wiley and Sons, Inc., Second Edition, 317 pages, ISBN 978-1-118-65165-0, 2014.
3. Rock Slope Engineering, by E. Hoek and J.W. Bray, Inst. of Mining and Metallurgy, London, England, Third Edition, 358 pages, ISBN 0 900488 573, 1981.
4. Landslides: Analysis and Control, by R.L. Schuster and R.J. Krizek (editors), Special Report 176, Transportation Research Board, National Academy of Sciences, 234 pages, ISBN 0 309 02804 3, 1978.
5. Landslides: Investigation and Mitigation, by A.K. Turner and R.J. Krizek (editors), Special Report 247, Transportation Research Board, National Research Board, 675 pages, ISBN 0 309 06208-X, 1996.

GEOSTASE v.4.30.31 Features

GEOSTASE v.4.30.31 contains the following features:

1. Allows user to calculate FOS for static stability and seismic stability evaluations.
2. Allows user to analyze stability situations with different failure modes.
3. Allows user to edit input for slope geometry and calculate corresponding FOS.
4. Allows user to readily review on-screen the input slope geometry.
5. Allows user to automatically generate and analyze defined numbers of circular, non-circular and block-shaped failure surfaces (i.e., bedding plane, slide plane, etc.).

Input Data

Input data includes the following items:

1. Unit weight, cohesion, and friction angle of earth materials and bedding/discontinuity planes.

2. Slope geometry and distributed (building) loads.
3. The apparent dip of bedding and discontinuities can be modeled in an anisotropic angular range (i.e., from 0 to 90 degrees in into-slope and out-of-slope directions). For the analyses, anisotropic strength properties were assigned to the old paralic deposits (Qop1 through Qop4) between an angular range of 5 degrees from the horizontal plane, oriented in both into-slope and out-of-slope directions. direction.
4. For the pseudo-static (seismic) analyses, earthquake loading was modeled using a seismic coefficient of 0.15 i and a peak horizontal ground acceleration adjusted for site effects (PGA_M) of 0.669 g (www.seismicmaps.org).
5. Soil parameters used in the slope stability analyses are provided Table B-1:

TABLE B-1 - SOIL STRENGTH PARAMETERS

SOIL MATERIALS	SOIL UNIT WEIGHT (pcf)		STATIC SHEAR STRENGTH PARAMETERS			
	Moist	Saturated	C (psf)		Φ (degrees)	
			Bedding			
			Cross	Parallel	Cross	Parallel
Quaternary Old Paralic Deposits - Iron-Oxide Cemented Pedogenic Horizon (Qop4)	120	N/A	694	579	38	32
Quaternary Old Paralic Deposits - Weakly Cemented Sand (Qop3)	120	N/A	627	550	37	33
Quaternary Old Paralic Deposits - Weakly Developed Paleosol (Qop2)	120	N/A	450	350	25	24
Quaternary Old Paralic Deposits - Clean Beach Sand (Qop1)	120	N/A	0	0	34	32
Torrey Sandstone (Tt)	125	135	3500		35	
N/A - Not applied						

Output Information

Output information includes:

1. All input data.
2. FOS for the 10 most critical surfaces.
3. High quality plots can be generated. The plots include the slope geometry, the critical surfaces and the FOS.
4. The analyses were configured to search for 1,000 trial surfaces.

Results of Slope Stability Calculations

Table C-2 provides a summary of the results of our stability analyses along Cross Section X-X'. Computer printouts from the GEOSTASE program are also included as Plates B-1 and B-2.

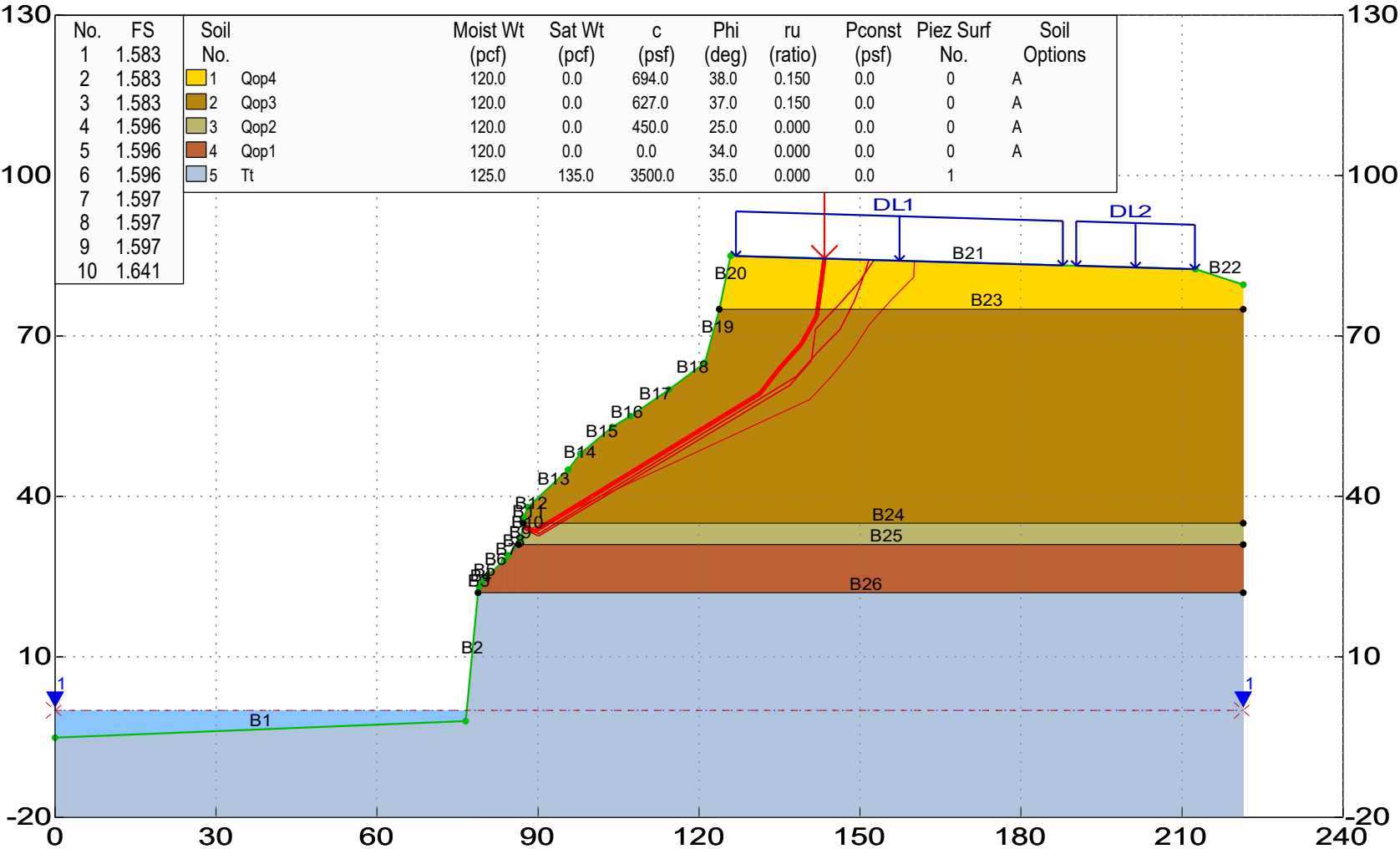
TABLE B-2 - SUMMARY OF SLOPE STABILITY ANALYSES

CROSS SECTION	FACTOR-OF-SAFETY (FOS)		ANALYSIS METHOD	COMMENTS
	STATIC	SEISMIC		
X-X'	1.5 (See Plate B-1)	1.3 (See Plate B-2)	Spencer	Code-compliant static FOS of 1.5 at approximately 32¾ feet landward of the coastal bluff edge. Seismic FOS of 1.3 at approximately 19½ feet landward of the coastal bluff edge. Based on linear interpolation, code-compliant seismic FOS of 1.1 occurs at approximately 7 feet landward of the coastal bluff edge.

SCHRAGER / 8278-A5-SC UPPER-BLUFF FAILURE - STATIC

GEOSOILS, INC.

\X-X' Upper Bluff - Static.gsd



GEOSTASE FS = 1.583

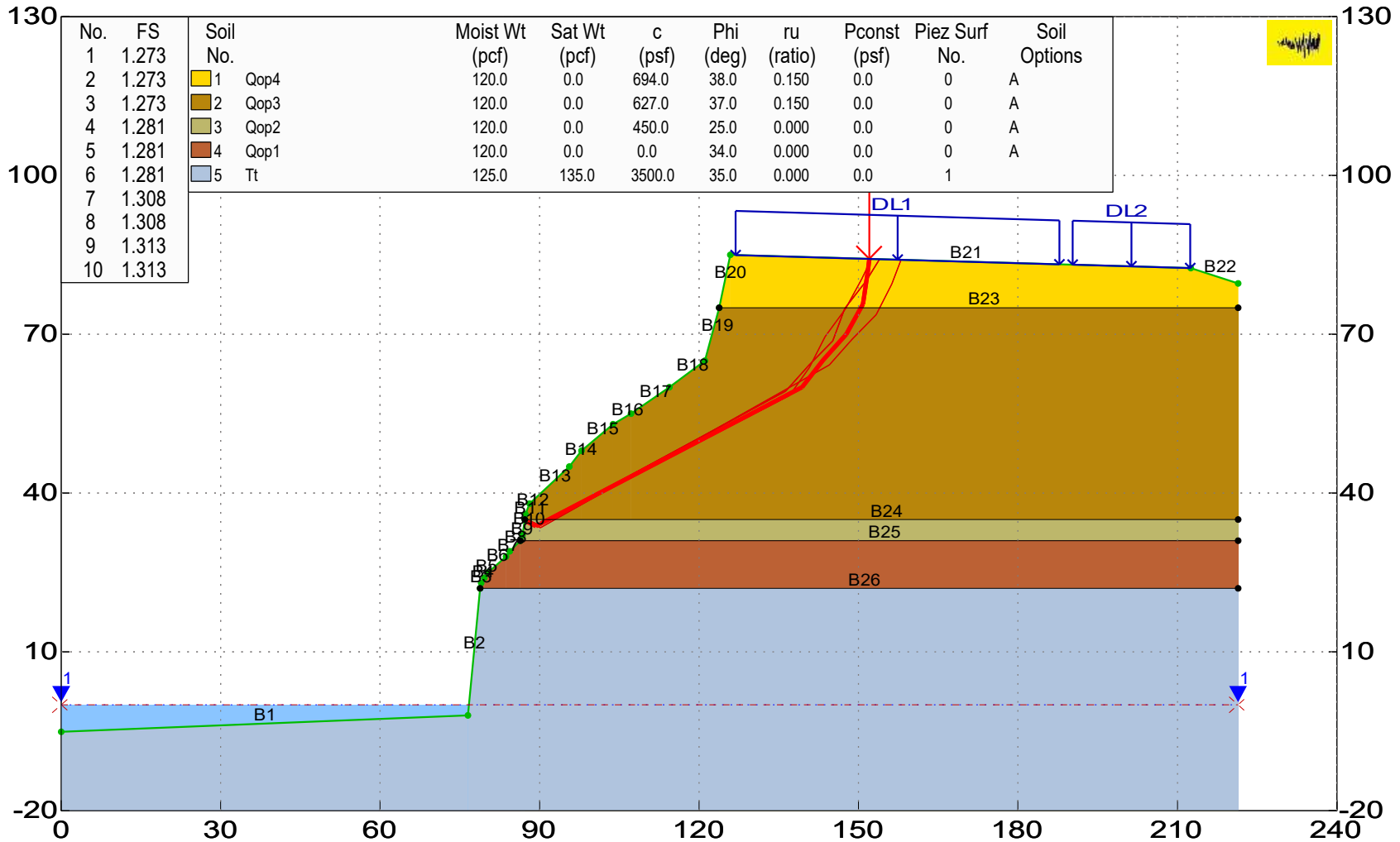
Spencer Method



SCHRAGER / 8278-A5-SC UPPER-BLUFF FAILURE - SEISMIC

GEOSOILS, INC.

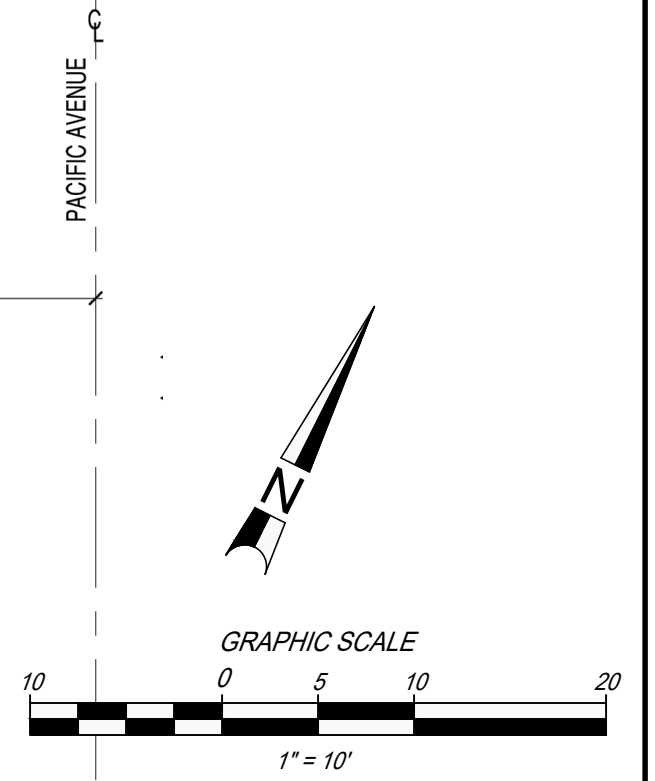
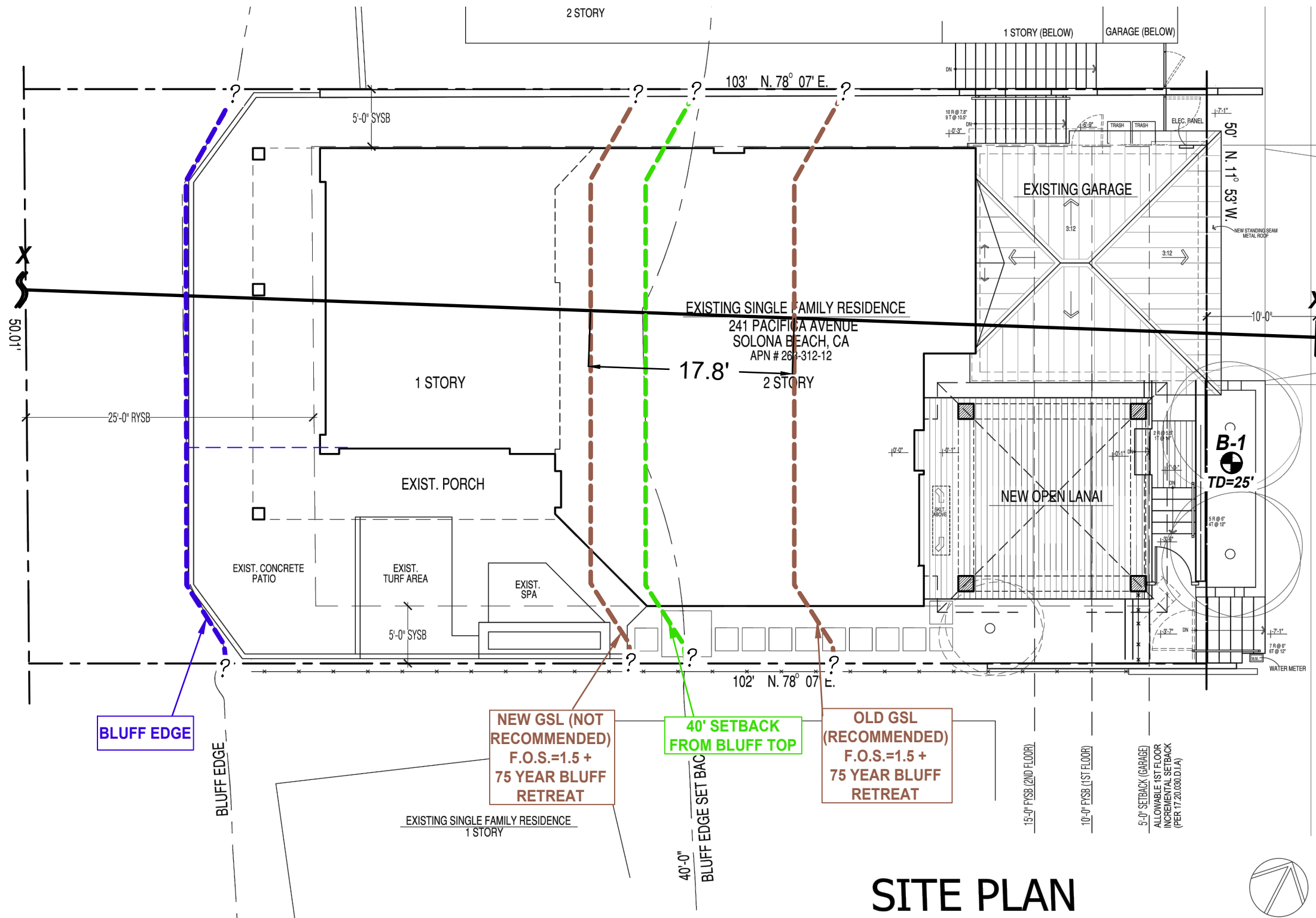
\X-X' Upper Bluff - Seismic.gsd



GEOSTASE FS = 1.273

Spencer Method

kh = 0.15000



SITE PLAN

BASE MAP FROM:



SCHRAGER RESIDENCE
241 PACIFIC AVENUE, SOLANA CA

GSI LEGEND

- APPROXIMATE LOCATION OF EXPLORATORY BORING WITH TOTAL DEPTH IN FEET
- APPROXIMATE LOCATION OF GEOLOGIC CROSS SECTION

ALL LOCATIONS ARE APPROXIMATE

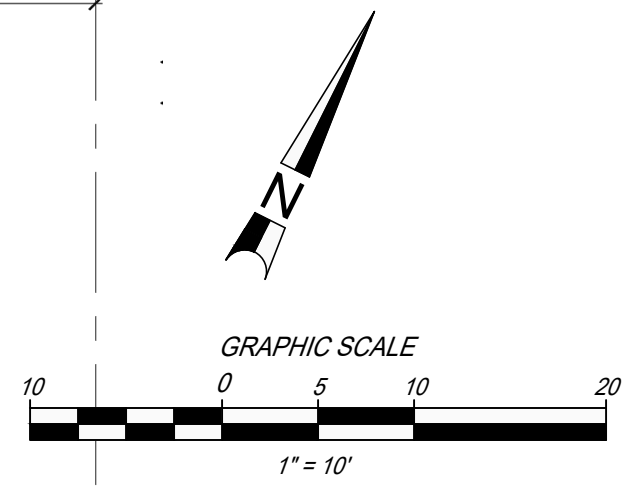
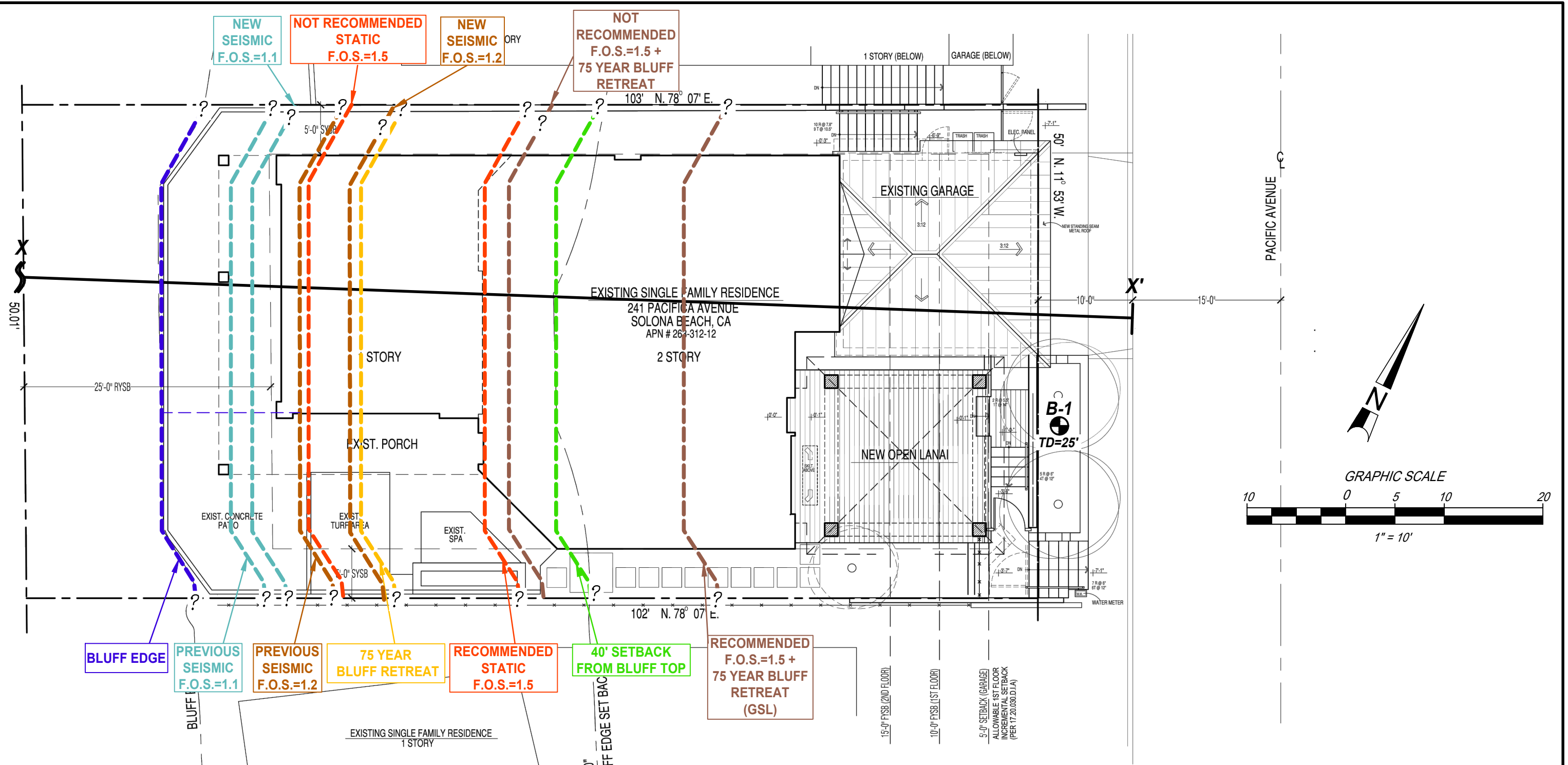
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**RE-REVISED
BLUFF RETREAT MAP**

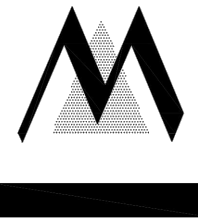
Plate 1a

W.O. 8278-A5-SC DATE: 02/23 SCALE: 1" = 10'



SITE PLAN

BASE MAP FROM:



SCHRAGER RESIDENCE
241 PACIFIC AVENUE, SOLANA CA

GSI LEGEND

- APPROXIMATE LOCATION OF EXPLORATORY BORING WITH TOTAL DEPTH IN FEET
- APPROXIMATE LOCATION OF GEOLOGIC CROSS SECTION

ALL LOCATIONS ARE APPROXIMATE

This document or file is not a part of the Construction Documents and should not be relied upon as being an accurate depiction of design.



**RE-REVISED
BLUFF RETREAT MAP**

Plate 1b

W.O. 8278-A5-SC DATE: 02/23 SCALE: 1" = 10'



Geotechnical • Geologic • Coastal • Environmental

5741 Palmer Way • Carlsbad, California 92010 • (760) 438-3155 • FAX (760) 931-0915 • www.geosoilsinc.com

February 18, 2022

W.O. 8278-A-SC

Mr. Rick Schragger

241 Pacific Avenue
Solana Beach, California 92075

Subject: Limited Geotechnical Evaluation For Proposed Improvements at 241 Pacific Avenue, Solana Beach, San Diego County, California 92075, Assessor's Parcel Number (APN) 263-312-12-00

Dear Mr. Schragger:

In accordance with your request and authorization, GeoSoils, Inc. (GSI), is providing this summary of our limited geotechnical evaluation of the impact of the proposed improvements to the single-family residence on the existing bluff, at the subject site. The purpose of this study was to provide a general, qualitative site evaluation for the proposed improvement, as it relates to the stability of the nearby coastal bluff. The scope of our services for this study included: 1) a review of in-house regional geologic maps and available literature (see the Appendix); 2) brief site reconnaissance and observations of the surficial site conditions; 3) review of the architectural plans ; and 4) the preparation of this summary letter and accompaniments.

SITE CONDITIONS

The subject property is located at 241 Pacific Avenue in Solana Beach, San Diego County, California. The site is situated upon a developed, steeply westerly sloping coastal terrace, adjacent to an approximately 75-foot high coastal bluff, along the Pacific Ocean shoreline. The coastal bluff consists of a steep, west-facing, somewhat anthropogenically modified slope. According to a geotechnical report by Soil Engineering Construction Inc. (SEC, 2019), the natural bluff was inclined greater than 45 degrees from the horizontal and friable sand was exposed at elevations 25 to 35 feet (NAV88) which was contributing, to the destabilization of the bluff. The upper coastal bluff slope is sparsely vegetated due to rilling and sloughing of the bluff face and a recent slope failure and erosion. As a result of that failure, a 35-foot high seawall has been constructed, as recommended in SEC (2019).

From Google Earth Imagery (2020), the beach sand elevation, near the toe of the bluff, is approximately 10 feet above the approximate mean low tide elevation. In general, the top of slope is 85 feet (NAV88), the bottom is at about 10 ft. (NAV88), and the beach extends toward the ocean about 75 feet to the mean high tide line elevation of 4.41 (NAV88).

PROPOSED DEVELOPMENT

GSI understands that the proposed remodel consists of mostly interior improvements and some exterior improvements to the existing residence, as depicted in the architectural plans by Martin Architecture (MA, 2021). The improvements include: removal of the existing interior spiral staircase and replacing with conventional half turn staircase, remodeling the master bedroom area and closet, reducing the size of the Bedroom 3 on the main level and adding a powder room and pantry, removal of small portion of the roof, and construction of a new lanai adjacent the existing garage. Other than the lanai, no additional square footage is proposed. New foundations are proposed for the lanai, an exposed accessory structure, which is near the street (Pacific Avenue). Retrofitting of the existing foundation is planned at several locations, east of the 40-foot setback line.

GEOLOGIC CONDITIONS

Regional Geology

The subject property lies within the coastal plains physiographic section of San Diego County. This section consists of dissected, mesa-like terraces that transition inland to rolling hills. San Diego County occurs within the Peninsular Ranges Geomorphic Province of southern California. This province is characterized as elongated mountain ranges and valleys that trend northwesterly (Norris and Webb, 1990). The Peninsular Ranges extend from the base of the east-west aligned Santa Monica - San Gabriel Mountains, and continue south into Baja California. The mountain ranges within this province are underlain by basement rocks consisting of pre-Cretaceous metasedimentary rocks, Jurassic metavolcanic rocks, and Cretaceous plutonic (granitic) rocks.

In the Southern California region, deposition occurred during the Cretaceous Period and Cenozoic Era in the continental margin of a forearc basin. Sediments, derived from Cretaceous-age plutonic rocks and Jurassic-age volcanic rocks, were deposited during the Tertiary Period (Eocene-age) into the narrow, steep, coastal plain and continental margin of the basin. These rocks have been uplifted, eroded, and deeply incised. During early Pleistocene time, a broad coastal plain was developed from the deposition of marine terrace deposits (now termed "old paralic deposits"). During mid- to late-Pleistocene time, this plain was uplifted, eroded and incised. Alluvial deposits have since filled the lower valleys, and young marine sediments are currently being deposited/eroded within coastal and beach areas.

Site Geology

Regional geologic mapping by Kennedy and Tan (2007) indicates the site is mantled by Quaternary-age old paralic deposits. These deposits are shown as being unconformably underlain by sedimentary bedrock belonging to the Tertiary Torrey Sandstone. According to SEC, (2019) the Torrey Sandstone lies nearly flat at the site. Beach deposits consisting variably of unconsolidated sand to cobble exist from the toe of the bluff to the coastline.

COASTAL BLUFF GEOMORPHOLOGY

Emery and Kuhn (1982) developed a global system of classification of coastal bluff profiles, and applied that system to the San Diego County coastline from San Onofre State Park to the southern tip of Point Loma. Emery and Kuhn (1982) designated the Solana Beach coastline as “active” and “Type C-c.” The letter “C” designates coastal bluffs having a resistant geologic formation along the base of the bluff and more erodible earth materials in the upper portions of the bluff. The relative effectiveness of marine erosion compared to subaerial erosion of the bluff produces a characteristic profile. The letter “-c” indicates that the long-term rate of marine erosion is approximately equal to that of subaerial erosion.

HISTORIC COASTAL-BLUFF RETREAT

Most of San Diego County’s coastline has experienced a measurable amount of erosion in the last 75 years, with more rapid erosion occurring during periods of heavy storm surf (Kuhn and Shepard, 1984). The entire base of the seacliff portion of coastal bluffs is based upon the available information, the use of a 6.4-foot rise in sea level over the design life of the proposed improvements to the property is fairly conservative (0.5% probability that SLR exceeds this amount [CCC, 2018]). Due to the relatively high elevation of the existing and proposed development (approximately ± 76 to ± 86 feet NAVD88), it is considered reasonably safe from coastal hazards including shoreline erosion, wave attack, wave overtopping and coastal flooding, even with a conservative sea level rise of 6.4 feet over the 75-year life of the development (0.5% probability that SLR exceeds this amount, per CCC [2018]), from 2019 to 2094 (year 2094 extrapolated from 2090 to 2100 data). The existing seawall below the subject site would provide additional protection from coastal hazards. exposed to direct wave attack along most of the coast. The waves erode the seacliff by impact on small joints/fractures and fissures in the otherwise essentially massive bedrock units, and by water-hammer effects. The upper bluffs, which often support little or no vegetation, are subject to wave spray and splash, sometimes causing saturation of the outer layer and subsequent sloughing of over-steepened slopes. Wind, rain, irrigation, and uncontrolled surface runoff contribute to the subaerial erosion of the upper coastal bluff, especially on the more exposed over-steepened portions of the friable sands. Where these processes are active, unraveling of cohesionless sands has occurred along portions of the upper bluffs. Finally, improvements sited near the bluff edge can concentrate surface runoff onto the bluff slope, and can contribute to subaerial erosion and bluff instability.

Numerous studies have been undertaken to analyze coastal bluff retreat along the Encinitas and Solana Beach shoreline. However, the most in-depth study to date, consists of a 1999 assessment by Benumof and Griggs (1999). This study presents erosion rates for coastal bluffs in different sections of the San Diego County coastline. The erosion rates published by these workers were obtained by analyzing a combination of factors including overall rock mass strengths obtained through Schimdt Hammer testing; visual

assessments of joint spacing and width; earth material weathering and fatigue; groundwater seepage; and wave impact at the seacliff. These data were compared to the bluff edge locations observed in soft-copy photogrammetric images of the coast for the years 1932, 1949, 1952, 1956, and 1994 as well as more recent bluff edge locations surveyed with global positioning instruments.

For the Solana Beach coast section, which includes the subject site, Benumof and Griggs (1999) arrived at a mean recession rate of 8.23 cm/yr (3.24 in/yr), or approximately 0.27 ft/yr, with a standard deviation of 2.37 cm/yr (0.93 in/yr or 0.077 ft/yr). Benumof and Griggs (1999) also provided alongshore plots quantifying the amount of coastal erosion within their Solana Beach study area. Their findings indicated a site specific approximate retreat rate of 6 cm/yr (2.36 inches/yr) or approximately 0.1966 ft/yr for the subject site.

FUTURE BLUFF RETREAT SUMMARY

The calculated long-term rate of future bluff retreat using the simplified numerical model equation is presented below, based on the aforementioned three curvilinear sections and:

1. Historical rate based on the site specific review is 0.1966 feet/year = R_1
2. Avg SLR rate over 91 years (1924 to 2015), based on NOAA (Scripps Pier, La Jolla¹) is 2.13 mm/yr = 0.084 inch/yr x 1 ft/12 in = 0.007 ft/yr = S_1
3. Future SLR rate (2097), under *medium-high risk aversion scenario*² = 6.68 ft/75 yrs = 0.089 ft/yr = S_2
4. $m = \frac{1}{3}$

GSI's assignment of the value for the exponent "m" is reasonable based on the response of the onsite coastal bluff to increased rates of SLR would lie somewhere between the instant response ($m = 1$) and no feedback ($m = 0$) systems discussed in Ashton, et al. (2011), and is likely closer to zero.

GSI has reasonably assumed SLR will mimic the historical bluff retreat rate for the next 37 years (through 2059). We have used 0.1966 ft/yr for this time interval. The erosion rate should marginally increase for the following 25 years (2059-2084), and we have reasonably added $\frac{1}{3}$ of the change in erosion rate in 2097, to the initial erosion rate (Δ , see below). During the more asymptotic Sea Level Rise (SLR) end of the 75-year design life (2084-2097), the bluff retreat rate should be closer to the site specific upper bound bluff retreat rate for this time interval. The site specific historic bluff erosion rate (assuming the existing seawall is not there), is indicated in the calculations below:

¹NOAA, 2022 (La Jolla gauge no. 9410230)

²CCC, 2018 (Projected SLR [in feet]: La Jolla [extrapolated from 2090 to 2100, for 2097])

Site Specific Rate

At year 2097, under *medium-high risk aversion scenario (0.5% Probability)*,

$$R_2 = R_1 (S_2/S_1)^m$$

$$R_2 = (0.1966 \text{ ft/yr}) (0.089 \text{ ft/yr}/[0.007 \text{ ft/yr}])^{1/3}$$

$$R_2 = (0.1966) (12.71)^{1/3}$$

$$R_2 = (0.1966) (2.33) = 0.458 \text{ ft/yr in the year 2097.}$$

Based on the above, the retreat rate will change from 0.1966 to 0.458ft/yr, and the difference between the 75-year commencement and end of the design life, $\Delta = 0.261 \text{ ft/yr}$, from 2022 to 2097.

FUTURE BLUFF RETREAT BASED ON SLR CURVE INCREMENTS			
APPLICABLE DATES	BLUFF RETREAT RATE (FT/YR)	DURATION (YEARS)	BLUFF RETREAT (FEET)
2022-2058 (0.1966) current SLR rate	0.1966	37	7.27
2059-2083 (0.1966 + 1/3[Δ] = (0.1966 + 1/3[0.261]= 0.283) increase in SLR rate	0.283	25	7.08
2084-2097 (Calculated SLR rate in 2097 = 0.458)	0.458	13	5.95
	Subtotal	75	20.30

SETBACK FROM BLUFF EDGE	
Erosion over 75 years	20.30
Factor of Safety (FOS) = 1.5 distance from bluff edge	55.00
TOTAL OVERALL SETBACK FROM BLUFF EDGE	75.30

As shown above, the onsite coastal bluff may experience approximately 20 feet of retreat over the 75-year design life of the proposed residential structure, with a future SLR of 6.68 feet (and assuming the existing seawall is not there). Plate 1 shows a typical Factor of Safety (FOS) setback distance, where FOS=1.5, amounting to 55 feet, based on the approximately 20 feet of bluff retreat over 75 years, with an assumed SLR of approximately 6.68 feet over that design life interval.

FINDINGS

Based upon our understanding of the proposed development, our site observations, review of the available regional geologic information, and knowledge of the bluff conditions in the site vicinity, we provide the following findings:

- With one exception, the proposed exterior improvements do not include the construction of new foundations, however, new foundations are proposed for the lanai, in the area that is both east of the 40-foot prescriptive bluff edge setback, and the cumulative FOS = 1.5 distance plus the 75 year erosion rate distance setback, near Pacific Avenue. However, we note that the lanai is considered an exposed accessory structure, which typically does not have a design life, and should generally not be subjected to such criteria.
- The proposed improvements would not subject the coastal bluff to significant additional building loads beyond the existing building loads, present onsite, prior to the remodel. Based on personal communication with the structural engineer at Patterson Engineering, Curtis Patterson, the estimated weight of exterior and interior materials replacing the old building materials or new construction is similar to or less than the pre-remodel material weight.

CONCLUSIONS

Based upon our findings and our understanding of the proposed development under purview of this study, GSI concludes that the coastal bluff below the subject property is susceptible to erosion from both marine and sub-aerial processes. Given that the replacement building materials are of near to equal weight than the original building materials being replaced, it is our professional opinion that this remodel/development improvements will not further exacerbate bluff erosion or instability. As such, GSI will certify³ the following:

- The proposed remodel/development will neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.
- The proposed remodel/development does not restrict or reduce public access or beach use.
- The proposed remodel/development places no significant additional weight on the coastal bluff and has no adverse effect on the stability of the bluff.
- The proposed remodel/development does not endanger life or property.

³ The term "certify" is used herein as defined in Division 3, Chapter 7, Article 3, § 6735.5. of the California Business and Professions Code (2021).

- The lower section of the bluff was recently improved with a seawall approximately 35 feet high and therefore, the lower bluff stability was increased substantially from pre-wall construction slope conditions.

PLAN REVIEW

The architectural plans by MA (2021) were reviewed and found to be general compliance with the standards of practice for construction within the City of Solana Beach, and are satisfactory from a geotechnical viewpoint.

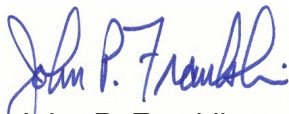
LIMITATIONS

Inasmuch as this report is based upon our visual inspection and reviews of regional geologic information, the conclusions and recommendations are considered professional opinions. These opinions have been derived in accordance with current standards of practice, and no warranty, either express or implied, is given. Standards of practice are subject to change with time. GSI assumes no responsibility or liability for work or testing performed by others, or their inaction; or work performed when GSI is not requested to be onsite. Use of this report constitutes an agreement and consent by the user to all the limitations outlined above, notwithstanding any other agreements that may be in place.

The opportunity to be of service is sincerely appreciated. If you should have any questions, please do not hesitate to contact our office.

Respectfully submitted,

GeoSoils, Inc



John P. Franklin
President, CEG 1340




Stephen J. Coover
Geotechnical Engineer, GE 2057



JPF/SJC/TMP/sh

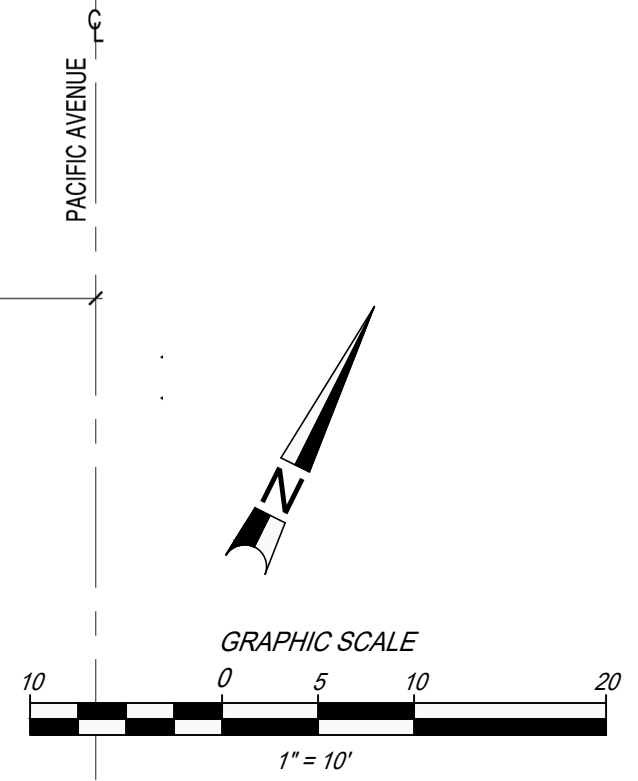
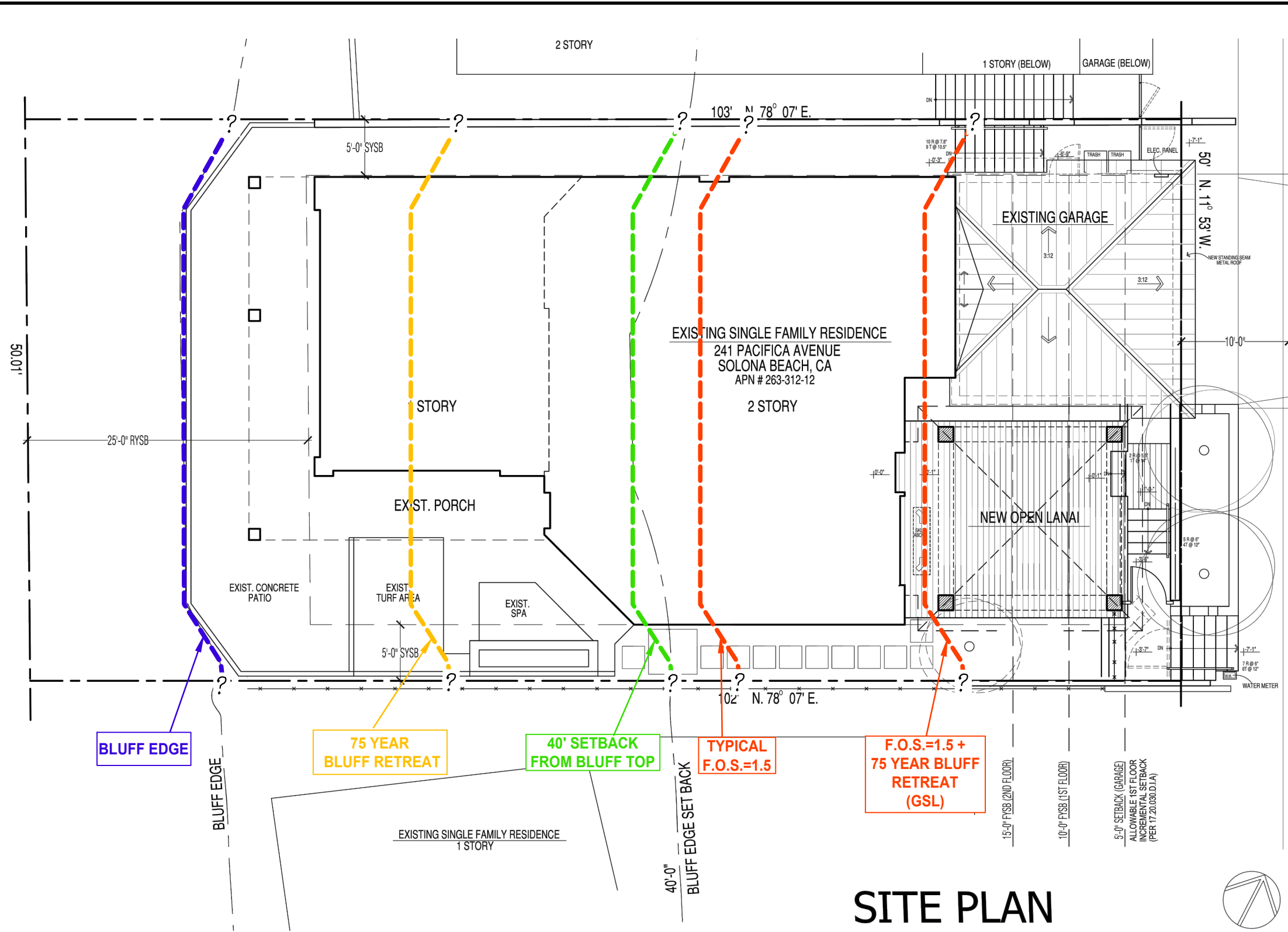
Enclosure: Appendix - References
Plate 1 - Bluff Retreat Map

Distribution: (1) Addressee (via email)

APPENDIX

REFERENCES

- Adelman, Kenneth & Gabrielle, 2019, California Coastal Records Project, photos 10-23-2004, 10-19-2006, 9-19-2008, and 9-29-2013.
- California Coastal Commission, 2018, Sea level rise policy guidance, interpretive guidelines for addressing sea level rise in local coastal programs and coastal development permits, adopted November 7.
- Eisenberg, L.T., 1985, Pleistocene faults and marine terraces, northern San Diego County, in Abbott, P.L., ed., On the Manner of Deposition of the Eocene Strata in Northern San Diego County: San Diego Association of Geologists.
- Emery, K.O., and Kuhn, G.G., 1982, Sea cliffs: their processes, profiles, and classification: Geological Society of America Bulletin, v. 93, no 7.
- Google Earth Imagery, 2020, v.6.1.0.5001, copyright by Europa Technologies, aerial photo dated December.
- Kennedy, M.P., and Tan, SS., 2007, Geologic map of the Oceanside 30' by 60' quadrangle, California, regional geologic map series, scale 1:100,000, California Geological Survey, Map No. 2.
- Martin Architecture, 2021, Architectural plans, Schragger Residence, 241 Pacific Avenue, Solana, California, sheets C1.1, C1.2, EX 1.1, EX1.2, EX1.3, EX3.1, EX3.2, EX4.1, EX5.1, D1.1, D1.2, D1.3, D5.1, D6.1, A1.0, A1.1, A1.2, A1.3, A2.1, A2.2, A2.3, A3.1, A3.2, A4.1, A4.2, A5.1, A6.1, A6.2, A8.1, S1.0, S1.1, S1.3, S2.0, S2.1, S2.2, S2.3, S2.4, S2.5, S3.00, S3.10, S3.20, S3.30, S4.0, S4.1, S4.2, M1.1, M1.2, E1.1, E1.2, E2.1, and E2.2, dated November 21.
- National Oceanic and Atmospheric Administration, 2022, <https://tidesandcurrents.noaa.gov/sltrends/sltrends.html>
- Norris, R.M. and Webb, R.W., 1990, Geology of California, second edition, John Wiley & Sons, Inc.
- Soil Engineering Construction Inc., 2019, Updated geotechnical evaluation of coastal bluff, proposed seawall extensions 235, 241, 245, and 249 Pacific Avenue, Solana Beach, CA, dated October 7.

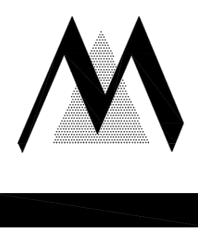


SITE PLAN

- BLUFF EDGE**
- 75 YEAR BLUFF RETREAT**
- 40' SETBACK FROM BLUFF TOP**
- TYPICAL F.O.S.=1.5**
- F.O.S.=1.5 + 75 YEAR BLUFF RETREAT (GSL)**

ALL LOCATIONS ARE APPROXIMATE
 This document or file is not a part of the Construction Documents and should not be relied upon as being an accurate depiction of design.

BASE MAP FROM:



SCHRAGER RESIDENCE
 241 PACIFIC AVENUE, SOLANA CA

GeoSoils, Inc.

BLUFF RETREAT MAP

Revised Plate 1

W.O. 8278-A-SC	DATE: 05/22	SCALE: 1" = 10'
----------------	-------------	-----------------



September 20, 2022

CTE Job No. 4830.2200073.0000

City of Solana Beach
Attention: Ms. Corey Andrews
635 South Highway 101
Solana Beach, California 92075
Office: (858) 720-2434

Via Email: candrews@cosb.org

Subject: Application Submittal Geotechnical Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00

References: At End of Document

Ms. Andrews:

As requested, Construction Testing & Engineering, Inc. (CTE) has reviewed the provided submittal application documents referenced at the end of this letter. The purpose of our review was to assess whether the proposed project is in substantial compliance with the City of Solana Beach's (City) Local Coastal Plan (LCP) policies.

The proposed construction includes interior and exterior renovations to the existing structure. New and retrofitted foundations are proposed to the existing structure for support of the renovations. The applicant claims that the square footage of the existing structure these new and retrofitted footings will support will not increase. A new ancillary structure (a lanai, or outdoor covered patio) requiring four new shallow spread foundations is proposed adjacent to the existing garage. The lanai is proposed east of the applicant-claimed Geologic Setback Line (GSL), which consists of an approximately 20-foot setback for the estimated 75-year coastal retreat and an approximately 55-foot slope stability setback (client-claimed total GSL setback from bluff edge is approximately 75 feet).

CTE notes the following:

- 1) The slope stability analysis provided by the applicant (GSI, August 2022) used to determine the slope stability setback distance of 55 feet appears reasonable and conservative based on the parameters provided. Please note that LCP Policy 4.25 requires that shear strength parameters be derived from relatively undeformed samples *collected at the site* (emphasis added). The applicant provides multiple direct shear test laboratory results from another consultant (Shepardson Engineering Associates, Inc.) indicating they are from a McCulley residence located on a Pacific Avenue, however, it is unclear if the samples were collected from the subject site. Nevertheless, the soil parameters indicated

by the laboratory result sheets appear appropriate for the soil materials being modeled, and the applicant's consultant further reduced these values for their analysis.

It is requested that the applicant provide the reports referenced for their soil shear strength values used in the slope stability analysis.

- 2) The applicant applies a FOS of 1.1 for their pseudo-static slope stability analysis based on California Coastal Commission (CCC) requirements. However, the City's LCP Policy 4.25 indicates a pseudo-static FOS of 1.2 should be used.

It is requested that the applicant submit a revised slope stability analysis and Plate 1 showing the location of the Seismic FOS = 1.2 line.


- 3) Structural Plan Sheet S3.10 indicates a "GSL Setback Line 75 Year Bluff Retreat" that partially runs through the lanai and is well east of the total GSL indicated by the geotechnical consultant (GSI, August 2022). This discrepancy should be reconciled.

CTE's review is based on the referenced and provided submittal documents. If the proposed improvements or referenced documents are revised or updated, or new documents are provided, they should be provided to CTE for additional review and comment, as warranted.

We appreciate this opportunity to be of service on this project. If you have any questions regarding this report, please do not hesitate to contact the undersigned.

Respectfully submitted,

CONSTRUCTION TESTING & ENGINEERING, INC.


Colm J. Kenny, GE #3201
Senior Engineer



REVIEWED DOCUMENTS:

Geotechnical Addendum and Response to Coastal Commissions
Review Comments (August 3, 2022)
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California, APN: 263-312-12-00
Coastal Development Review Application #6-22-0551/Schrager
GeoSoils, Inc. W.O.: 8278-A2-SC, Dated August 15, 2022

Response to Comments for DRP22-014 (241 Pacific Avenue, Solana Beach)
Dated July, 20, 2022

Limited Geotechnical Evaluation
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California 92075, APN: 263-312-12-00
GeoSoils, Inc. W.O: 8278-A-SC, Dated February 18, 2022, Revised July 19, 2022

Re-Submittal Plan Set
Schrager Residence
241 Pacific Avenue, Solana Beach, California
Martin Architecture, Dated July 15, 2022

Limited Geotechnical Evaluation
Proposed Improvements at 241 Pacific Avenue, Solana Beach
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Photo Survey, Sheet H1.1
Schrager Residence
241 Pacific Avenue, Solana Beach, California
Martin Architecture, Dated November 21, 2021

Residential Building Record Sheet, Previous Approvals
241 Pacific Avenue, Solana Beach
Dated July 20, 2022



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Construction Testing & Engineering, Inc.

Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying

November 11, 2022

CTE Job No. 4830.2200073.0000

City of Solana Beach
Attention: Ms. Corey Andrews
635 South Highway 101
Solana Beach, California 92075
Office: (858) 720-2434

Via Email: candrews@cosb.org

Subject: Application Submittal Geotechnical Review, 2nd Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00

References: At End of Document

Ms. Andrews:

As requested, Construction Testing & Engineering, Inc. (CTE) has reviewed the provided submittal application documents referenced at the end of this letter. The purpose of our review was to assess whether the proposed project is in substantial compliance with the City of Solana Beach's (City) Local Coastal Plan (LCP) policies. The reviewed documents include a response to CTE's previous review comments (CTE, September 2022).

Based on CTE's review, CTE's comments (2) and (3) from the 1st submittal review have been adequately addressed. With regards to CTE's comment (1), CTE has reviewed additional geotechnical documentation provided by the applicant, and specifically direct shear test data contained therein. Based on CTE's review, the provided documentation generally supports CTE's opinion that the soil parameters used by the applicant's geotechnical consultant in performing slope stability analysis appear appropriate for the soil materials being modeled, and the applicant's consultant further reduced these values for their analysis. CTE notes that none of the direct shear test results supplied by the applicant were collected at the site, as stipulated by LCP Policy 4.25.

CTE's review is based on the referenced and provided submittal documents. If the proposed improvements or referenced documents are revised or updated, or new documents are provided, they should be provided to CTE for additional review and comment, as warranted.

We appreciate this opportunity to be of service on this project. If you have any questions regarding this report, please do not hesitate to contact the undersigned.

Respectfully submitted,

CONSTRUCTION TESTING & ENGINEERING, INC.



Colm J. Kenny, GE #3201
Senior Engineer



REVIEWED DOCUMENTS:

Response to Comments for DPR22-014 (241 Pacific Avenue)
October 14, 2022

Application Submittal Geotechnical Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00
CTE Job No. 4830.2200073.0000, dated September 20, 2022

Geotechnical Addendum and Response to Coastal Commissions
Review Comments (August 3, 2022)
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California, APN: 263-312-12-00
Coastal Development Review Application #6-22-0551/Schrager
GeoSoils, Inc. W.O.: 8278-A2-SC, Dated August 15, 2022

Response to Comments for DRP22-014 (241 Pacific Avenue, Solana Beach)
Dated July, 20, 2022

Limited Geotechnical Evaluation
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California 92075, APN: 263-312-12-00
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241 Pacific Avenue, Solana Beach, California
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GeoSoils, Inc. W.O.: 8278-A-SC, Dated February 18, 2022

Photo Survey, Sheet H1.1
Schrager Residence
241 Pacific Avenue, Solana Beach, California
Martin Architecture, Dated November 21, 2021

Residential Building Record Sheet, Previous Approvals
241 Pacific Avenue, Solana Beach
Dated July 20, 2022



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February 3, 2023

CTE Job No. 4830.2200073

City of Solana Beach
Attention: Ms. Corey Andrews
635 South Highway 101
Solana Beach, California 92075
Office: (858) 720-2434

Via Email: candrews@cosb.org

Subject: Application Submittal Geotechnical Review, 3rd Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00

References: At End of Document

Ms. Andrews:


As requested, Construction Testing & Engineering, Inc. (CTE) has reviewed the provided submittal application documents referenced at the end of this letter. The purpose of our review was to assess whether the information provided in “Second Response to Geotechnical Review Comments (November 11, 2022)” (GSI, 2023) satisfied outstanding comments provided to the applicant in “Application Submittal Geotechnical Review, 2nd Review” (CTE, 2022). Based on CTE’s review, the provided direct shear test results, obtained from the applicant’s site, satisfy the outstanding comments.

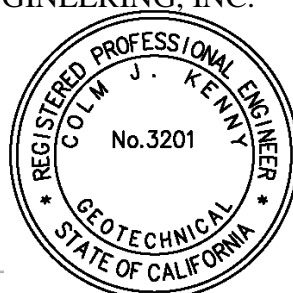
CTE recommends that the slope stability analyses provided in “Geotechnical Addendum and Response to Coastal Commissions Review Comments (August 3, 2022)” (GSI, 2022) be performed again using the conservative parameters indicated by the provided direct shear test results (or more conservative) to confirm the minimum factors of safety reported in that document.

We appreciate this opportunity to be of service on this project. If you have any questions regarding this report, please do not hesitate to contact the undersigned.

Respectfully submitted,

CONSTRUCTION TESTING & ENGINEERING, INC.


Colm J. Kenny, GE #3201
Senior Engineer



REVIEWED DOCUMENTS:

Second Response to Geotechnical Review Comments (November 11, 2022)
Schrager Residence Remodel, 241 Pacific Avenue
Solana Beach, California 92075, APN 263-312-12-00
Prepared by GeoSoils, Inc., dated January 27, 2023

Response to Comments for DPR22-014 (241 Pacific Avenue)
October 14, 2022

Application Submittal Geotechnical Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00
CTE Job No. 4830.2200073.0000, dated September 20, 2022

Geotechnical Addendum and Response to Coastal Commissions
Review Comments (August 3, 2022)
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California, APN: 263-312-12-00
Coastal Development Review Application #6-22-0551/Schrager
GeoSoils, Inc. W.O.: 8278-A2-SC, Dated August 15, 2022

Response to Comments for DRP22-014 (241 Pacific Avenue, Solana Beach)
Dated July, 20, 2022

Limited Geotechnical Evaluation
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California 92075, APN: 263-312-12-00
GeoSoils, Inc. W.O: 8278-A-SC, Dated February 18, 2022, Revised July 19, 2022

Re-Submittal Plan Set
Schrager Residence
241 Pacific Avenue, Solana Beach, California
Martin Architecture, Dated July 15, 2022

Limited Geotechnical Evaluation
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California 92075, APN: 263-312-12-00
GeoSoils, Inc. W.O: 8278-A-SC, Dated February 18, 2022

Photo Survey, Sheet H1.1
Schrager Residence
241 Pacific Avenue, Solana Beach, California
Martin Architecture, Dated November 21, 2021

Residential Building Record Sheet, Previous Approvals
241 Pacific Avenue, Solana Beach
Dated July 20, 2022



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Construction Testing & Engineering, Inc.

Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying

March 6, 2023

CTE Job No. 4830.2200073

City of Solana Beach
Attention: Ms. Corey Andrews
635 South Highway 101
Solana Beach, California 92075
Office: (858) 720-2434

Via Email: andrews@cosb.org

Subject: Application Submittal Geotechnical Review, 3rd Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00

References: At End of Document

Ms. Andrews:

As requested, Construction Testing & Engineering, Inc. (CTE) has reviewed the provided submittal application documents referenced at the end of this letter. The purpose of our review was to assess whether the information provided in “Third Response to Geotechnical Review Comments (February 3, 2023), and Solana Beach Comments (February 14, 2023)” (GSI, 2023) satisfied outstanding comments provided to the applicant in “Application Submittal Geotechnical Review, 3rd Review” (CTE, 2023). Based on CTE’s review, the provided slope stability analysis satisfies the outstanding comments. This opinion assumes that the geotechnical consultant, who has heretofore been appropriately conservative in their geotechnical analysis, has appropriately defined anisotropic conditions and parameters in their analysis in substantial accordance with SP-117A. CTE further notes that the revised analysis results in a GSL for the static condition that is less conservative than the consultant’s previous analysis, however the consultant intends to apply the previous, more conservative GSL line based on static conditions that they originally presented (GSI, 2022). As such, CTE believes that the consultant’s previous and revised slope stability analyses are appropriate and conservative, and no further exceptions are noted.

We appreciate this opportunity to be of service on this project. If you have any questions regarding this report, please do not hesitate to contact the undersigned.

Respectfully submitted,

CONSTRUCTION TESTING & ENGINEERING, INC.

Colm J. Kenny, GE #3201
Senior Engineer



REVIEWED DOCUMENTS:

Third Response to Geotechnical Review Comments (February 3, 2023, and Solana Beach Comments (February 14, 2023)
Schrager Residence Remodel, 241 Pacific Avenue
Solana Beach, California 92075, APN 263-312-12-00
Prepared by GeoSoils, Inc., dated February 20, 2023

Application Submittal Geotechnical Review, 3rd Review
Schrager Residence Remodel
241 Pacific Avenue, Solana Beach, California
APN: 263-312-12-00
CTE Job No. 4830.2200073, dated February 3, 2023

Second Response to Geotechnical Review Comments (November 11, 2022)
Schrager Residence Remodel, 241 Pacific Avenue
Solana Beach, California 92075, APN 263-312-12-00
Prepared by GeoSoils, Inc., dated January 27, 2023

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October 14, 2022

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241 Pacific Avenue, Solana Beach, California
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CTE Job No. 4830.2200073.0000, dated September 20, 2022

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Review Comments (August 3, 2022)
Proposed Improvements at 241 Pacific Avenue, Solana Beach
San Diego County, California, APN: 263-312-12-00
Coastal Development Review Application #6-22-0551/Schrager
GeoSoils, Inc. W.O.: 8278-A2-SC, Dated August 15, 2022

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241 Pacific Avenue, Solana Beach, California
Martin Architecture, Dated November 21, 2021

Residential Building Record Sheet, Previous Approvals
241 Pacific Avenue, Solana Beach
Dated July 20, 2022



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Finance
SUBJECT: **Quarterly Investment Report**

BACKGROUND:

California Government Code Section 53600 requires timely reporting of local agency investment transactions and portfolio to the agency's legislative body.

This item is before City Council to receive a presentation and to accept and file the Cash and Investment Report for the quarter ended December 31, 2022.

DISCUSSION:

The investment objectives for the City of Solana Beach are 1) to provide safety to ensure the preservation of capital in the overall portfolio, 2) to provide sufficient liquidity for cash needs and 3) to generate a market rate of return consistent with the Investment Policy. The performance objective for the portfolio is to earn a total rate of return through a market cycle that is equal to or above the return on the benchmark yield. In order to achieve this objective, the portfolio invests in high-quality fixed income securities that comply with the Investment Policy and all applicable regulations governing the funds.

The attached Quarterly Cash and Investment Report ensures that the City complies with Section 53600. The City's investment portfolio complies with the City's Investment Policy that is approved annually by the City Council. The majority of City funds are invested in Chandler Asset Management (Chandler), Public Agency Retirement Services (PARS), and Local Agency Investment Fund (LAIF).

CEQA COMPLIANCE STATEMENT:

Not a project as defined by CEQA

CITY COUNCIL ACTION:

FISCAL IMPACT:

N/A

WORK PLAN:

N/A

OPTIONS:

- Receive reports
- Provide direction

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council accepts and files the attached Cash and Investment Report for the quarter ended December 31, 2022.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation



Gregory Wade, City Manager

Attachments:

1. Cash and Investment Report – December 31, 2022
2. Chandler Asset Quarterly Investment Report- December 31, 2022
3. PARS Trust Monthly Statement – December 31, 2022

**City of Solana Beach
Cash and Investment Report
December 31, 2022**

Type of Investment	Custodian	Maturity	Current Stated Yield	Percent of Portfolio	Cost Value (Rounded)	Market Value (Rounded)	Current Quarter Yield	Quarter Interest Earned (Rounded)	Fiscal Year to Date Interest Earned (Rounded)
General Checking Account	Union Bank of California	On Demand ⁽¹⁾	N/A	16.88%	\$ 9,414,642	\$ 9,414,642	N/A	N/A	N/A
Payroll Account	Union Bank of California	On Demand ⁽¹⁾	N/A	1.49%	833,496	833,496	N/A	N/A	N/A
Worker's Comp - Checking	Union Bank of California	On Demand ⁽¹⁾	N/A	0.06%	35,403	35,403	N/A	N/A	N/A
Successor Agency - Checking	Union Bank of California	On Demand ⁽¹⁾	N/A	0.92%	510,971	510,971	N/A	N/A	N/A
SEA Lockbox	River City Bank	On Demand ⁽¹⁾	N/A	0.19%	107,905	107,905	N/A	N/A	N/A
SEA Reserve	River City Bank	On Demand ⁽¹⁾	N/A	1.01%	562,599	562,599	0.86%	1,224	2,442
Local Agency Investment Fund	State of CA	On Demand ⁽¹⁾	N/A	12.78%	7,130,866	7,130,866 ⁽²⁾	1.98%	37,251	61,436
Chandler Asset Management (CMA) Investment Portfolio	US Bank	1 to 3 years	N/A	56.51%	31,523,965	30,317,569 ⁽⁵⁾	0.82%	62,151 ⁽⁶⁾⁽⁷⁾	(153,938) ⁽⁶⁾⁽⁷⁾
Public Agency Retirement Services (PARS)	US Bank	Varied	N/A	10.16%	5,669,669	5,365,162 ⁽³⁾	3.04%	50,896 ⁽⁷⁾	5,732 ⁽⁷⁾
Wells Fargo Advantage Money Market RDA Refunding Bond Series 2017	Wells Fargo Bank (Cash with Fiscal Agent)	Varied	N/A	0.00%	13	13 ⁽⁴⁾	N/A		
Total Cash and Investments				100.00%	\$ 55,789,530	\$ 54,278,627		\$ 151,522	\$ (84,328)

⁽¹⁾ Funds may be withdrawn with 24 hours notice

⁽²⁾ Source: Monthly Pooled Money Investment Account Market Valuation as reported by LAIF (if available)

⁽³⁾ Source: US Bank Asset Summary

⁽⁴⁾ Source: fiscal agent month-end statements.

⁽⁵⁾ Source: CMA US Bank statements

⁽⁶⁾ Includes accrued interest

⁽⁷⁾ Includes realized investment gains/losses of current quarter

I certify that this report accurately reflects all pooled investments and is in compliance with Government Code Section 53640-53646 as amended January 1, 1996, as well as the investment policy of the City of Solana Beach as approved annually by the City Council.

Furthermore, I certify that sufficient investment liquidity and anticipated revenues are available to meet the City's budgeted expenditure requirements for the next six months.

Date 4/3/2023


 Approved by
 Rodney Greek
 Interim Finance Director/Treasurer

City of Solana Beach

Period Ending December 31, 2022

CHANDLER ASSET MANAGEMENT, INC. | 800.317.4747 | www.chandlerasset.com

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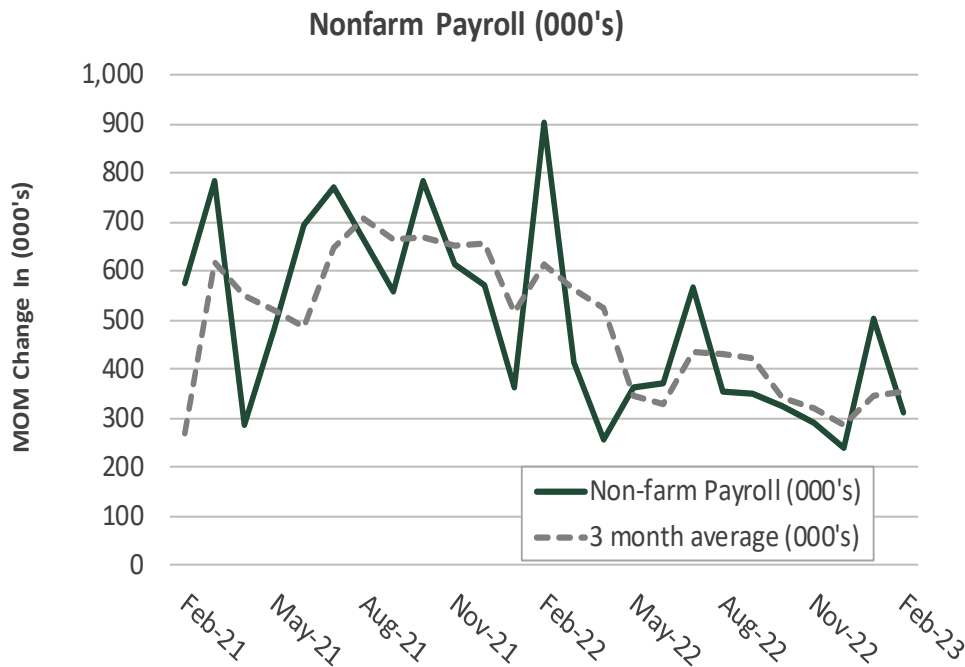


Section 1 | Economic Update

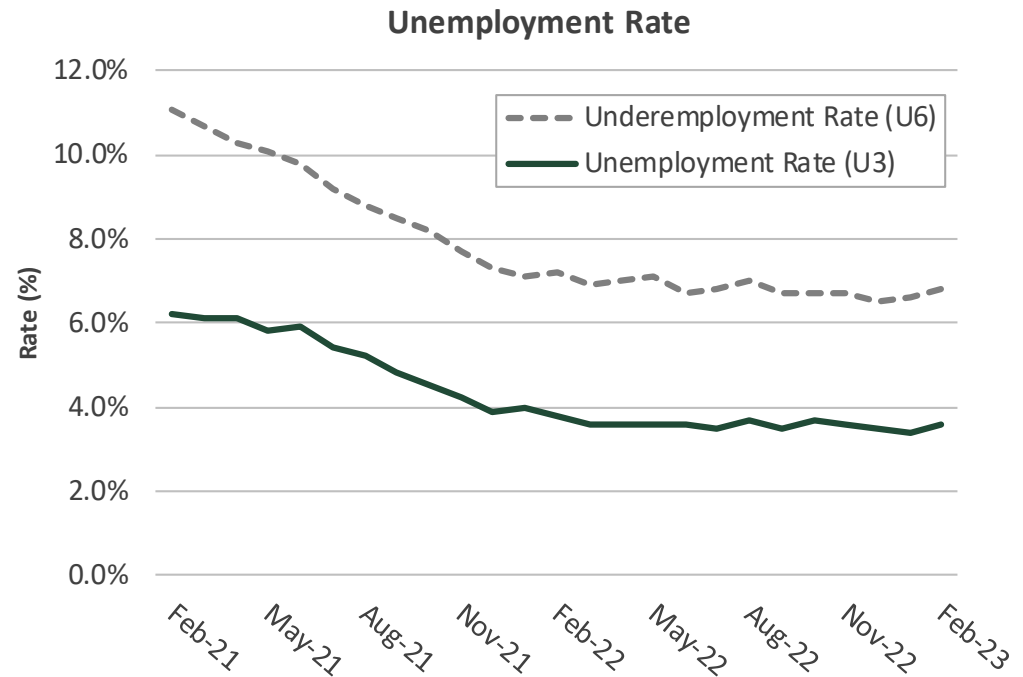
Economic Update

- Market volatility has intensified as investors weigh the probabilities of a hard or soft economic landing. The strong labor market has helped sustain economic growth, and inflation remains significantly higher than the Federal Reserve's target. Financial conditions have eased, and credit spreads have narrowed. Geopolitical risks remain as the Russia/Ukraine war persists and China reopens, while domestically the debt ceiling risk has emerged. Market sentiment has shifted with the resilient economic data thus far in 2023 and has converged with the Fed's outlook for higher rates for a longer period. We believe the Fed will continue to raise rates and maintain a higher terminal rate for an extended period until inflation reaches the Fed's target range.
- As expected at the February 1st meeting, the Federal Open Market Committee (FOMC) raised the fed funds target rate by 25 basis points to a range of 4.50 - 4.75%, in a continuing downshift from previous hikes. The decision was unanimous and the statement reflects inflation is easing "somewhat." The sentiment was hawkish, indicating that the extent of "ongoing increases" in the fed funds rate will be data dependent. We believe the FOMC will continue to implement tighter monetary policy at a slower pace and hold rates at restrictive levels for some time until inflationary pressures subside and remain in the Fed's target range.
- In February, the yield curve inversion widened. The 2-year Treasury yield surged 62 basis points to 4.82%, the 5-year Treasury yield increased 57 basis points to 4.18%, and the 10-year Treasury yield rose 41 basis points to 3.92%. The inversion between the 2-year Treasury yield and 10-year Treasury yield increased to -90 basis points at February month-end versus -69 basis points at January month-end. The spread was a positive 39 basis points one year ago. The inversion between 3-month and 10-year treasuries narrowed to -89 basis points in February from -115 basis points in January. The shape of the yield curve indicates that the probability of recession is increasing.

Employment



Source: US Department of Labor

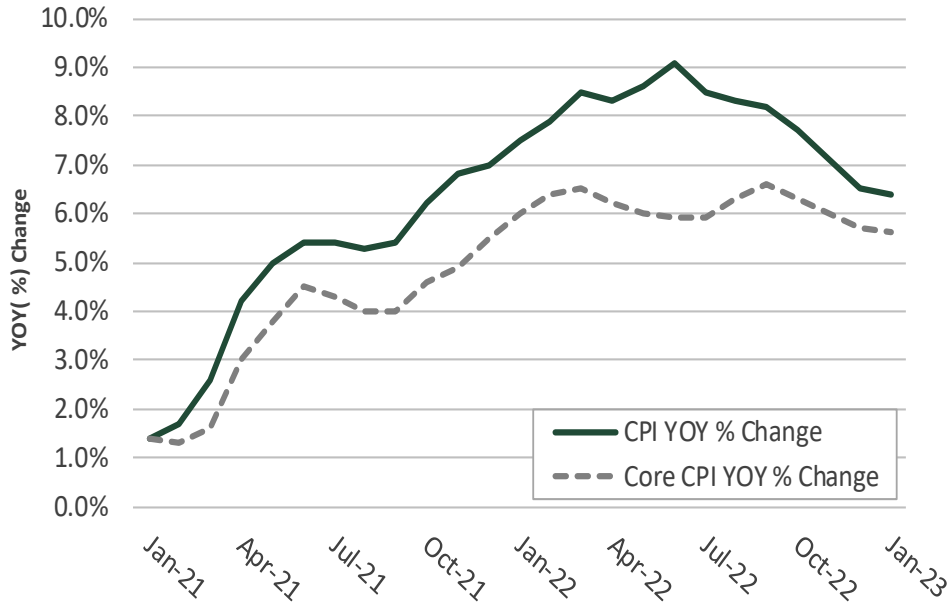


Source: US Department of Labor

The U.S. economy added 311,000 jobs in February, continuing to surpass market expectations of 225,000, on the heels of a very strong January jobs report of 504,000 jobs. Trends in employment remain strong, with the three-month moving average payrolls at 351,000 and the six-month moving average at 336,000. There were broad gains in employment, led by roles in the private sector with leisure and hospitality employment growth remaining solid. The unemployment rate rose to 3.6% due to more workers entering the labor force as the participation rate increased to 62.5% from 62.4% in January, the highest level since March 2020. The U-6 underemployment rate, which includes those who are marginally attached to the labor force and employed part time for economic reasons, increased to 6.8% from the prior month at 6.6%. Average hourly earnings rose 4.6% year-over-year in February from a 4.4% increase in January. Job Openings decreased to 10.8 million. Overall, the February employment report demonstrates a strong demand for labor and supports the case for the Fed to continue raising the federal funds rate at a slower pace.

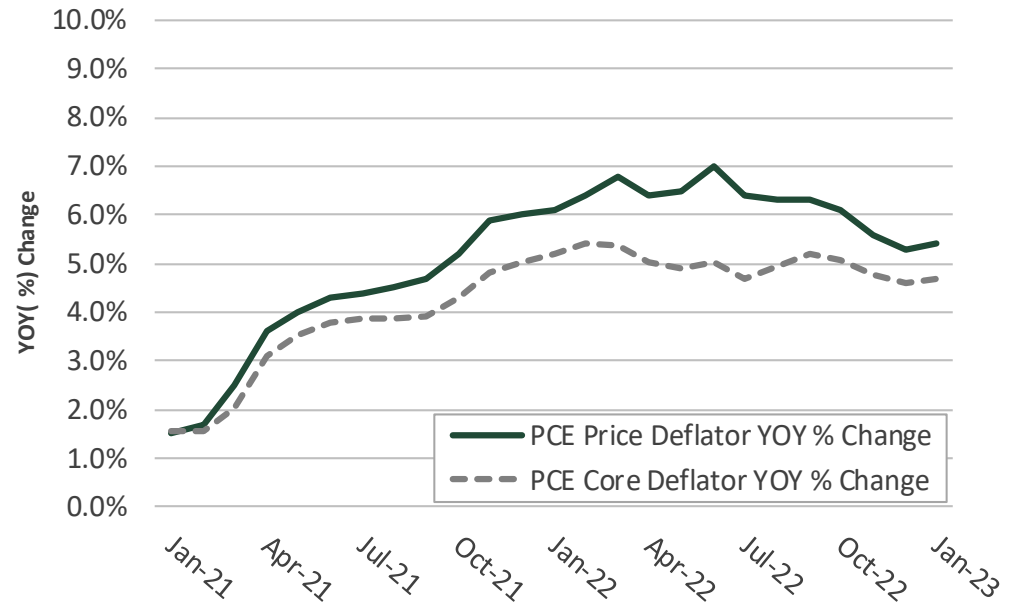
Inflation

Consumer Price Index (CPI)



Source: US Department of Labor

Personal Consumption Expenditures (PCE)

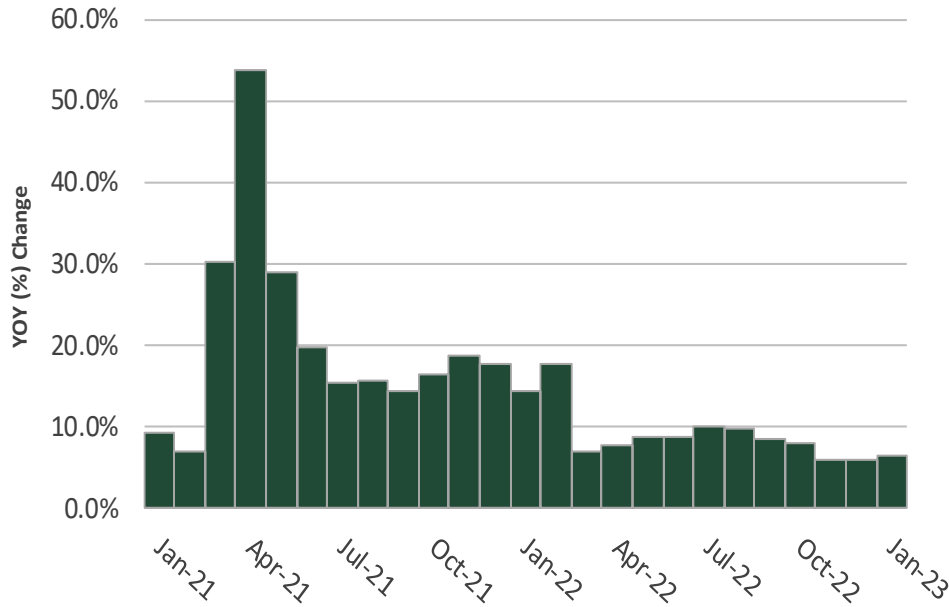


Source: US Department of Commerce

The Consumer Price Index (CPI) increased in January by 0.5% month-over-month and 6.4% year-over-year. The Core CPI, which excludes volatile food and energy components, rose 0.4% month-over-month and 5.6% year-over-year. Both measures increased more than expected and showed a slower deceleration than in recent months. Energy, shelter, and food costs were key contributors to the January increase. The Personal Consumption Expenditures (PCE) index accelerated more than expected in January, increasing 5.4% year-over-year versus an upwardly revised 5.3% year-over-year gain in December. Core PCE increased 4.7% in January versus an upwardly revised 4.6% year-over-year gain in December. Inflationary trends remain well above the Fed's 2% target and support further rate hikes and tighter conditions for an extended period.

Consumer

Retail Sales YOY % Change



Source: US Department of Commerce

Consumer Confidence

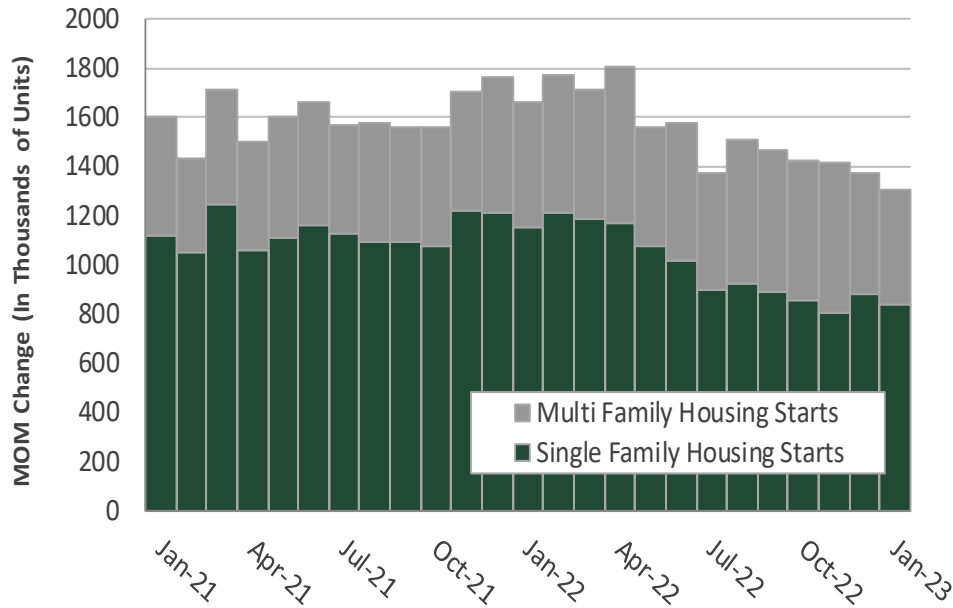


Source: The Conference Board

Advance Retail Sales rose 3.0% in January after dropping 1.1% in December. Retail sales rose 6.4% year-over-year in January, up from December's downwardly revised 5.9% year-over-year gain. Growth was broad based, with strong gains in autos, restaurants, and a surprising surge in department store sales. The Conference Board's Consumer Confidence Index decreased more than expected to 102.9 in February from a downwardly revised 106.0 in January. While the index for current conditions rose slightly, future expectations declined materially as inflation continues to weigh on household budgets.

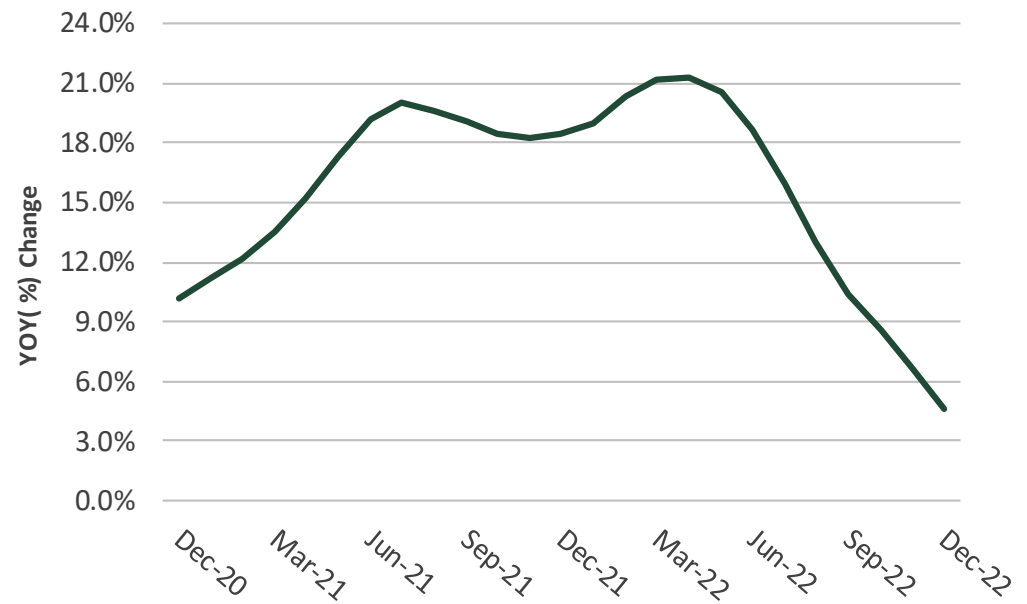
Housing

Housing Starts



Source: US Department of Commerce

S&P/Case-Shiller 20 City Composite Home Price Index



Source: S&P

Total housing starts fell 4.5% month-over-month in January to 1,309,000 units and were down 21.4% compared to January 2022. Starts for both single-family and multi-family homes declined as mortgage rates rose. The 30-year fixed rate mortgage increased to an average of 6.34% according to Freddie Mac, down from a peak of over 7% in October, but up from the 5.95% low in January. According to the Case-Shiller 20-City Home Price Index, the year-over-year increase continued its declining rate of gain to +4.65% in December from +6.8% in November, clearly displaying the impact of higher mortgage rates year-over-year, which have reduced demand for homebuying as affordability has declined. This is the lowest rate of annual appreciation since July 2020, just prior to the pandemic housing boom.

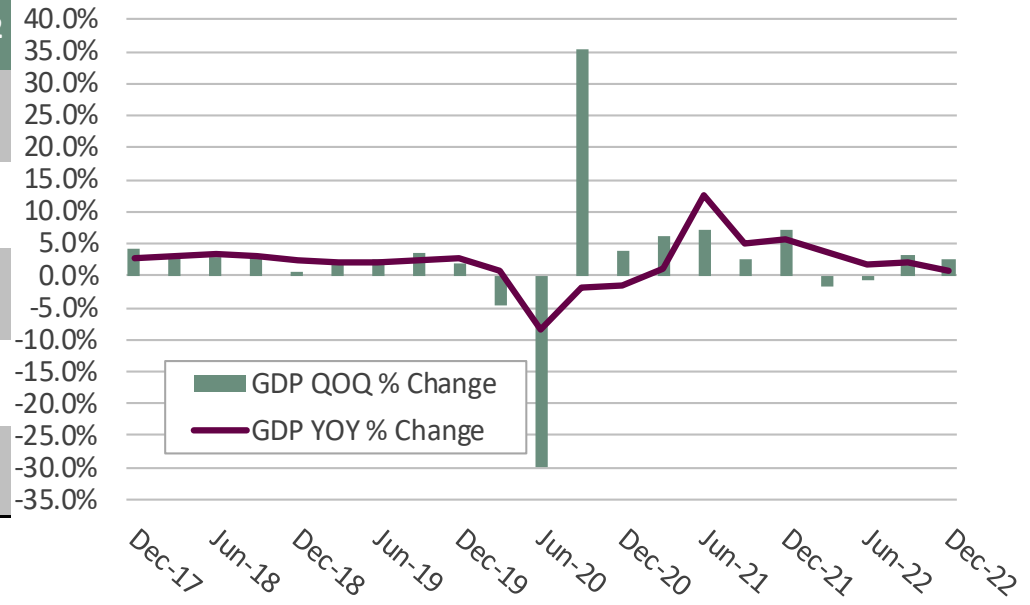


Gross Domestic Product (GDP)

Components of GDP	3/22	6/22	9/22	12/22
Personal Consumption Expenditures	0.9%	1.4%	1.5%	0.9%
Gross Private Domestic Investment	1.0%	-2.8%	-1.8%	0.7%
Net Exports and Imports	-3.1%	1.2%	2.9%	0.5%
Federal Government Expenditures	-0.4%	-0.2%	0.2%	0.4%
State and Local (Consumption and Gross Investment)	0.0%	-0.1%	0.4%	0.3%
Total	-1.6%	-0.6%	3.3%	2.7%

Source: US Department of Commerce

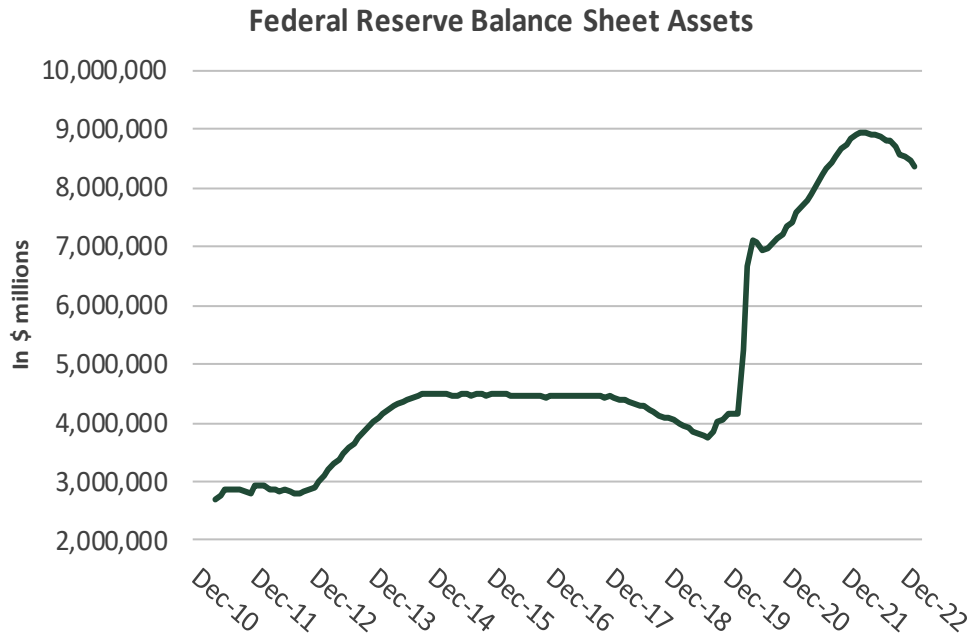
Gross Domestic Product (GDP)



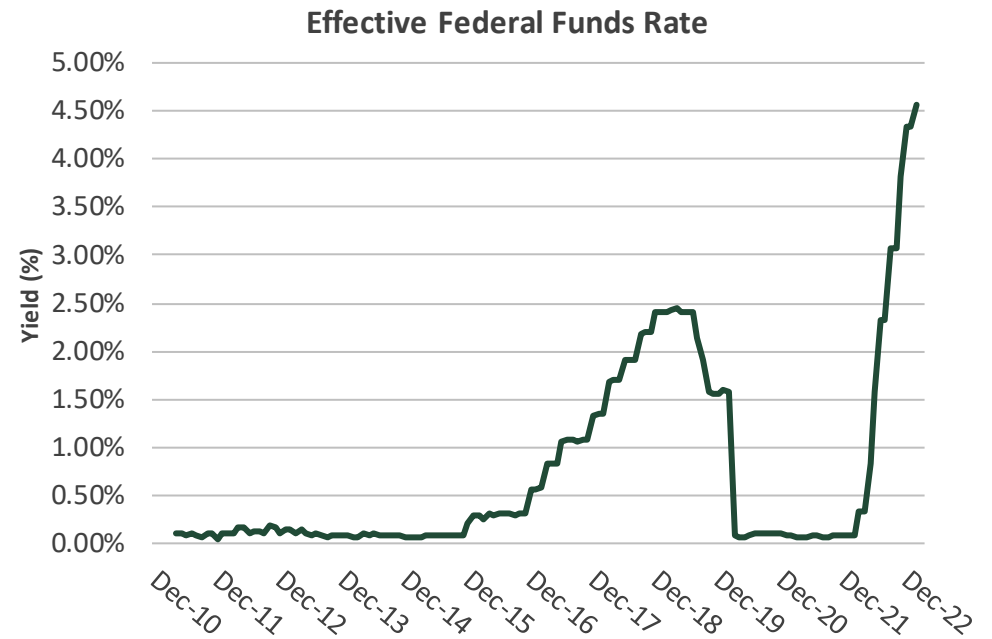
Source: US Department of Commerce

According to the second estimate, fourth quarter 2022 GDP growth was revised downward to 2.7% from 2.9%. The revision lower was primarily due to weaker growth in personal consumption expenditures, driven largely by a decline in durable goods, and a wider trade gap in net exports. The consensus estimate calls for 0.6% growth in the first quarter and 0.8% growth for the full year 2023.

Federal Reserve



Source: Federal Reserve

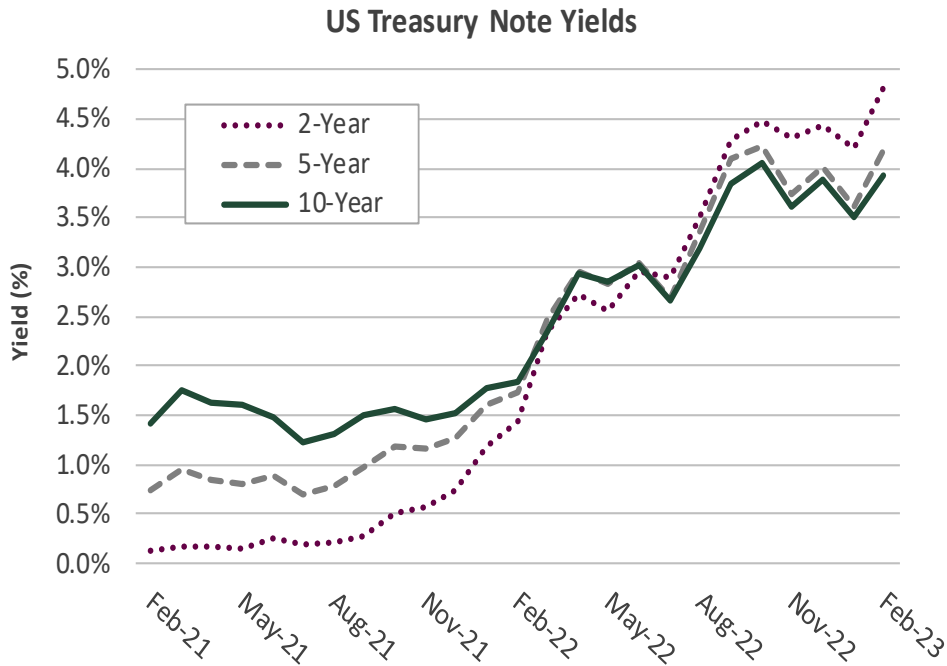


Source: Bloomberg

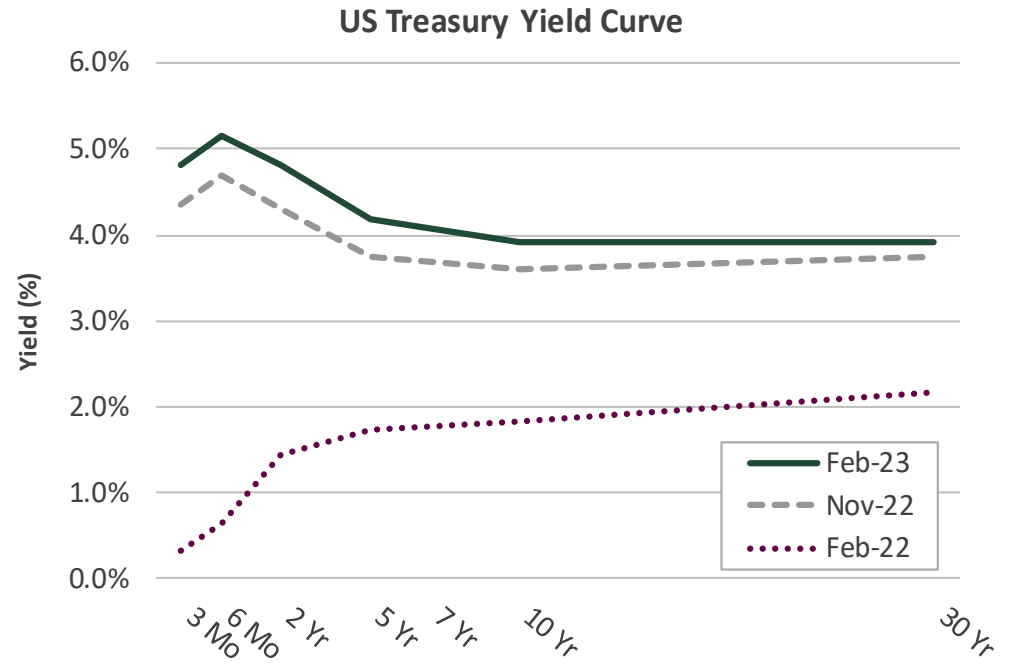
As expected at the February 1st meeting, the Federal Open Market Committee (FOMC) raised the fed funds target rate by 25 basis points to a range of 4.50 – 4.75%, in a continuing downshift from previous hikes. The decision was unanimous, and the statement reflects inflation easing “somewhat”. The sentiment was hawkish, indicating that the extent of “ongoing increases” in the fed funds rate will be data dependent on labor market conditions, inflation expectations, and financial and international developments. The December Summary of Economic Projections indicated a peak median forecast of 5.1% in 2023 and no rate cuts until 2024; however, the market consensus diverged, implying rate cuts in the second half of 2023. FOMC members forecasted a higher fed funds rate, slower GDP growth, higher inflation, and higher unemployment in 2023 than in the September projections. We believe the FOMC will implement tighter monetary policy at a slower pace and hold rates at restrictive levels until inflationary pressures subside and remain in the Fed’s target range for some time.



Bond Yields



Source: Bloomberg



Source: Bloomberg

At the end of February, the 2-year Treasury yield was 339 basis points higher, and the 10-Year Treasury yield was about 210 basis points higher, year-over-year. The inversion between the 2-year Treasury yield and 10-year Treasury yield increased to -90 basis points at February month-end versus -69 basis points at January month-end. The average historical spread (since 2003) is about +130 basis points. The inversion between 3-month and 10-year treasuries narrowed to -89 basis points in February from -115 basis points in January. The shape of the yield curve indicates that the probability of recession is increasing.



Section 2 | Account Profile

Investment Objectives

The investment objectives for the City of Solana Beach, in order of priority, are to provide safety to ensure the preservation of capital in the overall portfolio, provide sufficient liquidity for cash needs, and a market rate of return consistent with the investment program.

Chandler Asset Management Performance Objective

The performance objective for the portfolio is to earn a total rate of return through a market cycle that is equal to or above the return on the benchmark index.

Strategy

In order to achieve this objective, the portfolio invests in high-quality fixed income securities that comply with the investment policy and all regulations governing the funds.

City of Solana Beach

Assets managed by Chandler Asset Management are in full compliance with state law and the City's investment policy.

Category	Standard	Comment
U.S. Treasuries	No limitations; Full faith and credit of the U.S. are pledged for the payment of principal and interest	<i>Complies</i>
Federal Agencies	30% max per Agency/GSE issuer; 20% max callable agency securities; Federal agencies or U.S. government-sponsored enterprise obligations, participations, or other instruments, including those issued or fully guaranteed as to principal and interest by federal agencies or U.S. government sponsored enterprises.	<i>Complies</i>
Supranational Obligations	"AA" rating category or higher by a Nationally Recognized Statistical Rating Organization ("NRSRO"); 30% max; 10% max per issuer; USD denominated senior unsecured unsubordinated obligations; Issued or unconditionally guaranteed by International Bank for Reconstruction & Development (IBRD), International Finance Corporation (IFC), or Inter-American Development Bank (IADB)	<i>Complies</i>
Municipal Securities (CA, Local Agency)	"A" rating category or higher by a NRSRO; 30% max; 5% max per issuer; Include obligations of the City, State of California, and any local agency within the State of California	<i>Complies</i>
Municipal Securities (CA, Other States)	"A" rating category or higher by a NRSRO; 30% max; 5% max per issuer; Bonds of any of the other 49 states in addition to California, including bonds payable solely out of the revenues from a revenue-producing property owned, controlled, or operated by a state, or by a department, board, agency, or authority of any of the other 49 states, in addition to California.	<i>Complies</i>
Corporate Medium Term Notes	"A" rating category or higher by a NRSRO; 30% max; 5% max per issuer; Issuer is a corporation organized and operating within the U.S. or by depository institutions licensed by the U.S. or any state and operating within the U.S.	<i>Complies</i>
Asset-Backed, Mortgage-Backed, Mortgage Pass-Through Securities, and Collateralized Mortgage Obligations	"AA" rating category or higher by a NRSRO; 20% max (combined ABS/MBS/CMO); 5% max per Asset-Backed or Commercial Mortgage security issuer; There is no issuer limitation on any Mortgage security where the issuer is the U.S. Treasury or a Federal City/GSE; Asset-Backed, Mortgage-Backed, Mortgage Pass-Through Securities, and Collateralized Mortgage Obligations from issuers not defined in section 3 (US Treasuries) and 4 (Federal Agencies) of the Authorized Investments section of the policy	<i>Complies</i>
Negotiable Certificates of Deposit (NCD)	The amount of NCD insured up to the FDIC limit does not require any credit ratings; Any amount above FDIC insured limit must be issued by institutions with "A-1" short-term debt rating or higher by a NRSRO; or "A" long-term rating category or higher by a NRSRO; 30% max (combined with CDARS); 5% max per issuer; Issued by a nationally or state-chartered bank, or a federal or state association, a state or federal credit union, or by a federally-licensed or state-licensed branch of a foreign bank.	<i>Complies</i>
Certificate of Deposit Placement Service (CDARS)	30% max (combination of Certificates of Deposit, including CDARS)	<i>Complies</i>
FDIC Insured Time Deposits (Non-negotiable CD/TD)	Non-Negotiable Certificates of Deposit in state or federally chartered banks, savings and loans, or credit unions; The amount per institution is limited to maximum covered under FDIC; 20% max combined FDIC & Collateralized CD/TD	<i>Complies</i>
Collateralized Time Deposits (Non-negotiable CD/TD)	Non-Negotiable Certificates of Deposit in state or federally chartered banks, savings and loans, or credit unions in excess of insured amounts which are fully collateralized with securities in accordance with California law; 20% max combined FDIC & Collateralized CD/TD	<i>Complies</i>
Collateralized Bank Deposits	City's deposits with financial institutions will be collateralized with pledged securities per California Government Code	<i>Complies</i>
Banker's Acceptances	"A-1" short-term debt rated or higher by a NRSRO; or "A" long-term debt rating category or higher by a NRSRO; 40% max; 5% max per issuer; 180 days max maturity	<i>Complies</i>

City of Solana Beach

Assets managed by Chandler Asset Management are in full compliance with state law and the City's investment policy.

Category	Standard	Comment
Commercial Paper	25% max; 5% max per issuer; 270 days maturity; 10% max of the outstanding paper of any single issuer; Issued by an entity that meets all of the following conditions in either (a) or (b): a. Securities issued by corporations: (i) organized and operating within the U.S. with assets > \$500 million; (ii) "A-1" rated or better by a NRSRO; (iii) "A" rating or better by a NRSRO, if issuer has other debt obligations. b. Securities issued by other entities: (i) organized within the U.S. as a special purpose corporation, trust, or limited liability company; (ii) must have program-wide credit enhancements including, but not limited to, overcollateralization, letters of credit, or a surety bond; (iii) rated "A-1" or better by a NRSRO	Complies
Money Market Mutual Funds	Registered with SEC under Investment Company Act of 1940 and issued by diversified management companies and meet either of the following criteria: (i) Highest rating by two NRSROs; or (ii) Retained an investment adviser registered or exempt from SEC registration with > 5 years experience managing money market mutual funds with AUM >\$500 million; (iii) 20% max per Money Market Mutual Fund; 20% max combined Money Market Mutual Funds and Mutual Funds	Complies
Mutual Funds	Invest in securities as authorized under CGC, Section 53601 (a) to (k) and (m) to (q) inclusive and meet either of the following criteria: (i) Highest rating by two NRSROs; or (ii) Retained an investment adviser registered or exempt from SEC registration with > 5 years experience investing in securities authorized by CGC, Section 53601 and with AUM >\$500 million; (iii) 10% max per Mutual Fund; 20% max combined Money Market Mutual Funds and Mutual Funds	Complies
Local Agency Investment Fund (LAIF)	Maximum amount permitted by LAIF; Not used by investment adviser	Complies
Investment Trust of California (CalTRUST)	Joint powers authority (JPA) organized and managed by the Investment Trust of California JPA for the benefit of local agencies, pursuant to CGC; Not used by investment adviser	Complies
Repurchase Agreements	102% Collateralized; 1 year max maturity; Not used by investment adviser	Complies
Prohibited	Investments not specifically described in the policy; Futures and Options; Inverse floaters; Ranges notes, Mortgage-derived or Interest-only strips; Zero interest accrual securities, if held to maturity; Under a provision sunseting January 1, 2026, securities backed by U.S. Government that could result in a zero- or negative-interest accrual if held to maturity are permitted; Trading securities for the sole purpose of speculating on the future direction of interest rates; Purchasing or selling securities on margin; Reverse repurchase agreements; Securities lending or any other form of borrowing or leverage; Foreign currency denominated securities; Purchases of securities issued by fossil fuel companies that directly source the majority (more than 50%) of their revenue from oil, gas, and or coal production.	Complies
Credit Risk/ Downgrade	If securities owned by the City are downgraded to a level below the requirements of the policy, making the security ineligible for additional purchases, the following steps will be taken: -Any actions taken related to the downgrade by the investment manager will be promptly communicated to the Treasurer; -If a decision is made to retain the security, the credit situation will be monitored and reported to the City Council.	Complies
Duration	typically plus or minus 20% of Benchmark Index	Complies
Max Per Issuer	5% max per issuer, except U.S. Government, its Agencies and GSEs, Supranationals, Money Market Mutual Funds, LAIF, other LGIP, or where otherwise specified in the investment policy	Complies
Maximum Maturity	5 years, except as otherwise stated in the policy	Complies

Portfolio Characteristics

As of December 31, 2022

City of Solana Beach

	12/31/22	09/30/22
	Benchmark*	Portfolio
Average Maturity (yrs)	1.83	1.85
Average Modified Duration	1.75	1.59
Average Purchase Yield	n/a	1.46%
Average Market Yield	4.51%	4.62%
Average Quality**	AAA	AA+/Aa1
Total Market Value		30,317,569
		30,078,865

*ICE BofA 1-3 Yr US Treasury & Agency Index

**Benchmark is a blended rating of S&P, Moody's, and Fitch. Portfolio is S&P and Moody's respectively.

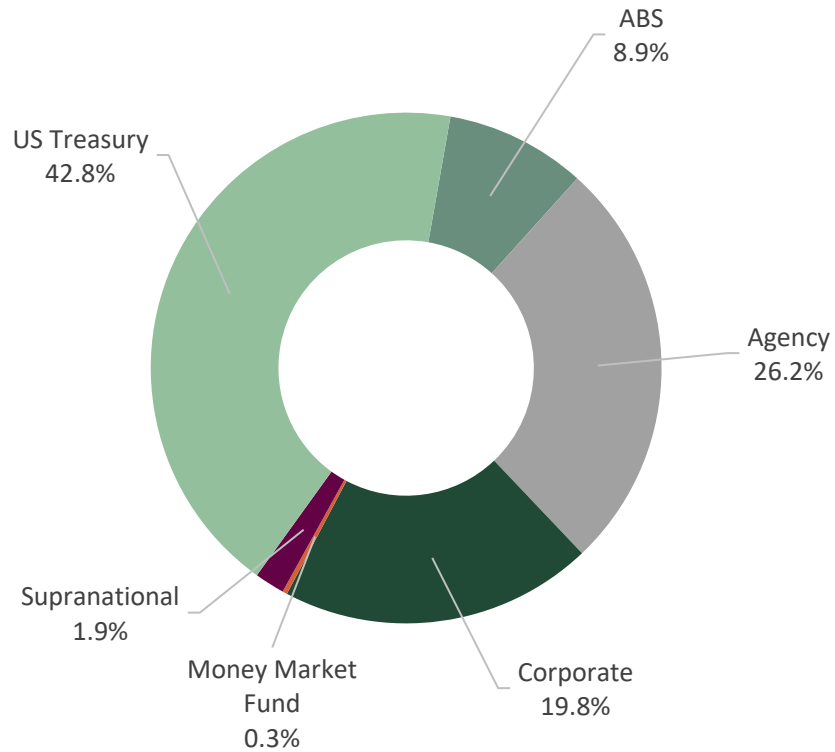


Sector Distribution

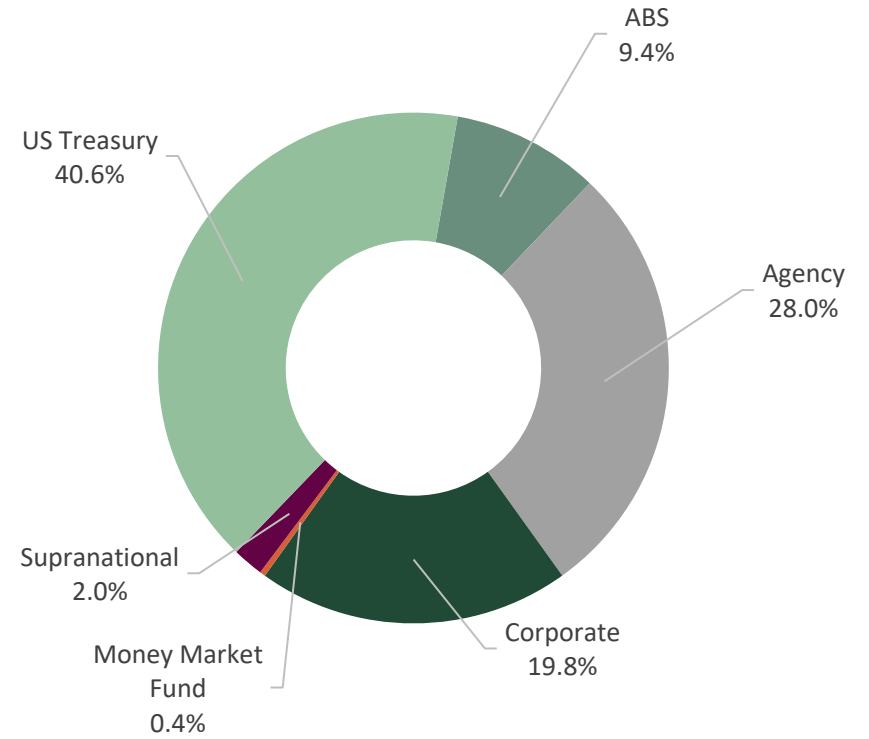
As of December 31, 2022

City of Solana Beach

December 31, 2022



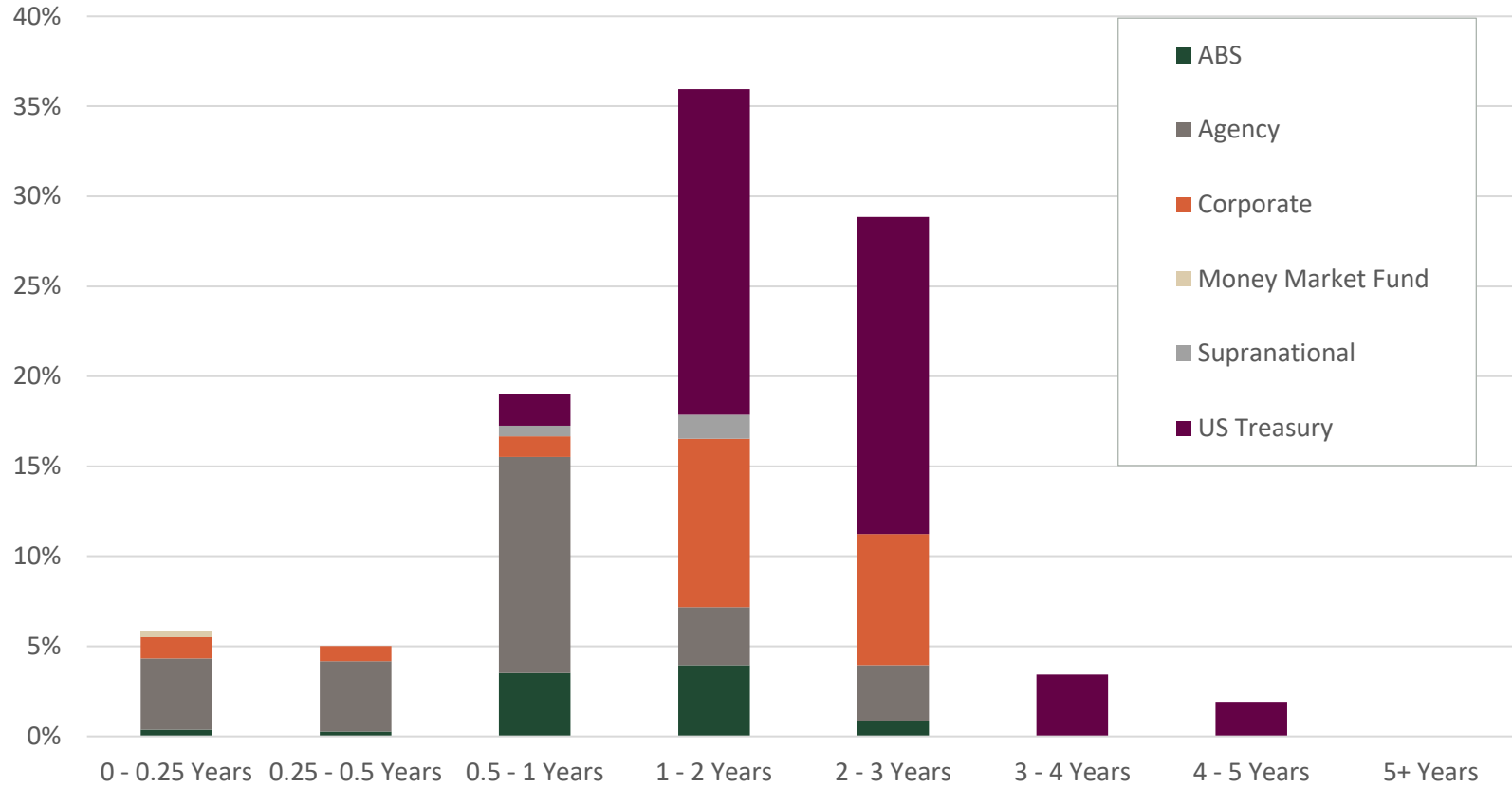
September 30, 2022



Duration Allocation

As of December 31, 2022

City of Solana Beach



	0 - 0.25	0.25 - 0.50	0.50 - 1	1 - 2	2 - 3	3 - 4	4 - 5	5+
12/31/22	5.8%	5.0%	19.0%	36.0%	28.8%	3.4%	1.9%	0.0%

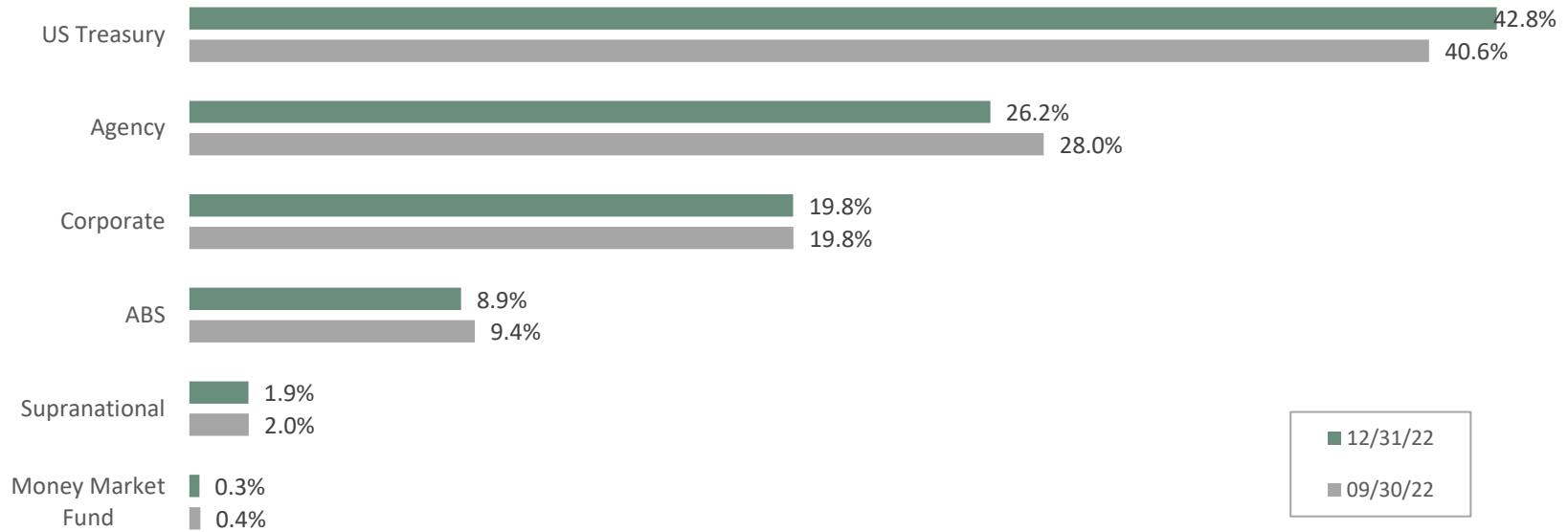


Portfolio Allocation & Duration Changes

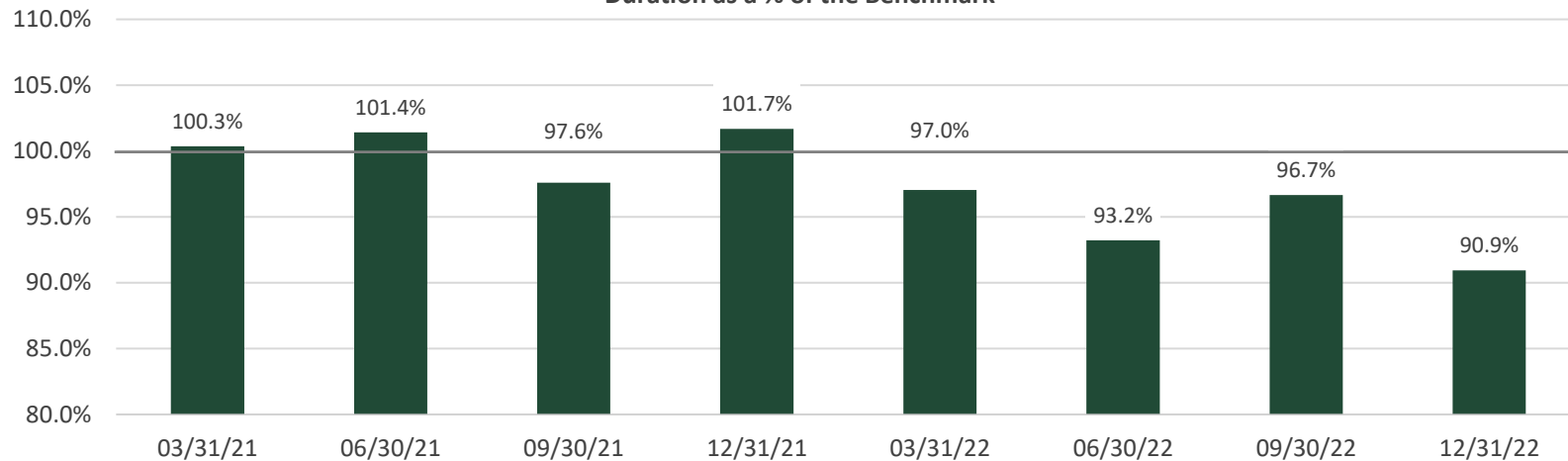
As of December 31, 2022

City of Solana Beach

Portfolio Allocation



Duration as a % of the Benchmark



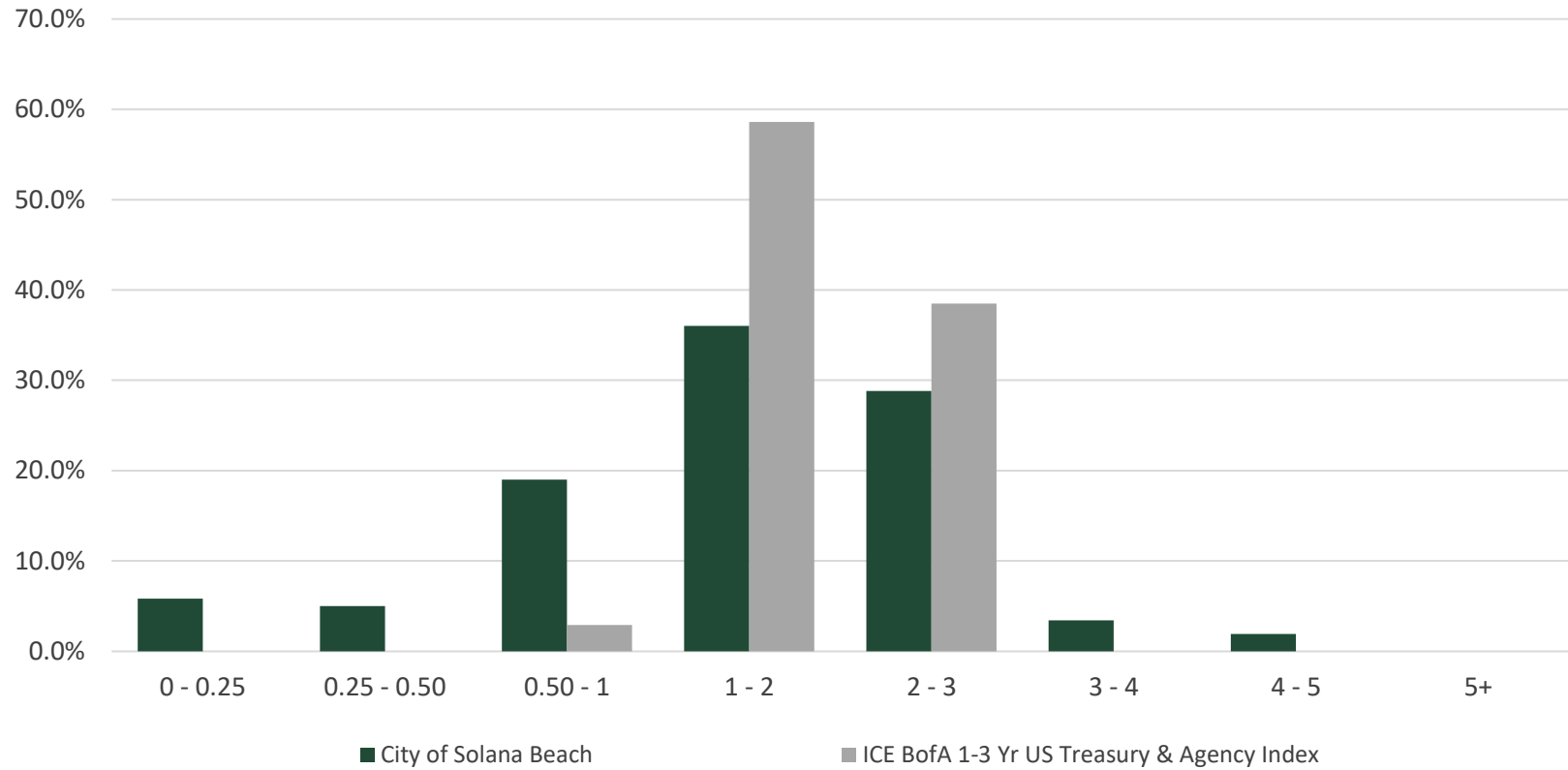
Benchmark: ICE BofA 1-3 Yr US Treasury & Agency Index



Duration Distribution

As of December 31, 2022

City of Solana Beach
Portfolio Compared to the Benchmark



	0 - 0.25	0.25 - 0.50	0.50 - 1	1 - 2	2 - 3	3 - 4	4 - 5	5+
Portfolio	5.8%	5.0%	19.0%	36.0%	28.8%	3.4%	1.9%	0.0%
Benchmark*	0.0%	0.0%	2.9%	58.6%	38.5%	0.0%	0.0%	0.0%

*ICE BofA 1-3 Yr US Treasury & Agency Index



City of Solana Beach – Account #10471

Issue Name	Investment Type	% Portfolio
Government of United States	US Treasury	42.80%
Federal Farm Credit Bank	Agency	10.81%
Federal Home Loan Mortgage Corp	Agency	7.25%
Federal National Mortgage Association	Agency	4.64%
Federal Home Loan Bank	Agency	3.52%
Apple Inc	Corporate	1.60%
John Deere ABS	ABS	1.53%
Toyota ABS	ABS	1.49%
JP Morgan Chase & Co	Corporate	1.44%
Inter-American Dev Bank	Supranational	1.34%
Wal-Mart Stores	Corporate	1.25%
Toyota Motor Corp	Corporate	1.23%
Paccar Financial	Corporate	1.20%
Deere & Company	Corporate	1.17%
Honda ABS	ABS	1.16%
Bank of New York	Corporate	1.15%
Amazon.com Inc	Corporate	1.09%
Caterpillar Inc	Corporate	1.06%
State Street Bank	Corporate	1.05%
US Bancorp	Corporate	0.96%
Charles Schwab Corp/The	Corporate	0.94%
Bank of Montreal Chicago	Corporate	0.93%
Honeywell Corp	Corporate	0.92%
American Express ABS	ABS	0.87%
Hyundai Auto Receivables	ABS	0.83%
Morgan Stanley	Corporate	0.83%
Bank of America Corp	Corporate	0.82%
Royal Bank of Canada	Corporate	0.79%
Toronto Dominion Holdings	Corporate	0.78%
GM Financial Securitized Term Auto Trust	ABS	0.70%
GM Financial Automobile Leasing Trust	ABS	0.61%
Intl Bank Recon and Development	Supranational	0.60%
BMW Vehicle Lease Trust	ABS	0.55%
Mercedes-Benz Auto Lease Trust	ABS	0.42%
United Health Group Inc	Corporate	0.39%
Verizon Master Trust	ABS	0.37%
BMW ABS	ABS	0.34%
First American Govt Oblig Fund	Money Market Fund	0.33%

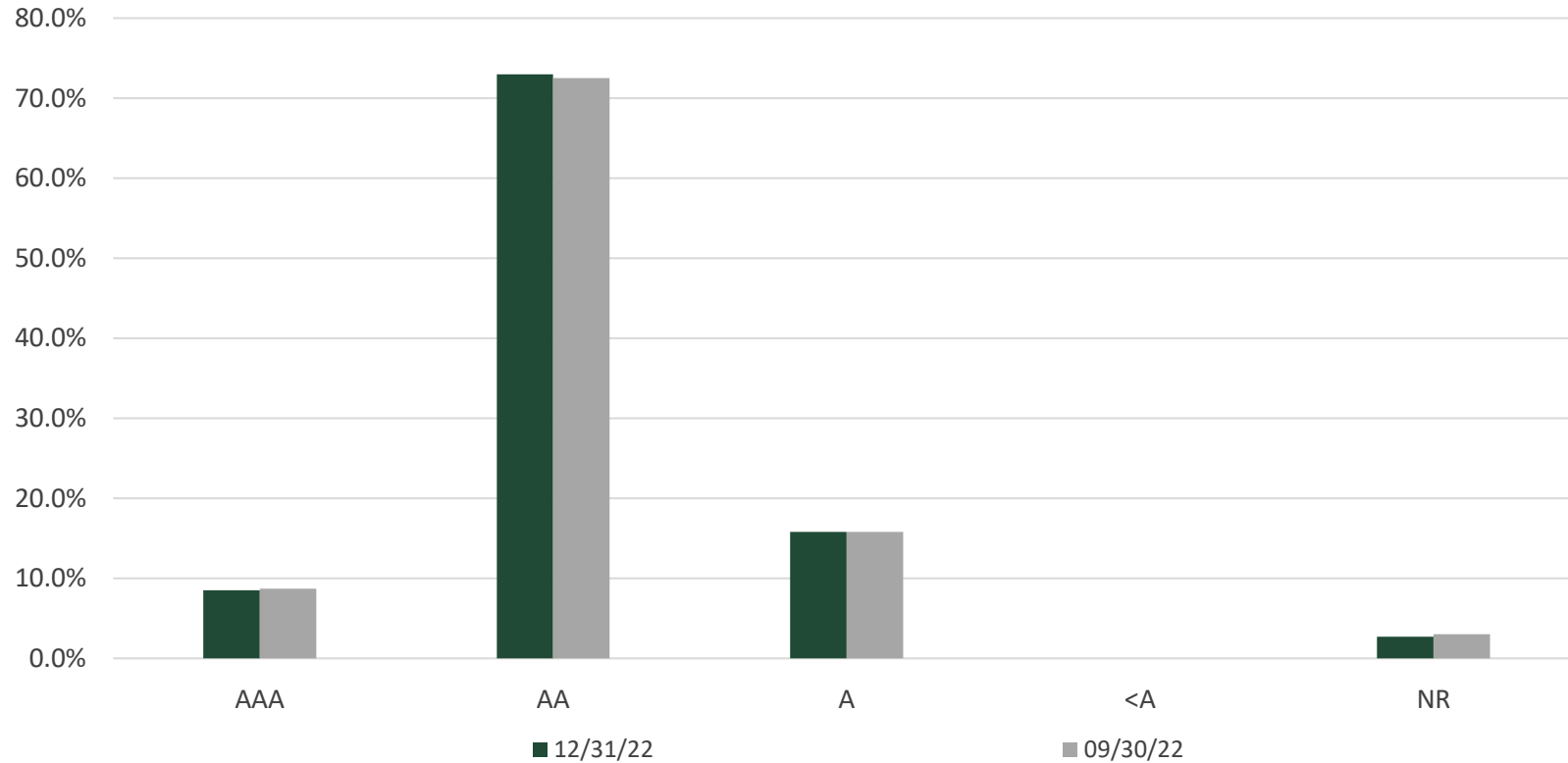
City of Solana Beach – Account #10471

Issue Name	Investment Type	% Portfolio
Salesforce.com Inc	Corporate	0.17%
Nissan ABS	ABS	0.09%
TOTAL		100.00%

Quality Distribution

As of December 31, 2022

City of Solana Beach
December 31, 2022 vs. September 30, 2022



	AAA	AA	A	<A	NR
12/31/22	8.5%	73.0%	15.8%	0.0%	2.7%
09/30/22	8.7%	72.5%	15.8%	0.0%	3.0%

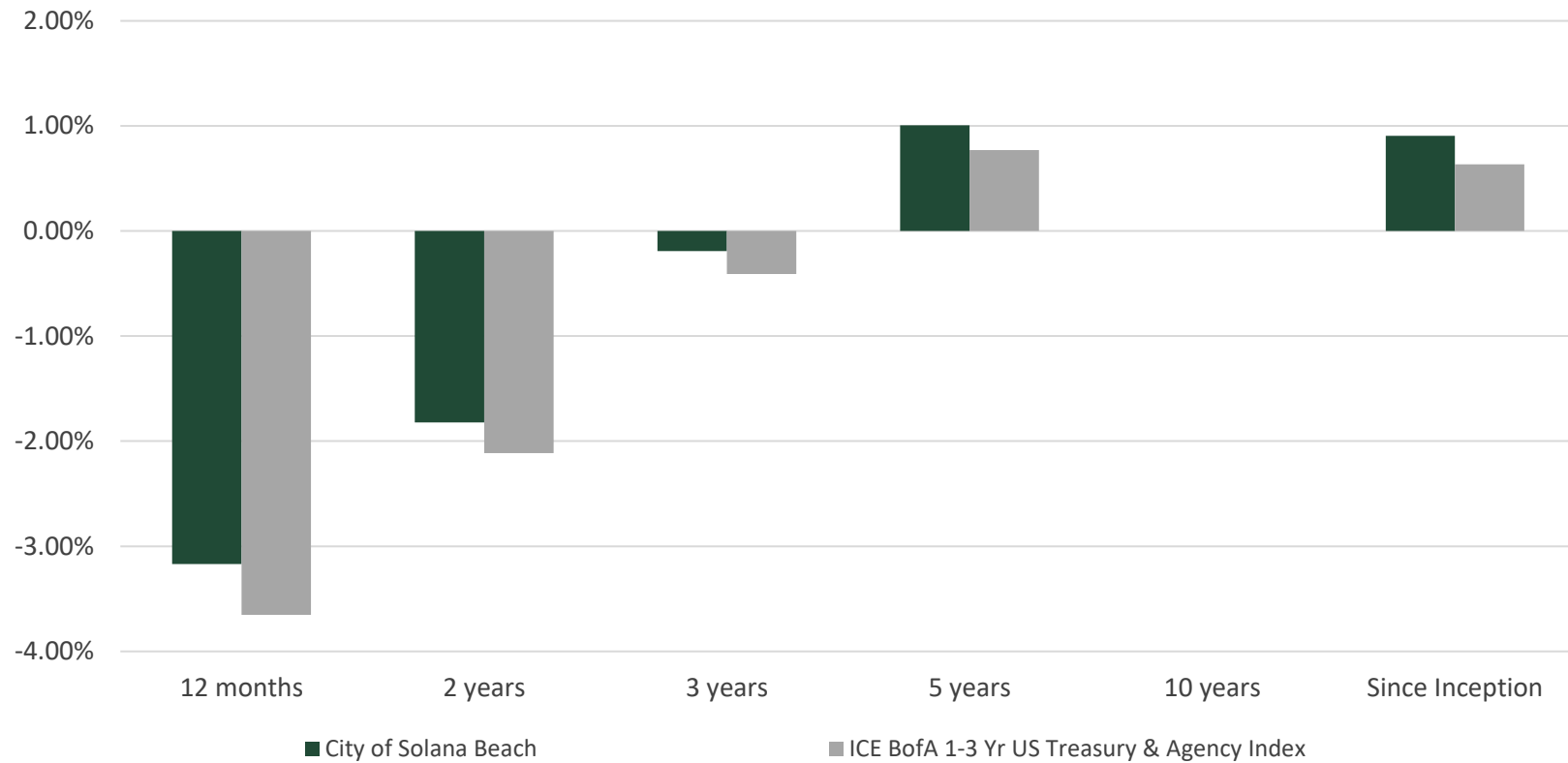
Source: S&P Ratings



Investment Performance

As of December 31, 2022

City of Solana Beach Total Rate of Return Annualized Since Inception March 31, 2016



TOTAL RATE OF RETURN	Annualized							Since Inception
	3 months	12 months	2 years	3 years	5 years	10 years		
City of Solana Beach	0.82%	-3.17%	-1.82%	-0.19%	1.00%	N/A	0.90%	
ICE BofA 1-3 Yr US Treasury & Agency Index	0.73%	-3.65%	-2.11%	-0.41%	0.77%	N/A	0.63%	

Total rate of return: A measure of a portfolio's performance over time. It is the internal rate of return, which equates the beginning value of the portfolio with the ending value; it includes interest earnings, realized and unrealized gains and losses in the portfolio.



Investment Comparison

As of December 31, 2022

City of Solana Beach

	LAIF EARNINGS ESTIMATE*	GROSS INCOME EARNED CHANDLER-MANAGED PORTFOLIO	INCOME EARNED CHANDLER-MANAGED PORTFOLIO**
Apr 2016 - Dec 2016	\$113,770	\$185,849	\$169,455
2017	\$327,563	\$439,162	\$410,891
2018	\$628,152	\$553,633	\$524,542
2019	\$716,012	\$600,606	\$573,809
2020	\$339,385	\$513,751	\$488,476
2021	\$78,472	\$361,519	\$336,824
Jan 2022	\$5,336	\$23,401	\$21,329
Feb 2022	\$5,937	\$22,801	\$20,738
Mar 2022	\$8,711	\$22,505	\$20,396
Apr 2022	\$12,609	\$24,145	\$21,992
May 2022	\$17,122	\$24,064	\$21,911
Jun 2022	\$20,752	\$25,212	\$23,016
Jul 2022	\$28,565	\$27,433	\$25,193
Aug 2022	\$33,475	\$29,804	\$27,567
Sep 2022	\$38,137	\$30,481	\$28,259
Oct 2022	\$45,839	\$32,226	\$30,015
Nov 2022	\$50,353	\$32,070	\$29,854
Dec 2022	\$56,719	\$33,081	\$30,857
Total:	\$2,526,909	\$2,981,743	\$2,805,124

*LAIF earnings estimate calculated using daily yield

**Income earned net of Chandler fees





Section 3 | Portfolio Holdings

Holdings Report

As of December 31, 2022

City of Solana Beach - Account #10471

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
ABS									
43813RAC1	Honda Auto Receivables 2020-1 A3 1.610% Due 04/22/2024	50,684.00	02/19/2020 1.62%	50,674.07 50,674.07	99.08 5.38%	50,216.08 22.67	0.17% (457.99)	Aaa / NR AAA	1.31 0.24
65479JAD5	Nissan Auto Receivables Owner 2019-C A3 1.930% Due 07/15/2024	25,992.63	10/16/2019 1.94%	25,991.26 25,991.26	99.64 5.03%	25,899.61 22.30	0.09% (91.65)	Aaa / AAA NR	1.54 0.11
47789KAC7	John Deere Owner Trust 2020-A A3 1.100% Due 08/15/2024	32,485.70	03/04/2020 1.11%	32,483.72 32,483.72	99.13 4.89%	32,201.89 15.88	0.11% (281.83)	Aaa / NR AAA	1.62 0.23
36262XAC8	GM Financial Auto Lease Trust 2021-3 A2 0.390% Due 10/21/2024	190,000.00	08/10/2021 0.39%	189,997.42 189,997.42	97.16 5.38%	184,598.40 22.64	0.61% (5,399.02)	NR / AAA AAA	1.81 0.57
58769KAD6	Mercedes-Benz Auto Lease Trust 2021-B A3 0.400% Due 11/15/2024	130,000.00	06/22/2021 0.40%	129,990.19 129,990.19	97.12 5.30%	126,253.05 23.11	0.42% (3,737.14)	NR / AAA AAA	1.88 0.59
09690AAC7	BMW Vehicle Lease Trust 2021-2 A3 0.330% Due 12/26/2024	82,842.34	09/08/2021 0.34%	82,833.79 82,833.79	97.72 5.25%	80,949.59 4.56	0.27% (1,884.20)	Aaa / NR AAA	1.99 0.46
05601XAC3	BMW Vehicle Lease Trust 2022-1 A3 1.100% Due 03/25/2025	90,000.00	01/11/2022 1.11%	89,986.55 89,986.55	96.74 5.29%	87,069.57 16.50	0.29% (2,916.98)	NR / AAA AAA	2.23 0.78
43813GAC5	Honda Auto Receivables Trust 2021-1 A3 0.270% Due 04/21/2025	45,580.76	02/17/2021 0.27%	45,579.93 45,579.93	96.73 6.22%	44,090.52 3.42	0.15% (1,489.41)	Aaa / NR AAA	2.31 0.55
47788UAC6	John Deere Owner Trust 2021-A A3 0.360% Due 09/15/2025	82,859.21	03/02/2021 0.37%	82,843.28 82,843.28	96.55 5.21%	80,003.88 13.26	0.26% (2,839.40)	Aaa / NR AAA	2.71 0.71
89190GAC1	Toyota Auto Receivables Trust 2021-B A3 0.260% Due 11/17/2025	385,000.00	06/08/2021 0.26%	384,958.54 384,958.54	96.15 5.48%	370,186.20 44.49	1.22% (14,772.34)	NR / AAA AAA	2.88 0.74
43815EAC8	Honda Auto Receivables 2021-3 A3 0.410% Due 11/18/2025	180,000.00	08/17/2021 0.41%	179,997.37 179,997.37	95.39 5.35%	171,708.94 26.65	0.57% (8,288.43)	NR / AAA AAA	2.88 0.94
43815GAC3	Honda Auto Receivables Trust 2021-4 A3 0.880% Due 01/21/2026	90,000.00	11/16/2021 0.89%	89,981.03 89,981.03	94.91 5.11%	85,415.18 22.00	0.28% (4,565.85)	Aaa / NR AAA	3.06 1.22
47789QAC4	John Deere Owner Trust 2021-B A3 0.520% Due 03/16/2026	115,000.00	07/13/2021 0.52%	114,989.74 114,989.74	94.91 5.29%	109,143.94 26.58	0.36% (5,845.80)	Aaa / NR AAA	3.21 1.08
89238JAC9	Toyota Auto Receivables Trust 2021-D A3 0.710% Due 04/15/2026	85,000.00	11/09/2021 0.71%	84,998.19 84,998.19	94.21 5.70%	80,078.50 26.82	0.26% (4,919.69)	NR / AAA AAA	3.29 1.18
44935FAD6	Hyundai Auto Receivables Trust 2021-C A3 0.740% Due 05/15/2026	65,000.00	11/09/2021 0.75%	64,985.49 64,985.49	94.47 5.54%	61,402.65 21.38	0.20% (3,582.84)	NR / AAA AAA	3.37 1.17
05602RAD3	BMW Vehicle Owner Trust 2022-A A3 3.210% Due 08/25/2026	105,000.00	05/10/2022 3.23%	104,994.54 104,994.54	97.40 4.96%	102,274.11 56.18	0.34% (2,720.43)	Aaa / AAA NR	3.65 1.51
362554AC1	GM Financial Securitized Term 2021-4 A3 0.680% Due 09/16/2026	70,000.00	10/13/2021 0.68%	69,998.22 69,998.22	94.48 5.54%	66,136.87 19.83	0.22% (3,861.35)	Aaa / AAA NR	3.71 1.15



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47787JAC2	John Deere Owner Trust 2022-A A3 2.320% Due 09/16/2026	115,000.00	03/10/2022 2.34%	114,974.56 114,974.56	95.91 5.12%	110,300.61 118.58	0.36% (4,673.95)	Aaa / NR AAA	3.71 1.48
448977AD0	Hyundai Auto Receivables Trust 2022-A A3 2.220% Due 10/15/2026	200,000.00	03/09/2022 2.23%	199,992.30 199,992.30	95.56 5.13%	191,129.20 197.33	0.63% (8,863.10)	NR / AAA AAA	3.79 1.55
380146AC4	GM Financial Auto Receivables 2022-1 A3 1.260% Due 11/16/2026	60,000.00	01/11/2022 1.27%	59,994.79 59,994.79	94.55 5.35%	56,728.97 31.50	0.19% (3,265.82)	NR / AAA AAA	3.88 1.35
47800AAC4	John Deere Owner Trust 2022-B A3 3.740% Due 02/16/2027	135,000.00	07/12/2022 3.77%	134,987.11 134,987.11	97.70 4.93%	131,896.05 224.40	0.44% (3,091.06)	Aaa / NR AAA	4.13 1.99
36265WAD5	GM Financial Securitized Auto 2022-3 A3 3.640% Due 04/16/2027	90,000.00	07/06/2022 3.67%	89,999.38 89,999.38	97.77 4.87%	87,994.48 136.50	0.29% (2,004.90)	Aaa / NR AAA	4.29 1.87
02582JIT8	American Express Credit Trust 2022-2 A 3.390% Due 05/17/2027	270,000.00	05/17/2022 3.42%	269,940.28 269,940.28	97.14 4.72%	262,272.68 406.80	0.87% (7,667.60)	NR / AAA AAA	4.38 2.22
92348KAV5	Verizon Master Trust 2022-5 A1A 3.720% Due 07/20/2027	115,000.00	08/02/2022 3.75%	114,994.94 114,994.94	98.48 5.00%	113,255.89 130.72	0.37% (1,739.05)	NR / AAA AAA	4.55 1.54
TOTAL ABS		2,810,444.64	1.52%	2,810,166.69	5.22%	2,711,206.86 1,634.10	8.95% (98,959.83)	Aaa / AAA AAA	3.18 1.17
Agency									
3133EKUA2	FFCB Note 1.850% Due 02/01/2023	600,000.00	07/23/2019 1.86%	599,850.00 599,850.00	99.80 4.19%	598,819.66 4,625.00	1.99% (1,030.34)	Aaa / AA+ AAA	0.09 0.08
3133ELNW0	FFCB Note 1.450% Due 02/21/2023	600,000.00	02/14/2020 1.45%	599,988.00 599,988.00	99.62 4.18%	597,721.22 3,141.67	1.98% (2,266.78)	Aaa / AA+ AAA	0.14 0.14
3133834G3	FHLB Note 2.125% Due 06/09/2023	700,000.00	06/10/2019 2.00%	703,318.00 703,318.00	98.89 4.71%	692,200.97 909.03	2.29% (11,117.03)	Aaa / AA+ NR	0.44 0.43
3133EKS7	FFCB Note 1.770% Due 06/26/2023	500,000.00	06/21/2019 1.89%	497,675.00 497,675.00	98.67 4.58%	493,325.65 122.92	1.63% (4,349.35)	Aaa / AA+ AAA	0.48 0.48
3135G05G4	FNMA Note 0.250% Due 07/10/2023	520,000.00	07/08/2020 0.32%	518,882.00 518,882.00	97.65 4.83%	507,805.78 617.50	1.68% (11,076.22)	Aaa / AA+ AAA	0.52 0.51
3133EL3V4	FFCB Note 0.200% Due 08/14/2023	500,000.00	08/12/2020 0.27%	498,955.00 498,955.00	97.14 4.94%	485,716.33 380.56	1.60% (13,238.67)	Aaa / AA+ AAA	0.62 0.60
3137EAEV7	FHLMC Note 0.250% Due 08/24/2023	475,000.00	08/19/2020 0.28%	474,515.50 474,515.50	97.09 4.87%	461,169.78 418.92	1.52% (13,345.72)	Aaa / AA+ AAA	0.65 0.63
3137EAEW5	FHLMC Note 0.250% Due 09/08/2023	500,000.00	09/29/2020 0.23%	500,310.00 500,310.00	96.99 4.76%	484,955.40 392.36	1.60% (15,354.60)	Aaa / AA+ AAA	0.69 0.67
3137EAEY1	FHLMC Note 0.125% Due 10/16/2023	400,000.00	10/29/2020 0.24%	398,596.00 398,596.00	96.45 4.75%	385,795.01 104.17	1.27% (12,800.99)	Aaa / AA+ AAA	0.79 0.77



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3137EAEZ8	FHLMC Note 0.250% Due 11/06/2023	525,000.00	11/03/2020 0.28%	524,527.50 524,527.50	96.20 4.88%	505,074.54 200.52	1.67% (19,452.96)	Aaa / AA+ AAA	0.85 0.83
3135G06H1	FNMA Note 0.250% Due 11/27/2023	465,000.00	11/23/2020 0.29%	464,469.90 464,469.90	96.06 4.75%	446,675.79 109.79	1.47% (17,794.11)	Aaa / AA+ AAA	0.91 0.88
3137EAF A2	FHLMC Note 0.250% Due 12/04/2023	375,000.00	12/02/2020 0.28%	374,628.75 374,628.75	95.86 4.88%	359,472.70 70.31	1.19% (15,156.05)	Aaa / AA+ AAA	0.93 0.90
3133EMRZ7	FFCB Note 0.250% Due 02/26/2024	435,000.00	02/22/2021 0.26%	434,843.40 434,843.40	95.07 4.69%	413,554.37 377.60	1.37% (21,289.03)	Aaa / AA+ AAA	1.16 1.12
3130AQF40	FHLB Note 1.000% Due 12/20/2024	400,000.00	12/21/2021 1.03%	399,648.00 399,648.00	93.42 4.53%	373,684.52 122.22	1.23% (25,963.48)	Aaa / AA+ AAA	1.97 1.91
3133ENKS8	FFCB Note 1.125% Due 01/06/2025	205,000.00	01/06/2022 1.20%	204,538.75 204,538.75	93.49 4.55%	191,648.23 1,121.09	0.64% (12,890.52)	Aaa / AA+ AAA	2.02 1.94
3133ENWH9	FFCB Note 2.900% Due 05/09/2025	500,000.00	05/03/2022 2.97%	499,025.00 499,025.00	96.70 4.39%	483,490.71 2,094.44	1.60% (15,534.29)	Aaa / AA+ AAA	2.36 2.23
3135G05X7	FNMA Note 0.375% Due 08/25/2025	500,000.00	03/07/2022 1.78%	476,560.00 476,560.00	90.27 4.30%	451,341.08 656.25	1.49% (25,218.92)	Aaa / AA+ AAA	2.65 2.58
TOTAL Agency		8,200,000.00	1.04%	8,170,330.80	4.62%	7,932,451.74 15,464.35	26.22% (237,879.06)	Aaa / AA+ AAA	0.92 0.89

Corporate									
24422EUA5	John Deere Capital Corp Note 2.700% Due 01/06/2023	350,000.00	10/29/2019 1.96%	357,889.00 357,889.00	99.99 3.59%	349,954.66 4,593.75	1.17% (7,934.34)	A2 / A A	0.02 0.01
037833AK6	Apple Inc Note 2.400% Due 05/03/2023	256,000.00	05/02/2019 2.75%	252,605.44 252,605.44	99.20 4.78%	253,949.86 989.87	0.84% 1,344.42	Aaa / AA+ NR	0.34 0.33
06406FAD5	Bank of NY Mellon Corp Callable Note Cont 6/16/2023 2.200% Due 08/16/2023	350,000.00	09/12/2019 2.15%	350,616.00 350,616.00	98.45 4.73%	344,576.11 2,887.50	1.15% (6,039.89)	A1 / A AA-	0.62 0.61
69371RR24	Paccar Financial Corp Note 0.350% Due 02/02/2024	210,000.00	01/28/2021 0.39%	209,756.40 209,756.40	95.15 4.99%	199,822.13 304.21	0.66% (9,934.27)	A1 / A+ NR	1.09 1.06
89114QCQ9	Toronto Dominion Bank Note 0.550% Due 03/04/2024	250,000.00	05/12/2021 0.53%	250,125.00 250,125.00	95.00 4.99%	237,494.19 446.88	0.78% (12,630.81)	A1 / A AA-	1.18 1.14
808513BN4	Charles Schwab Corp Callable Note Cont 2/18/2024 0.750% Due 03/18/2024	300,000.00	Various 0.70%	300,409.70 300,409.70	95.07 4.99%	285,204.00 643.75	0.94% (15,205.70)	A2 / A A	1.21 1.18
023135BW5	Amazon.com Inc Note 0.450% Due 05/12/2024	350,000.00	Various 0.67%	348,107.95 348,107.95	94.22 4.88%	329,786.78 214.38	1.09% (18,321.17)	A1 / AA AA-	1.36 1.33



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91324PEB4	United Health Group Inc Callable Note Cont 5/15/2022 0.550% Due 05/15/2024	125,000.00	11/08/2021 0.78%	124,282.50 124,282.50	94.39 4.83%	117,981.42 87.85	0.39% (6,301.08)	A3 / A+ A	1.37 1.34
14913R2L0	Caterpillar Financial Service Note 0.450% Due 05/17/2024	340,000.00	05/10/2021 0.50%	339,544.40 339,544.40	94.13 4.91%	320,050.77 187.00	1.06% (19,493.63)	A2 / A A	1.38 1.34
06051GJY6	Bank of America Corp Callable Note Cont 6/14/2023 0.523% Due 06/14/2024	255,000.00	06/07/2021 1.92%	255,016.80 255,016.80	97.63 4.80%	248,964.34 62.98	0.82% (6,052.46)	A2 / A- AA-	1.45 1.40
06367TQW3	Bank of Montreal Note 0.625% Due 07/09/2024	300,000.00	09/10/2021 0.65%	299,757.00 299,757.00	93.49 5.12%	280,477.94 895.83	0.93% (19,279.06)	A2 / A- AA-	1.52 1.47
79466LAG9	Salesforce.com Inc Callable Note Cont 7/15/2022 0.625% Due 07/15/2024	55,000.00	06/29/2021 0.64%	54,971.95 54,971.95	93.84 4.83%	51,612.49 158.51	0.17% (3,359.46)	A2 / A+ NR	1.54 1.49
91159HHX1	US Bancorp Callable Note Cont 6/28/2024 2.400% Due 07/30/2024	300,000.00	11/09/2021 0.85%	312,465.00 312,465.00	96.17 4.94%	288,524.78 3,020.00	0.96% (23,940.22)	A2 / A+ A+	1.58 1.51
78015K7C2	Royal Bank of Canada Note 2.250% Due 11/01/2024	250,000.00	05/19/2021 0.73%	262,875.00 262,875.00	95.37 4.92%	238,427.76 937.50	0.79% (24,447.24)	A1 / A AA-	1.84 1.76
89236TJT3	Toyota Motor Credit Corp Note 1.450% Due 01/13/2025	240,000.00	01/10/2022 1.50%	239,678.40 239,678.40	93.69 4.74%	224,862.65 1,624.00	0.75% (14,815.75)	A1 / A+ A+	2.04 1.95
46647PBY1	JP Morgan Chase & Co Callable Note Cont 2/16/2024 0.563% Due 02/16/2025	185,000.00	02/09/2021 1.60%	185,000.00 185,000.00	94.34 5.12%	174,522.87 390.58	0.58% (10,477.13)	A1 / A- AA-	2.13 2.05
69371RR73	Paccar Financial Corp Note 2.850% Due 04/07/2025	170,000.00	03/31/2022 2.86%	169,955.80 169,955.80	95.96 4.75%	163,129.09 1,130.50	0.54% (6,826.71)	A1 / A+ NR	2.27 2.14
037833DT4	Apple Inc Callable Note Cont 4/11/2025 1.125% Due 05/11/2025	250,000.00	07/06/2022 3.21%	235,927.50 235,927.50	92.14 4.68%	230,347.32 390.63	0.76% (5,580.18)	Aaa / AA+ NR	2.36 2.28
46647PCH7	JP Morgan Chase & Co Callable Note Cont 6/1/2024 0.824% Due 06/01/2025	280,000.00	05/24/2021 1.79%	280,364.50 280,364.50	93.23 5.28%	261,037.49 192.27	0.86% (19,327.01)	A1 / A- AA-	2.42 2.32
438516CB0	Honeywell Intl Callable Note Cont 5/1/2025 1.350% Due 06/01/2025	300,000.00	03/09/2022 2.31%	291,084.00 291,084.00	92.53 4.65%	277,580.06 337.50	0.92% (13,503.94)	A2 / A A	2.42 2.33
89236TKF1	Toyota Motor Credit Corp Note 3.650% Due 08/18/2025	150,000.00	08/15/2022 3.68%	149,865.00 149,865.00	97.25 4.77%	145,874.38 2,022.71	0.49% (3,990.62)	A1 / A+ A+	2.63 2.44
931142EW9	Wal-Mart Stores Note 3.900% Due 09/09/2025	380,000.00	Various 4.50%	373,761.00 373,761.00	98.48 4.50%	374,230.61 4,610.67	1.25% 469.61	Aa2 / AA AA	2.69 2.49
857477BR3	State Street Bank Callable Note Cont 2/6/2025 1.746% Due 02/06/2026	340,000.00	Various 3.53%	331,375.00 331,375.00	93.13 5.24%	316,629.39 2,391.06	1.05% (14,745.61)	A1 / A AA-	3.10 2.00



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61747YET8	Morgan Stanley Callable Note Cont 7/17/2025 4.679% Due 07/17/2026	250,000.00	08/10/2022 4.75%	252,322.50 252,322.50	98.37 5.37%	245,912.58 5,231.38	0.83% (6,409.92)	A1 / A- A+	3.55 2.32
TOTAL Corporate		6,236,000.00	1.92%	6,227,755.84	4.83%	5,960,953.67 33,751.31	19.77% (266,802.17)	A1 / A+ A+	1.72 1.55
Money Market Fund									
31846V203	First American Govt Obligation Fund Class Y	98,805.92	Various 3.79%	98,805.92 98,805.92	1.00 3.79%	98,805.92 0.00	0.33% 0.00	Aaa / AAA AAA	0.00 0.00
TOTAL Money Market Fund		98,805.92	3.79%	98,805.92	3.79%	98,805.92 0.00	0.33% 0.00	Aaa / AAA AAA	0.00 0.00
Supranational									
459058JM6	Intl. Bank Recon & Development Note 0.250% Due 11/24/2023	190,000.00	11/17/2020 0.32%	189,591.50 189,591.50	96.12 4.72%	182,620.13 48.82	0.60% (6,971.37)	Aaa / AAA AAA	0.90 0.88
4581X0DZ8	Inter-American Dev Bank Note 0.500% Due 09/23/2024	435,000.00	09/15/2021 0.52%	434,678.10 434,678.10	93.20 4.64%	405,422.71 592.08	1.34% (29,255.39)	Aaa / AAA NR	1.73 1.68
TOTAL Supranational		625,000.00	0.46%	624,269.60	4.67%	588,042.84 640.90	1.94% (36,226.76)	Aaa / AAA AAA	1.47 1.43
US Treasury									
91282CBA8	US Treasury Note 0.125% Due 12/15/2023	550,000.00	01/08/2021 0.22%	548,474.61 548,474.61	95.79 4.68%	526,861.50 32.11	1.74% (21,613.11)	Aaa / AA+ AAA	0.96 0.93
91282CBE0	US Treasury Note 0.125% Due 01/15/2024	500,000.00	01/12/2021 0.24%	498,222.66 498,222.66	95.37 4.74%	476,855.50 288.72	1.57% (21,367.16)	Aaa / AA+ AAA	1.04 1.02
91282CBR1	US Treasury Note 0.250% Due 03/15/2024	400,000.00	03/30/2021 0.33%	399,109.38 399,109.38	94.84 4.71%	379,359.20 298.34	1.25% (19,750.18)	Aaa / AA+ AAA	1.21 1.17
91282CBV2	US Treasury Note 0.375% Due 04/15/2024	475,000.00	04/23/2021 0.32%	475,797.85 475,797.85	94.66 4.69%	449,654.48 381.70	1.48% (26,143.37)	Aaa / AA+ AAA	1.29 1.26
91282CCC3	US Treasury Note 0.250% Due 05/15/2024	500,000.00	05/19/2021 0.35%	498,574.22 498,574.22	94.16 4.69%	470,801.00 162.29	1.55% (27,773.22)	Aaa / AA+ AAA	1.37 1.34
91282CCG4	US Treasury Note 0.250% Due 06/15/2024	500,000.00	06/28/2021 0.46%	496,914.06 496,914.06	93.89 4.64%	469,453.00 58.38	1.55% (27,461.06)	Aaa / AA+ AAA	1.46 1.42
91282CCL3	US Treasury Note 0.375% Due 07/15/2024	600,000.00	08/05/2021 0.37%	600,164.06 600,164.06	93.71 4.65%	562,288.80 1,039.40	1.86% (37,875.26)	Aaa / AA+ AAA	1.54 1.50
91282CCT6	US Treasury Note 0.375% Due 08/15/2024	275,000.00	08/26/2021 0.46%	274,344.73 274,344.73	93.46 4.60%	257,006.75 389.52	0.85% (17,337.98)	Aaa / AA+ AAA	1.62 1.58



Holdings Report

As of December 31, 2022

City of Solana Beach - Account #10471

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
912828YE4	US Treasury Note 1.250% Due 08/31/2024	500,000.00	06/29/2021 0.50%	511,796.88 511,796.88	94.72 4.58%	473,594.00 2,123.62	1.57% (38,202.88)	Aaa / AA+ AAA	1.67 1.61
91282CCX7	US Treasury Note 0.375% Due 09/15/2024	550,000.00	09/10/2021 0.44%	548,925.78 548,925.78	93.25 4.53%	512,896.45 615.33	1.69% (36,029.33)	Aaa / AA+ AAA	1.71 1.66
91282CDB4	US Treasury Note 0.625% Due 10/15/2024	600,000.00	10/14/2021 0.63%	599,953.13 599,953.13	93.44 4.48%	560,648.40 803.57	1.85% (39,304.73)	Aaa / AA+ AAA	1.79 1.74
91282CDH1	US Treasury Note 0.750% Due 11/15/2024	500,000.00	11/29/2021 0.81%	499,082.03 499,082.03	93.39 4.47%	466,953.00 486.88	1.54% (32,129.03)	Aaa / AA+ AAA	1.88 1.82
91282CDN8	US Treasury Note 1.000% Due 12/15/2024	425,000.00	12/29/2021 0.99%	425,182.62 425,182.62	93.65 4.42%	398,022.28 198.49	1.31% (27,160.34)	Aaa / AA+ AAA	1.96 1.90
912828Z52	US Treasury Note 1.375% Due 01/31/2025	475,000.00	02/16/2021 0.37%	493,628.91 493,628.91	94.04 4.40%	446,667.20 2,733.19	1.48% (46,961.71)	Aaa / AA+ AAA	2.09 2.00
912828ZC7	US Treasury Note 1.125% Due 02/28/2025	600,000.00	03/28/2022 2.55%	576,070.31 576,070.31	93.42 4.35%	560,508.00 2,293.51	1.86% (15,562.31)	Aaa / AA+ AAA	2.16 2.09
912828ZF0	US Treasury Note 0.500% Due 03/31/2025	500,000.00	03/03/2021 0.54%	499,257.81 499,257.81	91.91 4.31%	459,570.50 638.74	1.52% (39,687.31)	Aaa / AA+ AAA	2.25 2.19
912828ZL7	US Treasury Note 0.375% Due 04/30/2025	300,000.00	01/13/2021 0.39%	299,765.63 299,765.63	91.34 4.32%	274,007.70 192.68	0.90% (25,757.93)	Aaa / AA+ AAA	2.33 2.27
912828ZT0	US Treasury Note 0.250% Due 05/31/2025	600,000.00	10/05/2021 0.71%	590,132.81 590,132.81	90.86 4.28%	545,133.00 131.87	1.80% (44,999.81)	Aaa / AA+ AAA	2.42 2.36
91282CAB7	US Treasury Note 0.250% Due 07/31/2025	500,000.00	03/22/2022 2.41%	465,312.50 465,312.50	90.31 4.25%	451,543.00 523.10	1.49% (13,769.50)	Aaa / AA+ AAA	2.58 2.52
912828K74	US Treasury Note 2.000% Due 08/15/2025	500,000.00	04/05/2022 2.77%	487,656.25 487,656.25	94.50 4.24%	472,500.00 3,777.17	1.57% (15,156.25)	Aaa / AA+ AAA	2.62 2.50
9128285C0	US Treasury Note 3.000% Due 09/30/2025	500,000.00	06/02/2022 2.86%	502,167.97 502,167.97	96.74 4.27%	483,711.00 3,832.42	1.61% (18,456.97)	Aaa / AA+ AAA	2.75 2.58
9128285J5	US Treasury Note 3.000% Due 10/31/2025	600,000.00	06/09/2022 3.05%	599,085.94 599,085.94	96.66 4.26%	579,984.60 3,082.87	1.92% (19,101.34)	Aaa / AA+ AAA	2.84 2.66
912828M56	US Treasury Note 2.250% Due 11/15/2025	600,000.00	07/06/2022 2.96%	586,453.13 586,453.13	94.74 4.21%	568,429.80 1,752.76	1.88% (18,023.33)	Aaa / AA+ AAA	2.88 2.73
9128285T3	US Treasury Note 2.625% Due 12/31/2025	500,000.00	07/14/2022 3.22%	490,312.50 490,312.50	95.72 4.16%	478,594.00 36.26	1.58% (11,718.50)	Aaa / AA+ AAA	3.00 2.84
9128286L9	US Treasury Note 2.250% Due 03/31/2026	600,000.00	09/08/2022 3.48%	575,531.25 575,531.25	94.34 4.13%	566,062.80 3,449.18	1.88% (9,468.45)	Aaa / AA+ AAA	3.25 3.07
91282CEF4	US Treasury Note 2.500% Due 03/31/2027	500,000.00	11/28/2022 4.01%	470,195.31 470,195.31	93.98 4.06%	469,902.50 3,193.68	1.56% (292.81)	Aaa / AA+ AAA	4.25 3.94



Holdings Report

As of December 31, 2022

City of Solana Beach - Account #10471

CUSIP	Security Description	Par Value/Units	Purchase Date Book Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody/S&P Fitch	Maturity Duration
91282CEW7	US Treasury Note 3.250% Due 06/30/2027	600,000.00	10/05/2022 4.01%	580,523.44 580,523.44	96.84 4.02%	581,038.80 53.87	1.92% 515.36	Aaa / AA+ AAA	4.50 4.13
TOTAL US Treasury		13,750,000.00	1.52%	13,592,635.77	4.40%	12,942,047.26	42.80% (650,588.51)	Aaa / AA+ AAA	2.24 2.14
TOTAL PORTFOLIO		31,720,250.56	1.46%	31,523,964.62	4.62%	30,233,508.29	100.00% (1,290,456.33)	Aa1 / AA+ AAA	1.85 1.59
TOTAL MARKET VALUE PLUS ACCRUALS						30,317,568.60			





Section 4 | Transactions

Transaction Ledger

As of December 31, 2022

City of Solana Beach - Account #10471

September 30, 2022 through December 31, 2022

Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Purchase	10/11/2022	91282CEW7	600,000.00	US Treasury Note 3.25% Due: 06/30/2027	96.754	4.01%	580,523.44	5,457.88	585,981.32	0.00
Purchase	11/30/2022	91282CEF4	500,000.00	US Treasury Note 2.5% Due: 03/31/2027	94.039	4.01%	470,195.31	2,094.78	472,290.09	0.00
Subtotal			1,100,000.00				1,050,718.75	7,552.66	1,058,271.41	0.00
TOTAL ACQUISITIONS			1,100,000.00				1,050,718.75	7,552.66	1,058,271.41	0.00
DISPOSITIONS										
Maturity	10/11/2022	3133EKY91	500,000.00	FFCB Note 1.375% Due: 10/11/2022	100.000		500,000.00	0.00	500,000.00	1,285.00
Maturity	11/30/2022	912828M80	350,000.00	US Treasury Note 2% Due: 11/30/2022	100.000		350,000.00	0.00	350,000.00	-3,992.19
Subtotal			850,000.00				850,000.00	0.00	850,000.00	-2,707.19
TOTAL DISPOSITIONS			850,000.00				850,000.00	0.00	850,000.00	-2,707.19



Important Disclosures

As of December 31, 2022

2022 Chandler Asset Management, Inc, An Independent Registered Investment Adviser.

Information contained herein is confidential. Prices are provided by ICE Data Services Inc ("IDS"), an independent pricing source. In the event IDS does not provide a price or if the price provided is not reflective of fair market value, Chandler will obtain pricing from an alternative approved third party pricing source in accordance with our written valuation policy and procedures. Our valuation procedures are also disclosed in Item 5 of our Form ADV Part 2A.

Performance results are presented gross-of-advisory fees and represent the client's Total Return. The deduction of advisory fees lowers performance results. These results include the reinvestment of dividends and other earnings. Past performance may not be indicative of future results. Therefore, clients should not assume that future performance of any specific investment or investment strategy will be profitable or equal to past performance levels. All investment strategies have the potential for profit or loss. Economic factors, market conditions or changes in investment strategies, contributions or withdrawals may materially alter the performance and results of your portfolio.

Index returns assume reinvestment of all distributions. Historical performance results for investment indexes generally do not reflect the deduction of transaction and/or custodial charges or the deduction of an investment management fee, the incurrence of which would have the effect of decreasing historical performance results. It is not possible to invest directly in an index.

Source ICE Data Indices, LLC ("ICE"), used with permission. ICE permits use of the ICE indices and related data on an "as is" basis; ICE, its affiliates and their respective third party suppliers disclaim any and all warranties and representations, express and/or implied, including any warranties of merchantability or fitness for a particular purpose or use, including the indices, index data and any data included in, related to, or derived therefrom. Neither ICE data, its affiliates or their respective third party providers guarantee the quality, adequacy, accuracy, timeliness or completeness of the indices or the index data or any component thereof, and the indices and index data and all components thereof are provided on an "as is" basis and licensee's use it at licensee's own risk. ICE data, its affiliates and their respective third party do not sponsor, endorse, or recommend chandler asset management, or any of its products or services.

This report is provided for informational purposes only and should not be construed as a specific investment or legal advice. The information contained herein was obtained from sources believed to be reliable as of the date of publication, but may become outdated or superseded at any time without notice. Any opinions or views expressed are based on current market conditions and are subject to change. This report may contain forecasts and forward-looking statements which are inherently limited and should not be relied upon as indicator of future results. Past performance is not indicative of future results. This report is not intended to constitute an offer, solicitation, recommendation or advice regarding any securities or investment strategy and should not be regarded by recipients as a substitute for the exercise of their own judgment.

Fixed income investments are subject to interest, credit and market risk. Interest rate risk: the value of fixed income investments will decline as interest rates rise. Credit risk: the possibility that the borrower may not be able to repay interest and principal. Low rated bonds generally have to pay higher interest rates to attract investors willing to take on greater risk. Market risk: the bond market in general could decline due to economic conditions, especially during periods of rising interest rates.

Ratings information have been provided by Moody's, S&P and Fitch through data feeds we believe to be reliable as of the date of this statement, however we cannot guarantee its accuracy.

Security level ratings for U.S. Agency issued mortgage-backed securities ("MBS") reflect the issuer rating because the securities themselves are not rated. The issuing U.S. Agency guarantees the full and timely payment of both principal and interest and carries a AA+/Aaa/AAA by S&P, Moody's and Fitch respectively.



Benchmark Disclosures

As of December 31, 2022

ICE BofA 1-3 Yr US Treasury & Agency Index

The ICE BofA 1-3 Year US Treasury & Agency Index tracks the performance of US dollar denominated US Treasury and nonsubordinated US agency debt issued in the US domestic market. Qualifying securities must have an investment grade rating (based on an average of Moody's, S&P and Fitch). Qualifying securities must have at least one year remaining term to final maturity and less than three years remaining term to final maturity, at least 18 months to maturity at time of issuance, a fixed coupon schedule, and a minimum amount outstanding of \$1 billion for sovereigns and \$250 million for agencies.



CITY OF SOLANA BEACH
PARS Post-Employment Benefits Trust

Account Report for the Period
12/1/2022 to 12/31/2022

Gregory Wade
City Manager
City of Solana Beach
635 South Highway 101
Solana Beach, CA 92075

Account Summary

Source	Balance as of 12/1/2022	Contributions	Earnings	Expenses	Distributions	Transfers	Balance as of 12/31/2022
OPEB	\$1,235,036.05	\$137,000.00	-\$31,056.70	\$584.23	\$0.00	\$0.00	\$1,340,395.12
PENSION	\$3,304,706.92	\$809,898.00	-\$88,220.79	\$1,617.18	\$0.00	\$0.00	\$4,024,766.95
Totals	\$4,539,742.97	\$946,898.00	-\$119,277.49	\$2,201.41	\$0.00	\$0.00	\$5,365,162.07

Investment Selection

Source

OPEB	City of Solana Beach
PENSION	City of Solana Beach

Investment Objective

Source

OPEB	Individual account based on Moderate HighMark PLUS. The dual goals of the Moderate Strategy are growth of principal and income. It is expected that dividend and interest income will comprise a significant portion of total return, although growth through capital appreciation is equally important. The portfolio will be allocated between equity and fixed income investments.
PENSION	Individual account based on Moderate HighMark PLUS. The dual goals of the Moderate Strategy are growth of principal and income. It is expected that dividend and interest income will comprise a significant portion of total return, although growth through capital appreciation is equally important. The portfolio will be allocated between equity and fixed income investments.

Investment Return

Source	1-Month	3-Months	1-Year	Annualized Return			Plan's Inception Date
				3-Years	5-Years	10-Years	
OPEB	-2.38%	5.03%	-14.53%	1.48%	3.12%	-	3/1/2016
PENSION	-2.38%	5.03%	-14.53%	1.48%	3.13%	-	3/1/2016

Information as provided by US Bank, Trustee for PARS; Not FDIC Insured; No Bank Guarantee; May Lose Value

Past performance does not guarantee future results. Performance returns may not reflect the deduction of applicable fees, which could reduce returns. Information is deemed reliable but may be subject to change.

Investment Return: Annualized rate of return is the return on an investment over a period other than one year multiplied or divided to give a comparable one-year return.

Account balances are inclusive of Trust Administration, Trustee and Investment Management fees



STAFF REPORT CITY OF SOLANA BEACH

TO: Honorable Mayor and City Councilmembers
FROM: Gregory Wade, City Manager
MEETING DATE: April 12, 2023
ORIGINATING DEPT: Engineering Department
SUBJECT: **City Council Consideration of Resolution 2023-041 Authorizing the City Engineer to Advertise for Construction Bids the 2022-23 Street Maintenance and Repairs Project**

BACKGROUND:

Solana Beach has approximately 46 miles of roadways to maintain. The most cost-effective pavement maintenance and rehabilitation strategy is to use a pavement management program. This type of program inventories and classifies pavement conditions to determine the most effective way to budget, repair, replace and preserve roadway surfaces. Certain federal and state funding sources require the use of a pavement management program. Solana Beach performed a citywide pavement management program update in 2021, covering the five-year period from 2021 to 2026.

This item is before the City Council for the consideration of Resolution 2023-041 (Attachment 1) approving the list of streets for the 2022/23 Street Maintenance and Repairs Project and authorizing the City Engineer to advertise the project for construction bids.

DISCUSSION:

The main components of the proposed pavement maintenance program for this coming fiscal year, if approved, would include both full width pavement overlays and slurry seals of the following streets:

CITY COUNCIL ACTION:

Overlays		
Street	From	To
N. Acacia Avenue	Estrella	W. Cliff
Holmwood Lane	Glenmont	N. Granados
Nardo Avenue	El Sueno	Corto
Patty Hill Drive	Barbara	N. Granados
Punta Baja Drive	Entire street	
Santa Florencia	Santa Rosita	Halfway to Santa Carina
Santa Florencia/Santa Hidalga	Intersection with Santa Inez	
Santa Inez	Entire street	
Via Mil Cumbres (east)	Lomas Santa Fe Drive	Approximately 200 feet west of Loma Larga

Slurry Seals		
Street	From	To
Avocado Place	Entire street	
Cofair Avenue	Entire street	
Corto Street	Entire street	
Genevieve Street (W)	Entire street	
N. Granados Avenue	Lomas Santa Fe Drive	El Viento
S. Granados Avenue	Brookdale	south end
N. Helix Avenue	Entire street	
Hernandez Street	Entire street	
Highland Drive (W)	Entire street	
Hill Street	Entire street	
Ida Avenue	Genevieve	Academy
Marsolan Avenue	Entire street	
Marview Drive	Entire street	
Midori Court	Entire street	
Midori Lane	Entire street	
Nardito Lane	Entire street	
Pacific Avenue	Plaza	W. Cliff
Patty Hill Drive	Rios	Barbara
S. Rios Avenue	Entire street	
N. Sierra Avenue	Plaza	Estrella

In addition to pavement resurfacing, this year's program includes the following specific work:

Highland Drive

The road segment from Lomas Santa Fe Drive to Uno Verdo will be resurfaced with an overlay, along with the construction of medians with concrete curbs in a configuration similar to the current painted medians. The existing deteriorated pavement within the median area will be removed and appropriate topsoil will be imported for future landscaping under a separate project. The freshly resurfaced roadway will be striped with bike lanes, including bike lane buffers. Staff shared the preliminary design with the adjacent property owners as well as the Lomas Santa Fe Country Club and received positive comments. Additionally, BikeWalkSolana was presented this design plan at their meeting on April 3, 2023, and supported this plan.

South Acacia Avenue

The existing damaged and worn curb, gutter and sidewalk along the east side of South Acacia Avenue, south of the Plaza parking lot, will be replaced with new curb, gutter and sidewalk. Portions of damaged sidewalk on the west side will also be replaced. The roadway will be completely resurfaced with an overlay.

South Sierra Avenue

The sidewalk fronting the Distillery parking lot and the parking area at 120 South Sierra Avenue will be widened to ten feet and will include newly planted street trees which will be planted under a separate project.

Localized Street Repairs

Dig-outs and replacement of failed pavement (potholes) throughout the City will be performed.

Traffic Striping

Pavement striping and markings damaged or covered by the project would be replaced and additional striping would be performed in other areas in the City as needed.

Sidewalk Repairs

Damaged and tree lifted sidewalks and curbs in various locations will be repaired.

Speed Cushions

The contract will provide an allowance for speed cushions to be constructed at locations that qualify under the Council approved Speed Cushion Policy and are ready for installation.

CEQA COMPLIANCE STATEMENT:

Advertising for construction bids is not a project under CEQA. Street repairs are exempt from CEQA pursuant to Section 15301(c) of the State CEQA Guidelines.

FISCAL IMPACT:

Project funding will be from the Fiscal Year (FY) 2022/23 Annual Pavement Management Program and the South Acacia Reconstruction Project. The funding includes \$154,000 in Gas Tax Funds, \$315,000 in *TransNet* Funds (including \$90,000 programmed for South Acacia Streetscape Project), \$400,000 in Road Repair and Accountability Act (SB1) Funds of which \$290,000 is currently budgeted with an additional \$110,000 to be appropriated when the construction contract is awarded, and \$306,000 in General Funds. The estimated funding available for this project is \$1,175,000.

WORK PLAN:

This project is listed in the FY 2022/23 Work Plan under the Unprioritized Community Character Issues.

OPTIONS:

- Approve the list of streets scheduled for maintenance and repairs as part of the 2022/23 Street Maintenance and Repairs Project and authorize the City Engineer to advertise for construction bids.
- Revise the list of streets scheduled for maintenance and repairs as part of the 2022/23 Street Maintenance and Repairs Project and authorize the City Engineer to advertise for construction bids.
- Provide direction.

DEPARTMENT RECOMMENDATION:

Staff recommends that the City Council adopt Resolution 2023-041:

1. Approving the list of streets scheduled for maintenance and repairs as part of the 2022/23 Street Maintenance and Repairs Project.
2. Authorizing the City Engineer to advertise for construction bids for the 2022/23 Street Maintenance and Repairs Project.

CITY MANAGER'S RECOMMENDATION:

Approve Department Recommendation.



Gregory Wade, City Manager

Attachments:

1. Resolution 2023-041
2. Map of Proposed Street Repairs

RESOLUTION 2023-041

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SOLANA BEACH, CALIFORNIA, APPROVING THE 2022/23 STREET MAINTENANCE AND REPAIR PROJECT AND AUTHORIZING THE CITY ENGINEER TO ADVERTISE FOR CONSTRUCTION BIDS

WHEREAS, the Capital Improvement Program for Fiscal Year 2022/23 has appropriated funding for annual pavement maintenance and repairs; and

WHEREAS, the Engineering Department utilizes a pavement condition assessment program, field reviews and a review of previous street rehabilitation projects to identify the list of streets to be repaired as part of this project.

NOW, THEREFORE, the City Council of the City of Solana Beach, California, does resolve as follows:

1. That the above recitations are true and correct.
2. That the City Council approves the list of streets scheduled for maintenance and repair as part of the 2022/23 Street Maintenance and Repair Project.
3. That the City Council authorizes the City Engineer to advertise for construction bids for the 2022/23 Street Maintenance and Repair Project.

PASSED AND ADOPTED this 12th day of April 2023, at a regularly scheduled meeting of the City Council of the City of Solana Beach, California by the following vote:

AYES: Councilmembers –
NOES: Councilmembers –
ABSTAIN: Councilmembers –
ABSENT: Councilmembers –

LESA HEEBNER, Mayor

APPROVED AS TO FORM:

ATTEST:

JOHANNA N. CANLAS, City Attorney

ANGELA IVEY, City Clerk

2023 STREET MAINTENANCE

— OVERLAY

▤ SLURRY SEAL

***** LOMAS SANTA FE TO BE RESURFACED WITH FEDERAL FUNDED PROJECT

